





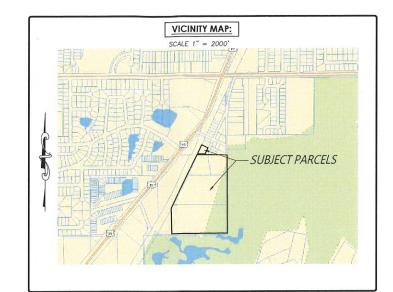






### D.R. HORTON, INC.

SECTION 24, TOWNSHIP 27 SOUTH, RANGE 15 EAST. PINELLAS COUNTY, FLORIDA



### SHEET 1 OF 5 ONE IS NOT COMPLETE WITHOUT THE OTHERS SEE SHEET 2, 3, 4, AND 5 FOR DRAWING DETAIL

#### NOTES:

- DATE OF FIELD SURVEY: NOVEMBER 18, 2020

  2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD THAT ARE NOT SHOWN IN THE PROVIDED PER ALLIANT NATIONAL TITLE HISURANCE COMPANY ALLIANT NATIONAL FILE NO. 20022841, COMMITMENT NUMBER 20022841 ISSUING OFFICE FILE NUMBER NOVELEMBLY, BEARING AN EFFECTIVE DATE OF OCTOBER 19, 2020. PUBLIC RECORDS NOT SEARCHED BY ICH CONSULTING GROUP, INC.

  3. UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED.

  4. BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83.) WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

  5. ADDITIONS OF DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

  7. HIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED IN THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.

  7. HIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BEWETT OF THE PARTYLES, NAMED HEREON, AND SHALL NOT CONSULTING GROUP, INC.

  8. UNDERGROUND UTLITES SHOWN HEREON ARE BASED ON SURFACE ENDENCE OF LOCATIONS PROUDED BY IRTH ONE

- CONSULTING GROUP, INC.

  UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE EVIDENCE OF LOCATIONS PROVIDED BY IRTH ONE CALL TICKET NO: 32403542 & 324003612. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE NOT VERIFIED BY JCH CONSULTING GROUP, INC.

  10. HORIZONTAL CLOSURE FOR SUBJECT PARCEL IS 1/62,942.

  11. THERE IS NO OBSERVED EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

  12. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.

  13. EXCEPT AS SHOWN HEREON, THERE IS NO VISIBLE EVIDENCE OF EASEMENTS OR RIGHTS OF WAY ACROSS SUBJECT PROPERTY.

- 13. EXCEPT AS SHOWN HEREON, THERE IS NO MISIBLE ENDENCE OF EASEMENTS OR RIGHTS OF WAY ACROSS SUBJECT PROPERTY.

  14. ACCESS TO THE SUBJECT PROPERTY IS OBTAINED FROM PLEASANT AVENUE AN PINELLAS TRIAL (PUBLIC RIGHT OF WAY).

  15. WITHOUT EXPRESSING A LEGAL OPINION AS TO THE OWNERSHIP OR NATURE OF THE POTENTIAL ENCROACHMENT, THE EVIDENCE, LOCATION, AND EXTENT OF POTENTIALLY ENCROACHING STRUCTURAL APPURTENANCES AND PROJECTIONS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY ARE SHOWN HEREON.

  16. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

  17. THERE WAS NO APPARENT WEILAND DELINEATION DONE ON THE SUBJECT PARCEL AT THE TIME OF THE SURVEY.

  18. THERE IS NO OBSERVED SURFACE EVIDENCE OF CEMETERIES OR FAMILY BURIAL SITES.

  19. TOPOGRAPHIC DATA AND TREE LOCATIONS ARE BASED ON AREA AS SPECIFED BY CLIENT.

  20. WEILANDS DEPICTED HEREON ARE BASED ON FIELD LOCATIONS PROVIDED BY FLATWOODS CONSULTING GROUP, INC ON OCTOBER 27, 2020, ENCEPT FOR WEILAND METANDED TO THE TOPOGRAPHIC DATA WATER MARKER ELEVATION DEPICTED HEREON IS BASED ON FLAGGING AROUND BOTTOM TIRE ON DECEMBER 31, 2020.
- 21. TREE SAMPLE AREA IS BASED ON ALL 4" AND LARGER TREES LOCATED IN AN AREA OF +/- 1.58 ACRES MORE OR
- 22. VERTICAL DATUM IS BASED ON NGS CONTROL POINTS BOWFIN, ELEVATION 23.93' (NAVD 1988).

#### NOTES CORRESPONDING TO SCHEDULE B-2 ITEMS:

ABSTRACT INFORMATION WAS PROVIDED BY ALLIANT NATIONAL TITLE INSURANCE COMPANY ALLIANT NATIONAL FILE NO. 20022841, COMMITMENT NUMBER 20022841, ISSUING OFFICE FILE NUMBER NOELLFAMILY, BEARING AN EFFECTIVE DATE OF OCTOBER 19, 2020. THE FOLLOWING SCHEDULE B-II ITEMS ARE NOTED RELATIVE TO PARCEL:

RESTRICTIONS, RESERVATIONS, COVENANTS, EASEMENTS, CONDITIONS AND ALL OTHER MATTERS AS SHOWN ON PLAT RECORDED IN PLAT BOOK 1, PAGE 116, OF THE PUBLIC RECORDS OF PIWELLAS COUNTY, FLORIDA. AFFECTS THE SUBJECT PARCEL AND IS DEPICTED HEREON.

ITEM 10: RESTRICTIONS, RESERVATIONS, COVENANTS, EASEMENTS, CONDITIONS AND ALL OTHER MATTERS AS SHOWN ON PLAT RECORDED IN PLAT BOOK 14, PAGE 112, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA. AFFECTS THE SUBJECT PARCEL AND IS DEPICTED HEREON.

#### OBSERVED PARKING:

#### ZONING DATA:

PESIDENTIAL ACRICULTURE DIST

#### UTILITY CONTACTS:

CLEARWATER GAS SYSTEM

CONTACT: MICHAEL HERRICK 727-243-1631

	CONTACT: OLAMETER LOCATING SERVICE 855-286-4227	FIBER:	MCI
EWER, WATER:	CITY OF TARPON SPRINGS CONTACT: WILLIE WILLIAMS		CONTACT: FIELD CONTACT 800-624-9672
	727-937-2557 X2601	CABLE, FIBER TELEPHONE:	CHARTER COMMUNICATIONS CONTACT: USIC DISPATCH OFFICE

FIBER: ZAYO /FORMERLY LIGHTWAVE LLC 800-778-9140 PINELLAS COUNTY UTILITIES SEWER CONTACT: RODNEY ROBISON 727-453-6703 POPE 863-220-0018

DUKE ENERGY — ST. PETERBURG CONTACT: USIC DISPATCH 800—778—9140 ELECTRIC: PINELLAS COUNTY UTILITIES WATER CONTACT: RODNEY ROBISON 727-453-6703 CATV:

CONTACT: USIC DISPATCH 800-778-9140 UNITI FIBER LLC CONTACT: SOUTHERN LIGHT EMERGENCY RESPONSE DISPATCH 877-652-2321 KNOLOGY BROADBAND OF FLORIDA FIBER:

#### PROPERTY DATA:

GAS:

PARCEL ID: 24-27-15-89280-000-6104
OWNER: NOELL FAMILY
ADDRESS: 4706 PLEASANT AVENUE, PALM

#### FLOOD CERTIFICATION:

PROPERTY LIES IN FLOOD ZONES "X" AN AREA OF MINIMAL FLOODING, ZONE "AE" A SPECIAL FLOOD HAZARD AREA AND ZONE "X0.2%", ANNUAL CHANCE FLOOD HAZARD AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SOURE MILE, PER THE FLOOD INSURANCE RATE MAP NUMBER 12103C0057G, EFFECTIVE SEPTEMBER 3, 2003.

TO D.R. HORTON INC., A DELAWARE CORPORATION, ALLIANT NATIONAL TITLE INSURANCE COMPANY, DHI TITLE OF FLORIDA, INC. THAT:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINILY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A),6(B), 7(A), 7(B)(I), 8, 9, 10(A), 11, 13, 14, 16, 17, 18, 19, AND 20, OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED: NOVEMBER 17, 2020: DATE OF LAST REVISION:

SIGNATURE DATE CHRIS@ ICHCG COM

CHRISTOPHER J. HOWSON REGISTRATION NO. LS 6553 IN THE STATE OF FLORIDA DATE OF SURVEY: NOVEMBER 17, 2020. DATE OF LAST REVISION

ALTA/NSPS LAND TITLE SURVEY FOR: D.R. HORTON INC.

J.O.#200908 SHT 1 OF 5

LEGEND UNLESS OTHERWISE NOTED

RECORD DESCRIPTION:

SUBJECT TO THAT CERTAIN EASEMENT DESCRIBED AS FOLLOWS:

PARCEL 1: LOTS 4, 5 AND 6, BLOCK 2, PLEASANT VALLEY ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 14, PAGE 12, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

PARCEL 2:
THAT PART OF TRACT 61 LYING EAST OF THE ATLANTIC COAST LINE RAILROAD RIGHT OF WAY, TAMPA AND TARPON SPRINGS
LAND COMPANY SUBDIVISION OF THE SW 1/4 OF SECTION 24, TOWNSHIP 27 SOUTH, RANGE 15 EAST, ACCORDING TO THE PLAT
OF SAID SECTION, RECORDED IN PLAT BOOK 1, PAGE 116, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF
WHICH PINELLAS COUNTY WAS FORMERLY A PART, LESS HOWEVER, LANDS DESCRIBED IN DEED BOOK 1111, PAGE 184 AND
DEED BOOK 1249, PAGE 599, OF THE PUBLIC RECORD OF PINELLAS COUNTY, FLORIDA.

SUBJECT TO THAT CERTAIN EASEMENT DESCRIBED AS FOLLOWS:
PART OF THE LOT 61 OF THE TAMPA AND TARRON SPRINGS LAND COMPANY SUBDIVISION OF THE SW 1/4 OF SECTION 24,
TOWNSHIP 27 SOUTH, RANGE 15 EAST, AS RECORDED IN PLAT BOOK 1, PAGE 116, OF THE PUBLIC RECORDS OF HILLSBOROUGH
COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 61; THENCE N89 4602% (ASSUMED BEARING AND BASIS OF BEARING
FOR THIS DESCRIPTION), ALONG THE NORTH BOUNDARY OF SAID LOT 61, 37.00 FEET FOR A POINT OF BEGINNING; THENCE SO 0715/18" E PARALLEL TO THE MORTH BOUNDARY OF SAID LOT 61, 75.00 FEET; THENCE S 89'46'02" E PARALLEL TO THE
MORTH BOUNDARY OF SAID LOT 61, 0.59 FEET; THENCE S 09'11'23" E ALONG A LINE THAT, IF PROJECTED, WOULD INTERSECT
THE SOUTH BOUNDARY OF SAID LOT 61 AT A POINT 27.00 FEET WESTERLY OF THE SOUTHEAST CORNER OF SAID LOT 61,
15.00 FEET; THENCE N 6500'00" W 36.00 FEET; THENCE N 00'13'18" W 75.00 FEET; THENCE S 89'46'02" E ALONG THE
NORTH BOUNDARY OF SAID LOT 61 34.00 FEET TO THE POINT OF BEGINNING.

PARCEL 3: THE NORTH 1/2 OF TRACTS 63 AND 64, TAMPA AND TARPON SPRINGS LAND COMPANY SUBDIVISION IN SECTION 24, TOWNSHIP 27 SOUTH, RANGE 15 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 116, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART, LYING EASTERLY OF THE

PARCEL D.
THE SOUTH 1/2 OF TRACTS 63 AND 64, TAMPA AND TARPON SPRINGS LAND COMPANY SUBDIVISION IN THE SW 1/4 OF
SECTION 24, TOWNSHIP 27 SOUTH, RANGE 15 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE
116, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART,
LESS RAILROAD RIGHT OF WAY AND LESS ROAD RIGHT OF WAY.

SANITARY CLEANOUT
 ELECTRIC MANHOLE
 ELECTRIC METER

FOUND 1/2" IRON ROD & CAP (AS NOTED)

O FOUND 1/2" IRON PIPE (AS NOTED)

MORE OR LESS
ELEVATION
LICENSED BUSINESS
NUMBER
LAND SURVEYOR
IDENTIFICATION
OFFICIAL RECORDS BOOK
CENTERLINE
BADIUS CENTERLINE
RADIUS
ARC LENGTH
DELTA (CENTRAL ANGLE)
CHORD LENGTH
CHORD BEARING
POINT ON CURVE
POINT ON CURVE
POINT OF COMPOUND CURVATURE
POINT OF CURVATURE
POINT OF CURVATURE
POINT OF CURVATURE
POINT OF CANACONCY POINT OF TANGENCY POINT OF INTERSECTION

(F) FIELD MEASURE DEED MEASURE
PLAT MEASURE
POINT OF COMMENCEMENT POINT OF BEGINNING FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL EMERGENCY MANAGEMENT AG DUCTILE IRON PIPE POLYMINI. CHLORIDE CORRUGATED METAL PIPE REINFORCED CONCRETE PIPE NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM PLAT BOOK OFFICIAL RECORDS BOOK DATOCY !

PAGE(S)
RIGHT OF WAY
EASEMENT
SECTION
FOUND

FOUND
RECOVERED
CERTIFIED CORNER RECORD
REGISTERED LAND SURVEYOR
CONCRETE MONUMENT
IRON ROD AND CAP
IRON ROD
IRON PIPE
CHAIN LINK FENCE
MITERIER DUS SECTION

MITERED END SECTION CURB INLET GRATE ⊕ ⊞ CATCH BASIN ⑤ STORM MANHOLE

SANITARY MANHOLF SANITARY AIR RELEASE VALVE

ELECTRIC RISER BOX
CABLE TELEMISION RISER BOX
TELEPHONE RISER BOX
UTILITY RISER TREE LEGEND WELL
WATER SPIGOT
IRRIGATION CONTROL VALVE
WATER METER
WATER VALVE (SIZE DENOTED INSIDE SYMBOL) CAMPHOR ( ) CEDAR S FIRE HYDRANT FIRE HYDRANT

AIR CONDITIONER PAD

AIR CONDITIONER CHERRY CHINABERRY CYPRESS CONCRETE UTILITY POLE

METAL UTILITY POLE

WOOD UTILITY POLE

UTILITY POLE GUY ANCHOR

LIGHT POLE DOGWOOD ELM SUM GUM SPOT/GROUND LIGHT C HICKORY \* WETLAND FLAG

SIGN

BOLLARD

FILAG FOLE FAST HOLLY ( LAUREL OAK LIVE OAK MAILBOX BLOW OFF ASSEMBLY FIBER OPTIC MARKER MAGNOLIA TRAFFIC BOX MAPLE LINE BREAK

\*\* FENCE LINE AS NOTED

\*\* OVERHEAD UTILITY LINE

\*\* APPROXIMATE TOP OF BANK

\*\* PASSING CONTOUR

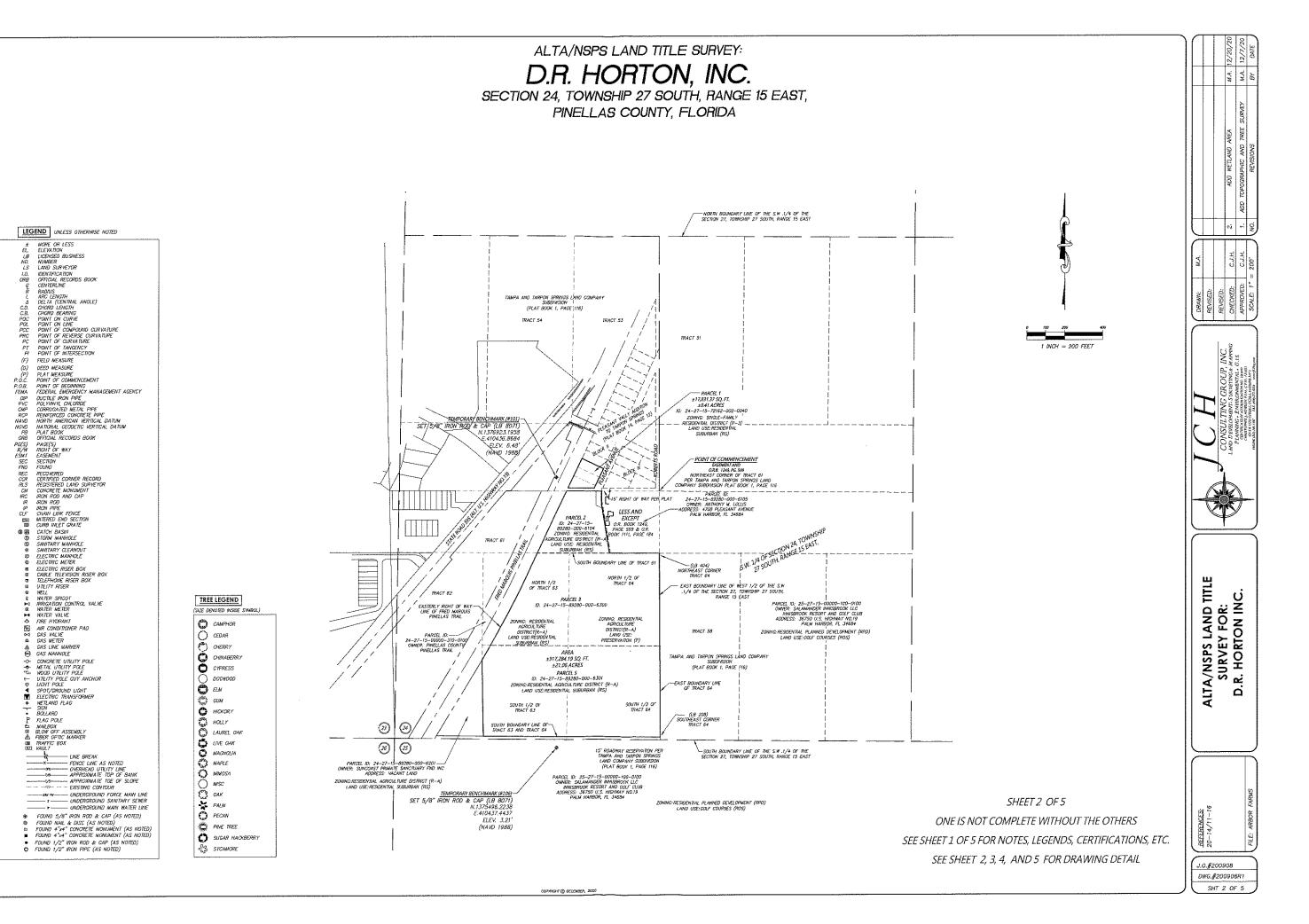
\*\* EXISTING CONTOUR MIMOSA MISC E'3 OAK PALM SM N UNDERGROUND FORCE MAIN LINE
S UNDERGROUND SANITARY SEWER
UNDERGROUND MAIN WATER LINE PECAN PINE TREE FOUND 5/8" IRON ROD & CAP (AS NOTED)
FOUND NAIL & DISC (AS NOTED)
FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)

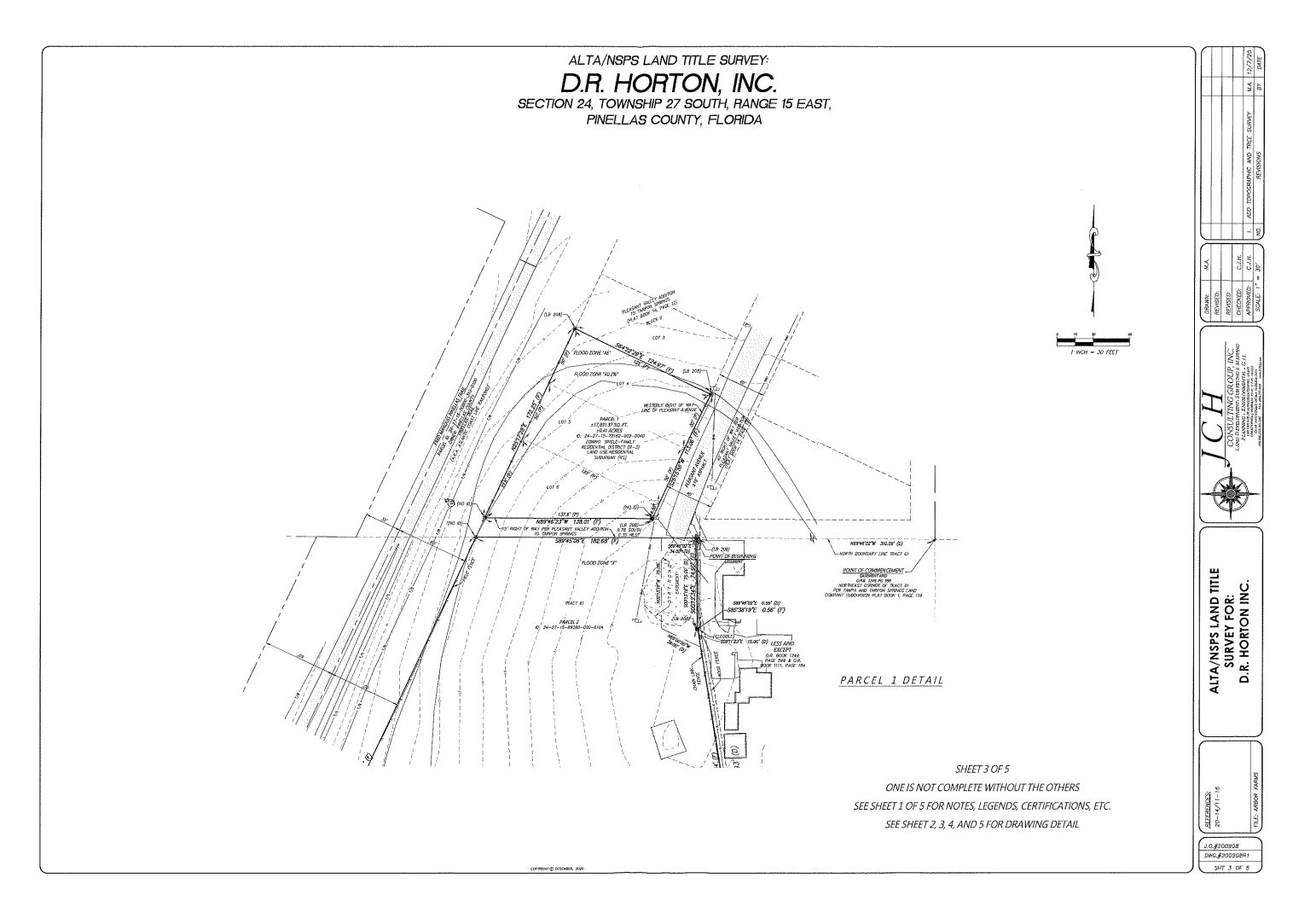
SUGAR HACKBERRY

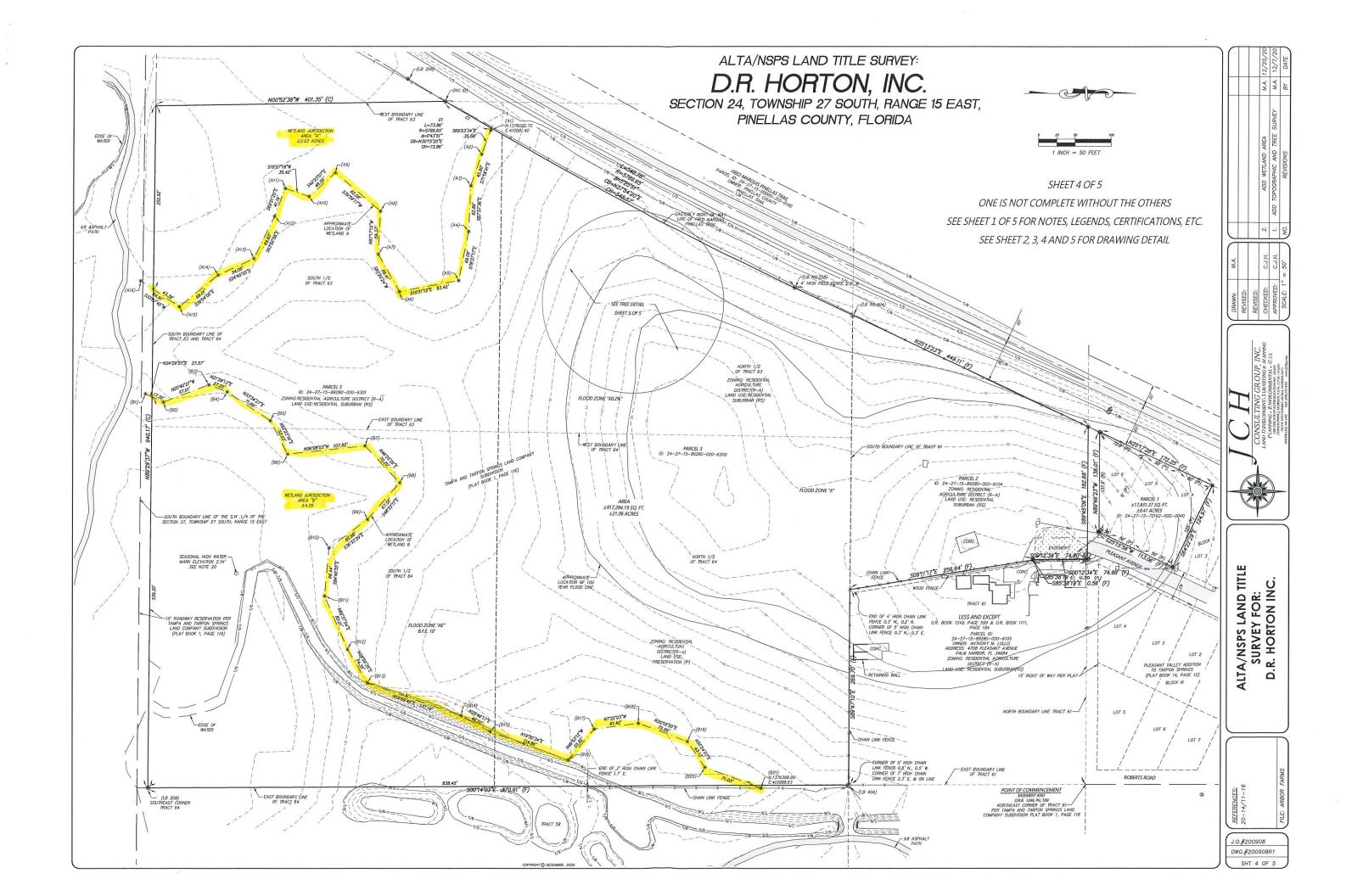
SYCAMORE

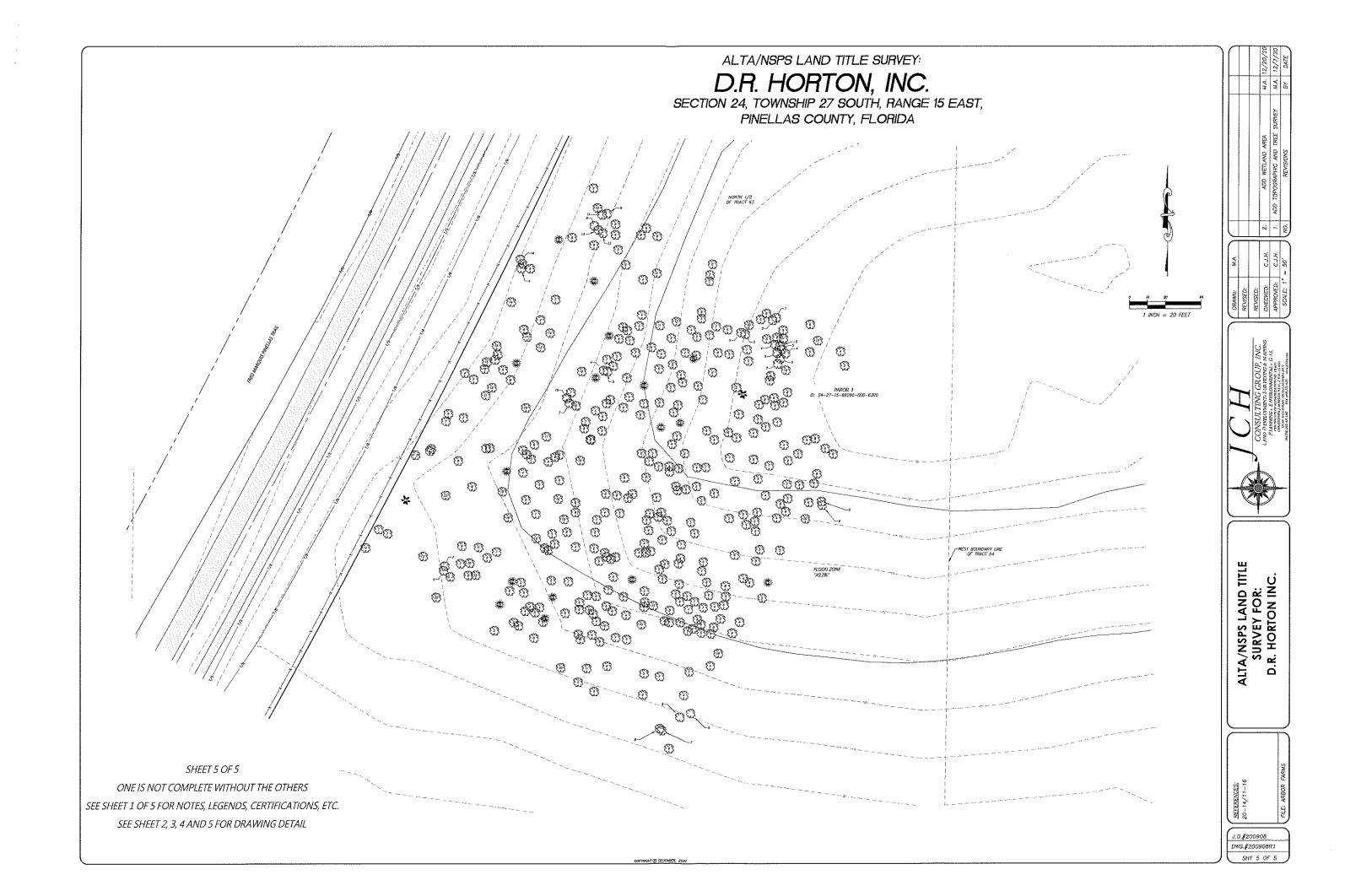
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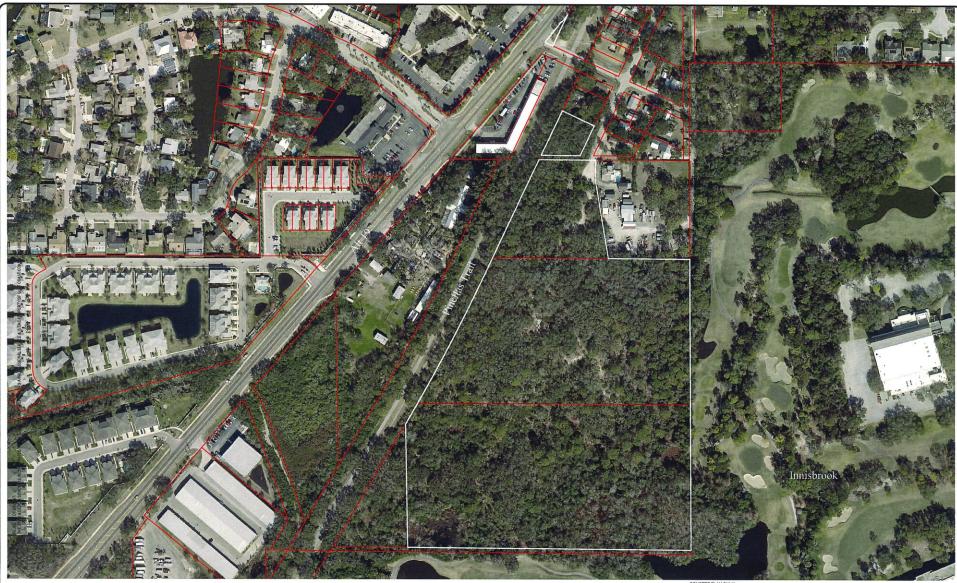
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

















CONCEPT PLAN ONLY SUBJECT TO CHANGE BASED ON FINAL DESIGN, BOUNDARY & TOPOGRAPHIC SURVEY AND JURISDICTIONAL WETLAND CONSTRAINTS, SUBJECT TO SITE PLAN APPROVAL.

Aerial Photograph

# SIESTA

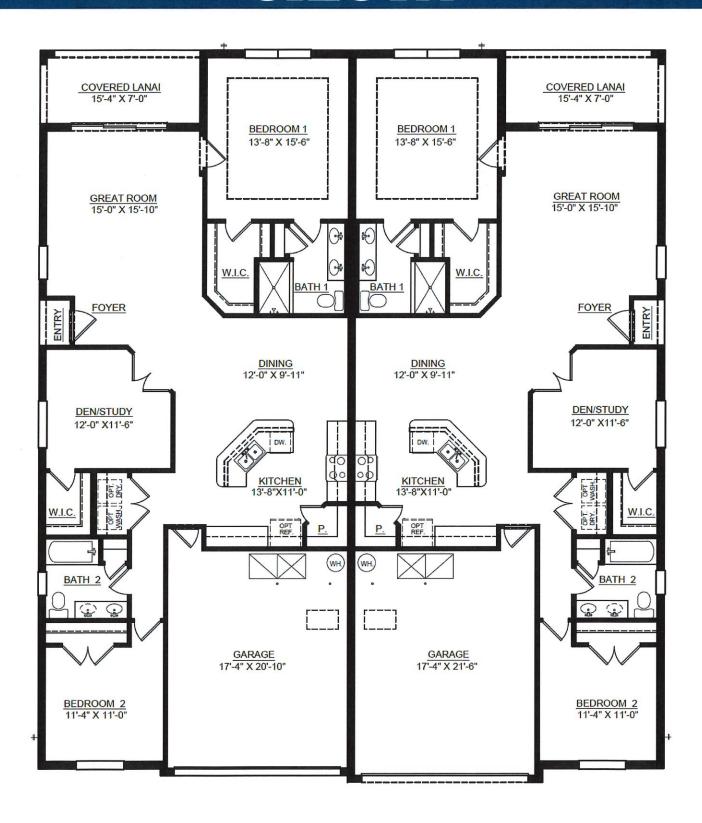






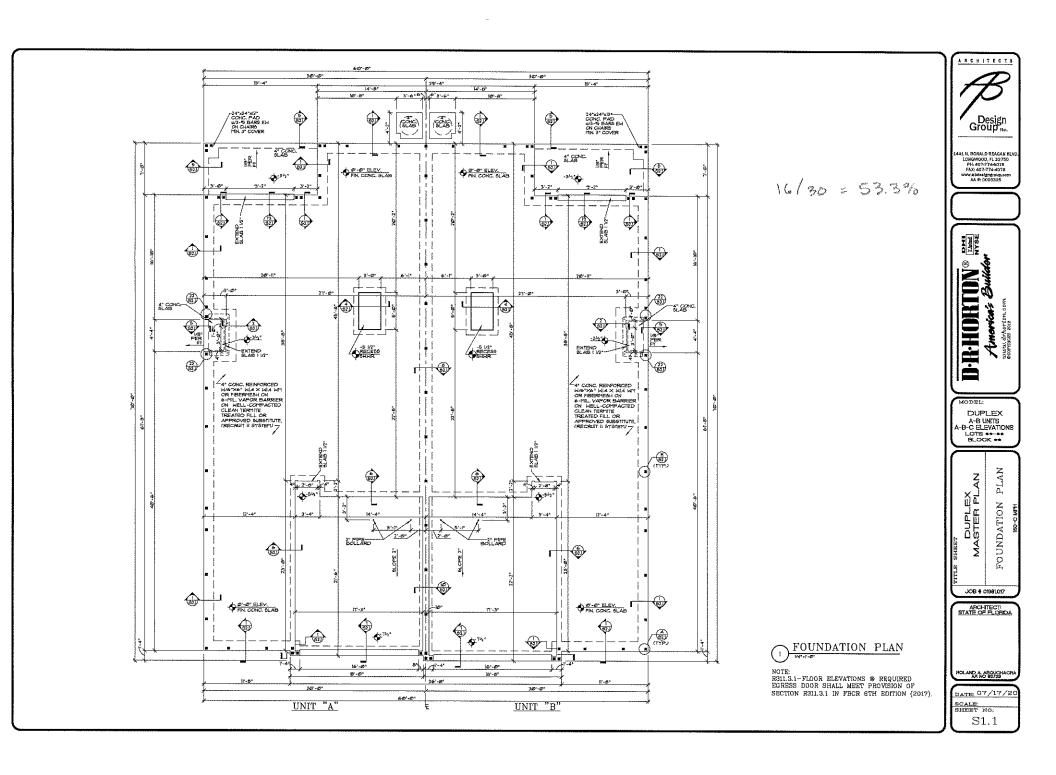


# SIESTA





Pictures, photographs, colors, features, and sizes are for illustration purposes only and will vary from the homes as built. Square footage dimensions are approximate. See Sales Agent for complete details. 07/29/20. CBC039052.



# VALE & GLEN TOWNHOMES







## VALE & GLEN TOWNHOMES

**Vale** 1,758 Sq. Ft.



First Floor Second Floor

**Glen** 1,673 Sq. Ft.



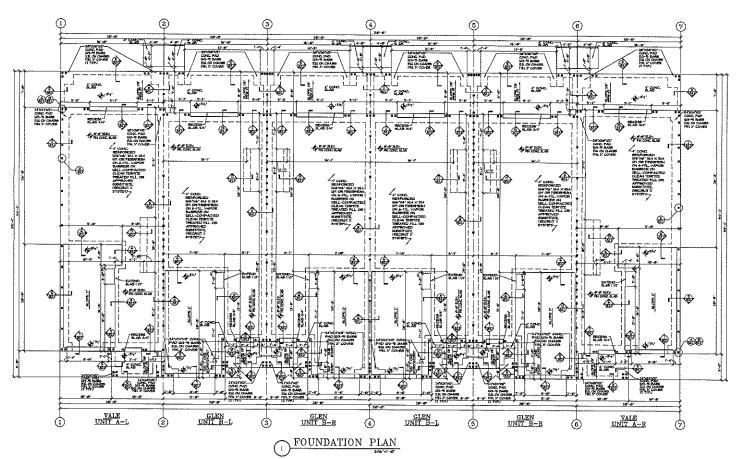


First Floor

**Second Floor** 



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R311.3.1-FLOOR ELEVATIONS @ REQUIRED EGRESS DOOR SHALL MEET PROVISION OF SECTION R311.3.1 IN FBCR 5TH ED. (2017).

#### FOUNDATION NOTES

- 1. PLOOR SEALL SE 4' CONCRETE SLAB REINFORCED W/ FISERMESH ON 6-ML FOLY STAYLENE VAPOR DARRIER ON WELL-COURACTED CLEAN TENEUTY TREATED TILL OR APPROVED SUBSTITUTE, (RECREIT IS INSTITUTE, SEE CHESTER). SEE CENTERAL MOTES FOR COMPACTINE COUNTEMENTS.

  1. DOU'N PRINCIPE SLAB STALL DES SALL CONCIDE OURSES DRESSIONED OTHERWISE. SEE SALL CONCIDE OURSES DRESSIONED OTHERWISE. SEE SERVICY FOLT FOR NOVE.

  1. PREVIOUS SOLATION O'O'- SEE SURVEY FOLT FOR NOVE.

  1. PREVIOUS SOLATION O'O'- SEE SURVEY FOLT FOR NOVE.

  1. PREVIOUS SOLATION O'ONE SETSEEN DITECTOR AND EXTENDER SLABS ON GRADE FROUDE CONCIDENCE SELECTION DOWNERS STATEMENT SELECTION OF SELEC

- 1/2" TEXT ADMINISTRATION OF THE NEW AND EXTENSION AND EXTENSION STABLE PROVIDE (\*\*) THE TEXT ADMINISTRATIONS STEPS, AND SLOPES WITH ARCHITECTURAL DRAFMORS.

  5. SPICIOS IN REPROVENCING BASE STEELS NOT SLEES THAN 40 SAID DIMETERS (\$P-50', \$0^- 55').

  5. RATENNA, ANALYSIS WAS PERFORMED TO DETERMINE SIZE AND STEEL RESPONSING FOR ALL PROVIDENCING DESIGN WAS ASSED ON ALL ALMORALS SOIL BEAUTHOR CALACTLY OF ZOOD FOR THE TEXT ADMINISTRATION OF THE TEXT ADMIN

DOUBL LEGEND TO LINTEL COURSE U/ 1 % REBAR

DESIGN CRITERIA

THIS PCINDATION SYSTEM FOR THIS PEACHER HAS SEEN DESCRIPTION FEEL ALL REQUIREMENTS FOR FOLKDATIONS DESCRIPTION TO 1000 PTF SOIL BEARING CAPACITY.

Note: USE 3000 PM CONCRETE U BROCH FROM FOR IS ATMORY.

8/20= 40%









FOUNDATION PLAN O1961.\*\*\*



DATE: 05/20/20 SCALE: AS NOTED S1.1