

WORKSHEET AND RECOMMENDATION
BOARD OF ADJUSTMENT AND APPEALS HEARING
BOAA CASE NUMBER: TY2-22-11

DRC MEETING: July 11, 2022 @ 9:00 AM - 1st Floor, Housing & Community Dev. Conf Room

BOA HEARING: August 3, 2022 @ 9:00 AM - 5th Floor, Board Assembly Room

ATLAS PAGE: 255

OWNER/ADDRESS: Christ the King Lutheran Church Inc. Largo Florida
11220 Oakhurst Rd.
Largo, FL. 33774

REP/ADDRESS: Alan Ruiz, Vertex Development LLC
3630 W. Kennedy Blvd.
Tampa, FL. 33609

PROPERTY ZONING: R-2, Single Family Residential

LAND USE DESIG: RL/I, Residential Low/Institutional

TYPE APPLICATION: Type 2 Use

CASE DESCRIPTION: A Type-2 Use to allow the construction of a 120-foot-tall, camouflaged communication tower and related support facilities, for the R-2 zoned property located at 11220 Oakhurst Road in unincorporated Largo.

PARCEL ID NUMBER: 18/30/15/62635/004/0180

NOTICES SENT TO: Christ the King Lutheran Church Inc, Alan Ruiz, Vertex Development LLC., Cynthia Johnson, Economic Development, Surrounding Owners & BCC Office (See Attached List)

DISCLOSURE: Jon Boeche, BM, Kerry Rose, VC Director, Pauline Pereira, Secretary, Director, Dorothy Thomas, Chair, Director

TY2-22-11

RECOMMENDATION: CONDITIONAL APPROVAL

The Development Review Committee staff has no objection to the conditional approval of this request as it appears to meet the criteria for granting Type 2 Uses found in Section 138-241 of the Pinellas County Land Development Code, as described below. The Pinellas County Land Development Code (LDC) requires Type-2 Use approval for camouflaged communications towers in the R-2 zoning district that exceed 75 feet in height. The proposed tower is designed to resemble a cross and is 120 feet tall. Towers are also required to be set back from abutting residential property lines a distance equal to the height of the tower. That requirement is met in this case. Approval should be subject to the following conditions:

1. The applicant shall obtain all required permits and pay all applicable fees.
2. Appropriate site plan review.
3. All other requirements in LDC Section 138-3313 shall be met.

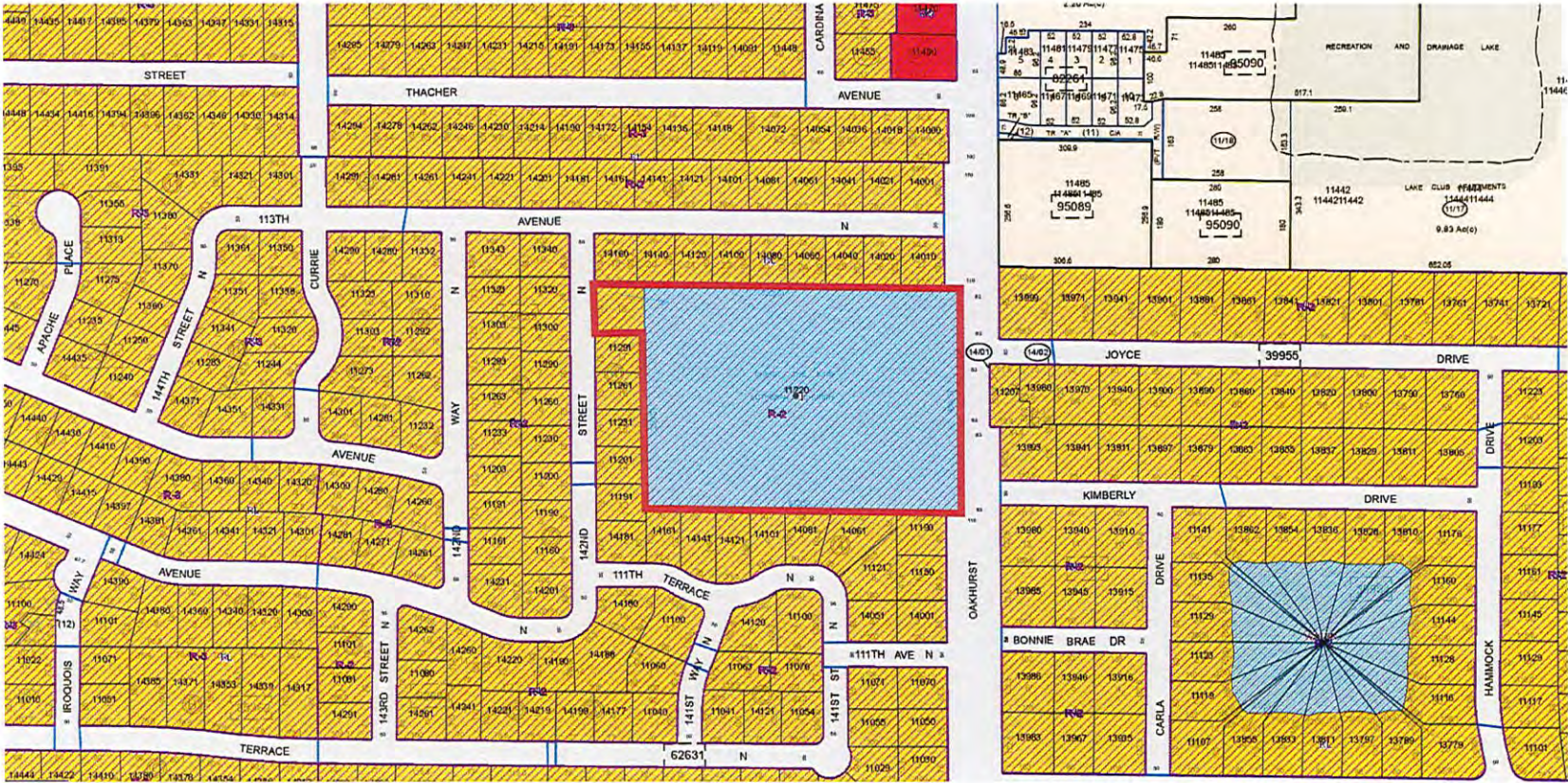
Criteria for Granting a Type 2 Use Pinellas County Land Development Code Section 138-241	
a.	The proposed use is consistent with the Pinellas County Comprehensive Plan and with the purpose and intent of the applicable zoning district. <i>Staff response: The proposed communications tower is consistent with the Comprehensive Plan, specifically Future Land Use & Quality Communities Element Objective 1.2 and related policies and is consistent with the R-2 zoning district, via the Type 2 Use approval process.</i>
b.	There is adequate separation of the proposed use and related structures from adjacent and nearby uses by screening devices, buffer area, and/or other appropriate means. <i>Staff response: The adjacent uses beyond the subject property are primarily single family residential. The proposed location of the tower is 148 feet from the nearest residential home. There are existing trees along parts of the subject property's perimeter that will help provide a buffer.</i>
c.	Adequate drives, walkways, and parking are available or proposed so that no vehicular circulation or parking problems are created. <i>Staff response: Adequate drives, walkways and parking will be in place. The tower's proposed location will utilize existing paved access. A recommended condition of approval is appropriate site plan review, which will ensure that these elements will be addressed.</i>
d.	The proposed use will not create excessive vehicular traffic or other traffic problems. <i>Staff response: The proposed use generates little traffic and is not anticipated to create excessive vehicular traffic or other traffic problems.</i>
e.	Drainage problems will not be created on the subject property or nearby properties. <i>Staff response: The area of construction is relatively small and no drainage problems are anticipated. This issue will be addressed during site plan review.</i>
f.	All provisions and requirements of the applicable zoning district will be met, unless otherwise varied by the authorized reviewing body as authorized by the Code. <i>Staff response: All provisions and requirements of the R-2 zoning district will be met, subject to this Type-2 Use approval.</i>

Reference #: TY2-22-00011

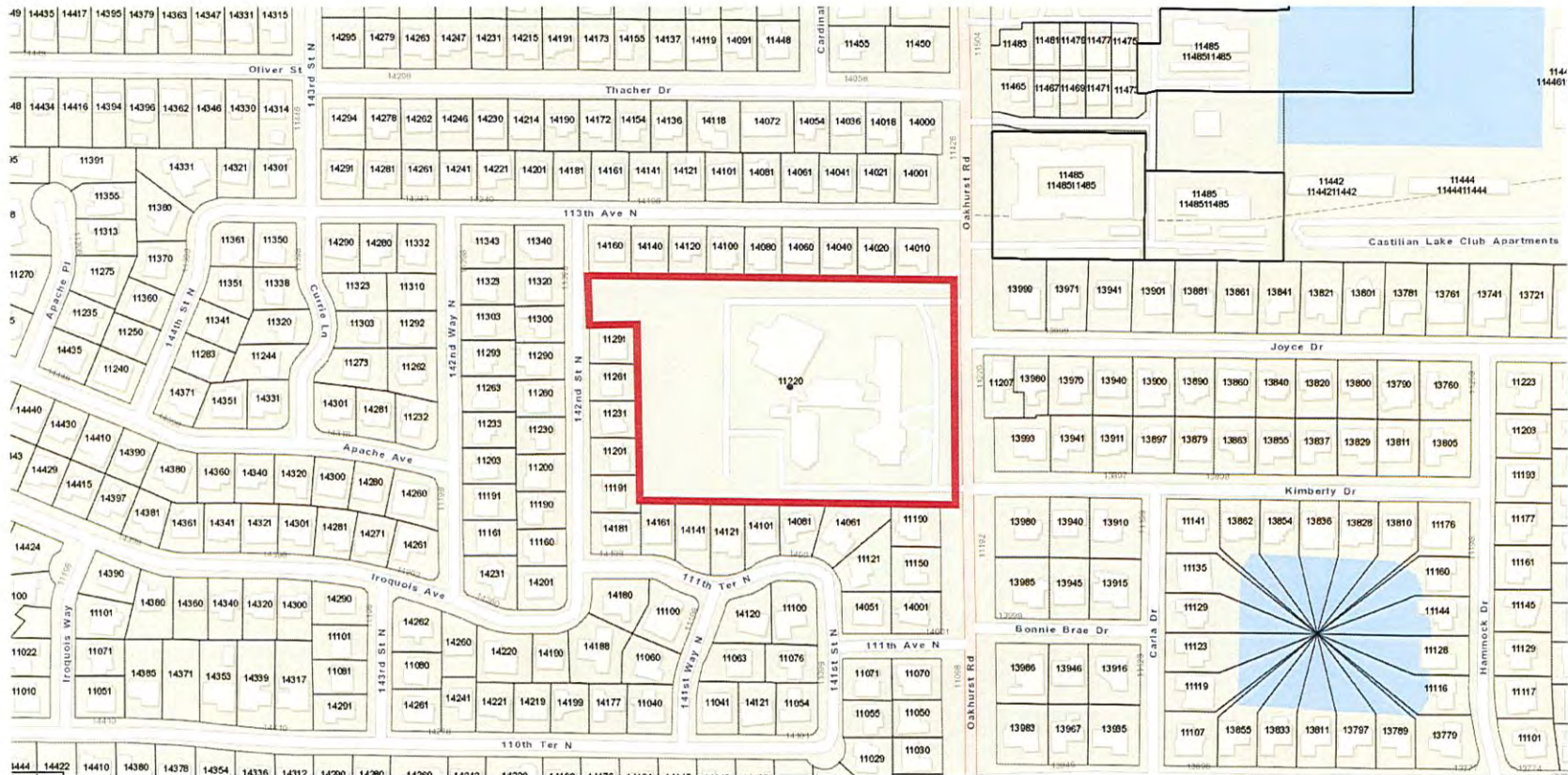
TY2-22-11



TY2-22-11



TY2-22-11



If so, list names of all parties to the contract including all partners, corporate officers, and members of any trust: _____

Is contract conditional or absolute? _____

2C. Are there any options to purchase subject property? No

If so, list names of all parties to option including all partners, corporate officers, and members of any trust:

3. Hearing requested to allow the following (attach additional sheet if necessary): 120' monocross-type Communications Tower in a R-2 zoning district.

4. Location of Subject Property: 11220 Oakhurst Rd, Largo, FL 33774
(Street Address)

5. Legal Description of Subject Property:

See attached.

6. Lot Size: 6.56 AC

7. Zoning Classification: R-2

Land Use Map Designation: Institutional

8. Current structures and improvements on the property: 4 structures; comprised of 41,407 total square feet

9. Proposed use of property will be: The church will continue usual operations. Additional proposed use for a communication tower.

10. In order to authorize a Type 2 use, the Board must review the proposal against the criteria for granting of Type 2 uses found in Pinellas County Land Development Code section 138-241. Please demonstrate how your request meets each of the criteria below. This section is very important since the applicant must demonstrate to the Board through a showing of substantial and competent evidence that relevant criteria has been met to warrant approval (attach additional sheet if necessary):

(a) *The proposed use is consistent with the Comprehensive Plan and with the purpose and intent of the applicable zoning district:* Both the existing use as a church and the proposed use are consistent with the R-2 zoning category and the Institutional FLU designation, appropriate for community serving uses.

(b) *There is adequate separation of the proposed use and structures from nearby uses by screening devices, buffer area, etc.:* Vertex is utilizing a monocross tower design in order to integrate the tower with the current land use. Additionally the tower location meets the separation set by the LDC. The base of the tower will be screened by an 8-foot fence and landscaping.

- (c) Adequate drives, walkways and parking are available or proposed so that no vehicular circulation or parking problems are created: Typical traffic to the tower site is one trip per carrier per month, Vertex is using existing drive aisles to access its compound and is providing 1 parking space.
-
- (d) The proposed use will not create excessive vehicular traffic or other traffic problems: As typical traffic to the tower site is one trip per carrier per month, the proposed use will not create excessive traffic.
-
- (e) Drainage problems will not be created on the subject property or nearby properties: The 2,700 SF compound will be designed to meet SWFWMD stormwater drainage requirements.
-
- (f) All requirements of the applicable zoning district will be met, unless otherwise varied: The tower will meet all dimensional criteria of the R-2 district; however, Vertex is requesting additional height for the tower.
-

11. Has any previous application or appeal been filed in connection with this property within the last two years? (Yes) (No) If so, briefly state the nature of the application or appeal? _____

12. The following data and exhibits must be submitted with this application and they become a permanent part of the public records:

- (A) A recent survey of the subject property.
- (B) Concept plan, drawn to scale showing all existing and proposed structures, use of each, dimension, spacing between structures, setbacks from all property lines, property dimensions, abutting streets and other public easements, clearly delineated off-street parking spaces and North point. If the plan is larger than 11" X 17", 12 copies will be required. Concept plans not containing adequate information cannot be considered by the Board.
- (C) Specific Use Standards. Please review and comply with any additional requirements related to the requested use that may be mandated by Chapter 138 Article IX of the Pinellas County Land Development Code.

13. Date Property Acquired: April 26, 2009 and leased on February 18, 2016

14. Does the applicant own any property contiguous to the subject property? (Yes) (No) If so, give complete legal description of contiguous property: _____

15. Have you been notified of a violation from:

Pinellas County Building? No Violation Number _____

Pinellas County Code Enforcement? No Violation Number _____

Other? No Violation Number _____

CERTIFICATION

I hereby certify that I am the owner and record title holder or trustee of the property described herein; that I have read and understand the contents of this application, and that this application, together with all supplemental data and information is a true representation of the facts concerning this request; that this application is made with my approval, as owner and applicant, as evidenced by my signature appearing below. It is hereby acknowledged that the filing of this application does not constitute automatic approval of the request; that the burden is on the undersigned to provide substantial and competent evidence to show that relevant criteria is met prior to any approval being granted; and further that if the request is approved, I will obtain all necessary permits and comply with all applicable orders, codes, conditions, and rules and regulations pertaining to the use of the subject property. I further understand that any misrepresentation of the facts contained herein may render action on this request by Pinellas County to be null and void.

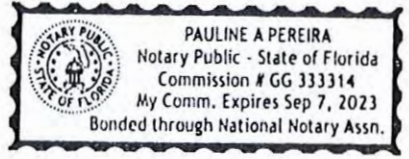
[Signature]
(Signature of Owner of Lessee, or Owner's or Lessee's)
(Authorized Officer/Director/Partner/Manager)

James M...
(Print Name and Provide Signatory's Title/Office)

The foregoing instrument was acknowledged before me by means of physical presence or on-line notarization, this 9th day of June, 2022 by Jon Boeche as Business Manager (type of authority, e. g. officer, trustee, attorney in fact) for CHRIST THE KING LUTHERAN, as owner (type of authority, e. g. officer, trustee, attorney in fact) for APPLICANT (name of party of whom instrument was executed).

Personally Known Produced ID
Type of ID _____

Notary Signature Pauline A Pereira
Print Name PAULINE A PEREIRA



*Applications which are filed by corporations must bear the seal of the corporation over the signature of an officer authorized to act on behalf of the corporation.

TY2-22-00011

Menu Reports Help

File Date: [06/21/2022](#)

Application Status: [Submitted](#)

Application Type: [Type 2 Use](#)

Application Detail: [Detail](#)

Description of Work: [Vertex Development, LLC is seeking a Type 2 Use Approval to construct a 120' camouflaged Communication Tower \("Tower"\).](#)

Application Name:

Site Address: [11220 OAKHURST RD, LARGO, 33774](#)

Owner Name: [CHRIST THE KING LUTHERAN CHURCH INC LARGO FLORIDA](#)

Owner Address: [11220 OAKHURST RD, LARGO, FL 33774 444](#)

Parcel No: [183015626350040180](#)

Contact Info: Name Organization Name Contact Type Contact Primary Address Status

Alan Ruiz	Vertex Developm...	Authorized		Active
---------------------------	------------------------------------	------------	--	--------

Licensed Professionals Info: Primary License Number License Type Name Business Name Business License #

Total Fee Assessed: [\\$1,850.00](#)

Total Fee Invoiced: [\\$1,850.00](#)

Balance: [\\$0.00](#)

Custom Fields: Type 2 Entity

-			
Contract for Sale	Contract Status	DRC Meeting Date	BAA Hearing Date
No	-	07/11/2022	08/03/2022
Option to Purchase			
No			
Has there been a previous application in the last 2 years?			
No			
Applicant own property Contiguous to Subject Property			
No			
Is this after the fact?			
No			
Is there an existing violation?			
No			
Non-Residential/Residential			
Non-Residential			
Current Structures/Improvements on Property	Proposed Use of Property	Existing Density	
4 structures; comprised of 41,407 square feet	The church will continue usual operations. Additional proposed use for a communication tower.	N/A	
		Date Property Acquired	
		April 26, 2009 and leased on February 18, 2016	

There is adequate separation

[Vertex is utilizing a monocross tower design in order to integrate the tower with the current land use. Additionally, the tower location meets the separation set by the LDC. The base of the tower will be screened by an 8-foot fence and landscaping.](#)

[Proposed use will not cause traffic problems As typical traffic to the tower site is one trip per carrier per month, the proposed use will not create excessive traffic.](#)

[Proposed use will not cause drainage problems on the subject property or nearby properties. The 2,700 SF compound will be designed to meet SWFWMD stormwater drainage requirements.](#)

Consistent with Comprehensive Plan and Zoning District

[Both the existing use as a church and the proposed use are consistent with the R-2 zoning category and the Institutional FLU designation, appropriate for community serving uses.](#)

[Adequate drives, walkways and parking are available or proposed? Typical traffic to the tower site is one trip per carrier per month, Vertex is using existing drive aisles to access its compound and is providing 1 parking space.](#)

[All requirements of the zoning district will be met unless otherwise varied The tower will meet all dimensional criteria of the R-2 district; however, Vertex is requesting additional height for the tower.](#)

STRUCTURES

[Proposed Structure Occupied by Present Structure](#)

SURROUNDING PROPERTY

[Direction Land Use Zoning Existing Use](#)

TY2-22-00011

Vertex Development, LLC is seeking a Type...

STATUS

> Submitted
06/28/2022 by Glenn Bailey

LOCATION

> 11220 OAKHURST RD
LARGO 33774

CONTACT

> Alan Ruiz

WORKFLOW

> 8 total Task
● 1 completed ○ 1 active

Summary

GIS (0)

Address (1)

Parcel (1)

Workflow

Activities (0)

Comments (1)

Custom Fields Type 2

Custom Tables (2)

Documents (14)

Edit Status

Fees (1)

Fee Payments

Flags (0)

Log_Activities (2)

Log_Comms (1)

Option to Purchase *

Yes No

Has there been a previous application in the last 2 years? *

Yes No

Applicant own property Contiguous to Subject Property *

Yes No

Is this after the fact? *

Yes No

Is there an existing violation? *

Yes No

Non-Residential/Residential

Non-Residential

Current Structures/Improvements on Property *

4 structures; comprised of 41,407 square feet

Proposed Use of Property *

The church will continue usual operations. Additional proposed use for a communication tower.

Existing Density

N/A

Date Property Acquired *

April 26, 2009 and lease

There is adequate separation *

Vertex is utilizing a monocross tower design in order to integrate the tower with the current land use.

Consistent with Comprehensive Plan and Zoning District *

Both the existing use as a church and the proposed use are consistent with the R-2 zoning category and the Institutional FLU designation, appropriate for community serving uses.

Proposed use will not cause traffic problems *

As typical traffic to the tower site is one trip per carrier per month, the proposed use will not create excessive traffic.

Adequate drives, walkways and parking are available or proposed? *

Typical traffic to the tower site is one trip per carrier per month, Vertex is using existing drive aisles to access its compound and is providing 1 parking space.

Proposed use will not cause drainage problems on the subject property or nearby properties. *

The 2,700 SF compound will be designed to meet SWFWMD stormwater drainage requirements.

All requirements of the zoning district will be met unless otherwise varied. *

The tower will meet all dimensional criteria of the R-2 district, however, Vertex is requesting additional height for the tower.

From: Mark Bankovic <mjpbank@yahoo.com>
Sent: Sunday, July 17, 2022 3:40 PM
To: Zoning, Planning
Subject: Case No TY2-22-11

CAUTION: *This message has originated from outside of the organization. **Do not** click on links or open attachments unless you are expecting the correspondence from the sender and know the content is safe.*

Pinellas County Housing and Community Development,

As the property owners of 11200 142nd St, Largo, FL 33774, we would like to go on record as being OPPOSED to the proposed cell phone tower at 11220 Oakhurst Rd. Largo, FL. Cell phone towers are very unsightly and according to the National Association of Realtors can negatively affect property values as much as 20%. The US Department of Housing and Urban Development considers cell phone towers hazards and nuisances and require appraisers to comment on the negative effect on marketability resulting from proximity to such site hazards and nuisances. (see US Dept of HUD HOC References Guide)

Once built, cell towers can go up an additional 20 feet with no public process due to the passing of Section 6409(a) of the Middle Class Tax Relief and Job Creation Act of 2012.

Health hazards of living near cell towers is up for debate, but once built, new evidence of health hazards would not be enough to warrant removal of an existing tower, so we would prefer to not have this potential health hazard in close proximity.

I have included a link to The Environmental Health Trust to support our conclusions regarding our OPPOSITION to the unsightly, dangerous and economically detrimental cell towers in our neighborhood.

<https://ehtrust.org/cell-phone-towers-lower-property-values-documentation-research/>

**Cell Phone Towers Lower Property Values:
Documentation And Research on C...**

Thank you for your time and consideration,
Mark and Jacqueline Bankovic
11200 142nd St
Largo, FL 33774

From: Jennifer Turney <JenniferTurney@empathhealth.org>
Sent: Tuesday, July 19, 2022 10:44 AM
To: Zoning, Planning <zoning@co.pinellas.fl.us>
Cc: Jennifer J Turney <superjtt@yahoo.com>
Subject: Reference # TY2-22-00011

CAUTION: *This message has originated from outside of the organization. Do not click on links or open attachments unless you are expecting the correspondence from the sender and know the content is safe.*

July 19, 2022

From: Jennifer Turney

14280 Apache Ave

Largo, FL 33774

superjtt@yahoo.com Phone: 727-265-0930

To: Pinellas County Housing and Community Development/Zoning Section

Re: Case No. TY2-22-11

Christ the King Lutheran Church Inc. Largo, FL Applicant

Alan Ruiz, Vertex Development LLC, Representative

With this communication I wish to express my strong opposition to the proposal that would allow for the construction of a 120-foot-tall camouflaged (cross-shaped) communications (cellular) tower on the property of Christ the King Lutheran Church. I reside and own my home within ¼ mile of this location. I am unable to attend a hearing regarding this matter on August 3, 2022 due to my employment so am sharing my view via email and fax. My thoughts are that:

Such a tower is visually offensive in a neighborhood setting. It would be an “eyesore.”

Any religious iconography of this size could be/is disrespectful and potentially intimidating to people of other cultures or religions.

The unknown health risks of EMF radiation emissions are concerning.

I very much hope that this construction will not be permitted.

Jennifer Turney

Personal email is superjtt@yahoo.com

From: Zoning, Planning
Sent: Wednesday, July 20, 2022 11:03 AM
To: Ruggiero, Renee M
Subject: FW: Case #: TY2-22-11 Christ the King Lutheran Church - Largo,FL

CAUTION: *This message has originated from outside of the organization. Do not click on links or open attachments unless you are expecting the correspondence from the sender and know the content is safe.*

This is my official logging my DISAPPROVAL of constructing a 120 foot camouflaged communication tower at Christ the King Lutheran Church in Largo, FL.

My address is 11100 141st Way N., Largo, FL just a few hundred yards to said church.

Thanks.

Larry Kress
270.300.4356 Cell

From: PWC <largo2553@yahoo.com>
Sent: Tuesday, July 26, 2022 10:41 AM
To: Zoning, Planning
Subject: Re: Case No. TY2-22-11 Christ the King Lutheran Church Inc.

CAUTION: *This message has originated from outside of the organization. Do not click on links or open attachments unless you are expecting the correspondence from the sender and know the content is safe.*

NOT in favor of the construction of a 120-foot-tall, communications tower camouflaged as a cross that Christ was crucified on to hide a commercial enterprise.

Erection of a 120 foot cross would destroy the aesthetics of this very nice residential area. Red lights, flashing or otherwise would also be a detriment to this peaceful environment.

Sincerely,

Paul Clark
11485 Oakhurst Road

From: Oral Mehmed <oralmehmed@yahoo.com>
Sent: Tuesday, July 26, 2022 5:48 PM
To: Zoning, Planning
Subject: Re: Case No. TY2-22-11 Christ the King Lutheran Church Inc. Largo Florida, Applicant

CAUTION: *This message has originated from outside of the organization. **Do not** click on links or open attachments unless you are expecting the correspondence from the sender and know the content is safe.*

We are AGAINST approval of the request by the applicant to allow construction of a 120-foot tall, camouflaged (cross-shaped) communication tower and related support facilities, for the R-2 zoned property located at 11220 Oakhurst Road in unincorporated Largo for the following reasons:

1. This is a residential area and erection of a 120-foot-tall structure and related support facilities will be an anomaly and may have significant impact on my residential property and other close by properties
2. This is an income venture by the applicant. Approval may encourage similar requests by other such entities that may be detrimental to other Largo residential areas.
3. Based on present knowledge, the long-term health effects from low level electromagnetic fields are considered safe. However, at this time science cannot provide a guarantee of absolute safety from long term exposure.

Respectively submitted,

Oral and Susan Mehmed
11485 Oakhurst Road Apt B201
Largo, FL 33774

From: Terry Murphy <tmurphski@gmail.com>
Sent: Tuesday, July 26, 2022 4:35 PM
To: Zoning, Planning
Subject: 120' tower in a neighborhood?

CAUTION: *This message has originated from outside of the organization. Do not click on links or open attachments unless you are expecting the correspondence from the sender and know the content is safe.*

Just got back from vacation and found a letter that Vertex Development LLC wants to build a 120' tower, on what looks like church property....and they are going to camouflage it as a cross and include related support facilities (lots of wires). This does not belong in this neighborhood. What kind of damage can this tower do if it comes down in a hurricane? What is the tower rated to? Who is responsible if this comes down? As a Christian, the cross doesn't bother me, but there are many religions in this neighborhood and a cross 120' is too much. Why don't they put it on the sheriffs property or on the Utilities land near Indian Rocks Bridge. Please do not approve this.

TY2-22-11

Application of Christ the King Lutheran Church Inc. Largo Florida, through Alan Ruiz, Vertex Development LLC., Representative, for a Type-2 Use to allow the construction of a 120-foot-tall, camouflaged communication tower and related support facilities, for the R-2 zoned property located at 11220 Oakhurst Road in unincorporated Largo.

Terry Murphy
727-709-5106



June 21, 2022

Pinellas County – Planning Department
310 Court St, 1st Floor
Clearwater, FL 33756

RE: Development Application for a Type 2 Use to allow for the construction and use of a 120-foot camouflaged Communication Tower

Applicant: Vertex Development, LLC
3630 W. Kennedy Blvd
Tampa, FL 33609

Owner: Christ the King Lutheran Church
Inc. Largo, Florida
11220 Oakhurst Rd
Largo, FL 33774

Contacts: Alan Ruiz: 813-335-4768 / alanruiz@vertexdevelopment.net

Dear Planning Staff:

Enclosed herein please find Vertex Development, LLC's ("Vertex") Development Application for a Type 2 Use Approval to construct a 120' camouflaged Communication Tower ("Tower"). I have enclosed the following documents pursuant to the Pinellas County Land Development Code (LDC) for Vertex's submittal:

- Type II Use Application
- Annual Report for Christ the King Lutheran Church Inc. Largo, Florida
- Application Fee
- Boundary and Topography Survey
- Site Plans
- Legal Descriptions
- Warranty Deed
- Property Card
- Agent of Record letter for Christ the King Lutheran Church Inc. Largo, Florida
- Written Description of Request (*this narrative letter*)
- Verizon Wireless Letter of Support
- FAA Determination of No Hazard (and Extension)

Vertex is requesting a Type 2 Use approval for a 120' camouflaged monocross-type Tower and associated ground equipment to be located at Christ the King Lutheran Church. The property is located at 11220 Oakhurst Road in Largo, Florida 33774; Pinellas County Parcel ID 18-30-15-62635-004-0180. The total parent parcel is approximately 6.56 acres (according to the Pinellas County Property Appraiser's Office) and is zoned R-2 (Single-Family Residential District) with a future land use of Institutional. The Tower is proposed to be sited at the west side of the parent parcel, behind the existing 41,407 SF church comprised of four buildings and near the church's parking lot. It will not be located within a preservation or conservation area. There are single-family residences located to the north, south and west. Communication Towers are needed to serve the surrounding residential and recreational areas and are

essential to all land uses. The siting of a Tower as a general public service and emergency service use (including E911) shall strengthen the wireless service to area and support the health, welfare and safety of the community.

The tower compound is 2,700 square feet in addition to any required easements for access and utilities from Oakhurst Road. The Tower will be designed to accommodate the current regional wireless telecommunication providers, and Verizon Wireless is the anchor tenant. Trips made to the site will be approximately one monthly visit per carrier. All antennas will be internal to the tower. Per the FAA Determination, the proposed Tower does not require lighting for aviation safety.

Please find below a description how Vertex's proposed project meets the criteria of the applicable sections of the Pinellas County LDC, supplemental to the application.

Sec. 138-3313. Communication towers and antennas outside of county rights-of-way.

...

(c) Standards. The following provisions shall apply:

(1) Freestanding communication towers and antennas shall be subject to the following height standards:

- a. Communication towers and antennas may be erected to a maximum of 20 feet above the height limits of the zoning district in which they are located. **No structure in the R-2 zoning district shall exceed 35 feet in height unless otherwise provided.**
- b. Communication towers which are designed to be camouflaged may be erected to a maximum of 75 feet or the maximum height described above, whichever is greater. Camouflage may include towers to be designed to resemble trees, palms, flag poles, and other similar feature. **Please refer to the Verizon Wireless – Letter of Support for the need for location and increased height.**
- c. The heights of these structures or appurtenances thereto shall in no case exceed the height limitations prescribed by the Federal Aviation Agency within the flight approach zone patterns of airports. **As Vertex is proposing a 120-foot Tower, please see the FAA Determination that the Tower will not be a hazard to air navigation.**

(2) Freestanding communication towers shall be subject to following setback standards:

- a. All towers and supporting equipment shall meet district setback requirements. **See Site Plans, Page C-3. Vertex meets these requirements.**
- b. New towers shall be set back from abutting residential property lines a distance equal to the height of the tower. **See Site Plans, Page C-3. Vertex meets these requirements.**
- c. These setback restrictions do not apply to communication equipment attached to utility poles or similar feature in the public right-of-way. **Section Not Applicable.**
- d. These setback restrictions may be reduced for self-collapsing tower designs, subject to a Type 2 approval. The applicant shall demonstrate that the reduced setbacks will not create a safety hazard. **Section Not Applicable.**

- (3) Antennas and supporting mechanical equipment may be installed on or attached to buildings, light poles, other existing towers, water towers, or other existing structures in any zoning district. Such antennas shall add no more than 20 feet in height above the existing structure and shall be a neutral color similar to that of the supporting structure. **Section Not Applicable as this is a proposed Tower; however, future collocators for the proposed Tower will remain in compliance.**
- (4) Supporting equipment buildings shall be compatible with the architecture of the neighborhood in which located. **Vertex and its future collocators will remain in compliance with this section. Please see Site Plans, Page N-1, Site Notes 3.**
- (5) Towers and supporting structures shall be a neutral, non-glare color or finish so as to reduce visual obtrusiveness (except as may otherwise be required by the Federal Aviation Authority). **Vertex is proposing a monocross-type Tower, which will have a painted white finish. Please see Site Plans Page C-4.**
- (6) Any tower or antenna which is not operated for a period of 180 days or more shall be considered abandoned and subject to the following standards:

...
Vertex will comply with this section. See Site Plans, Page N-1 Site Notes 5.
- (7) Towers shall include the following safety features:
 - a. Towers shall be enclosed by security fencing a minimum of six feet in height. **The compound will be enclosed with 8-foot PVC fencing. See Site Plans, Page C-6.**
 - b. Towers shall be equipped with warning lights in accordance with FAA standards regardless of height. **See FAA Determination. Marking and lighting are not necessary for aviation safety.**
- (8) Towers shall not be used for the placement of advertising or signs other than warning signs or devices. **Please see Site Plans, Page C-6 for proposed signage.**
- (9) Communication towers and antennas may seek flexibility to the standards in this section subject to Type 2 approval. Conditions may be imposed on the structure(s) to ensure compatibility and safety with adjacent properties. **As the proposed 120-foot monocross is greater than the height allowed, Vertex is applying for a Type 2 approval.**



4700 Exchange Ct.
Suite 100
Boca Raton, FL 33431

Meghann Marken
Engineer III Spec-RE/Regulatory
Florida Network Engineering

May 2, 2022

Ex Parte

Re: Verizon PSLC# 464582 Largo West PID# 16908195 / Site ID: 617213735 11220 Oakhurst Road Pinellas County, Largo FL 33773_ Vertex Development LLC Site# FL5236

To Whom It May Concern:

Verizon Wireless is a wireless communications provider authorized by the Federal Communications Commission to provide state of the art digital wireless personal communications throughout the state of Florida, and throughout the United States.

Verizon Wireless strives to provide our customers with the most reliable wireless service. This commitment to our customers necessitates that we expand our existing network to meet the current and future demands for wireless voice and data service.

Vertex Development, LLC is proposing to build a telecommunications tower in the area with coordinates of 27° 52' 30.67" N / -82° 50' 02.52W at the height of 120 feet. Verizon Wireless has determined the proposed tower would meet our need for an antenna support structure at a height of 120 feet. This site will allow Verizon to continue providing service in the Largo area and help provide improved coverage along Oakhurst Road, Walsingham Road, and surrounding areas.

If approved in zoning at the requisite height, Verizon Wireless is interested in collocating on this tower and would negotiate with Vertex Development, LLC to that end.

Respectfully,

A handwritten signature in blue ink, appearing to read "Meghann Marken".

Meghann Marken
Engineer III Spec-RE/Regulatory
Verizon Wireless – Florida Engineering

FAA TOWER CERTIFICATION

Date: May 17, 2016

Re: Walsingham Site / Site No. FL-5236
Pinellas County, Florida

I hereby certify that the following Latitude and Longitude values for the center of the above-referenced proposed tower site are accurate to within +/- 20 feet horizontally; and that the following proposed tower site existing ground elevation is accurate to within +/- 3 feet vertically, as observed in the field on May 10, 2016.

NAD 1983

Latitude: 27° 52' 30.67" N.

Longitude: 82° 50' 02.52" W.

NAD 1927

Latitude: 27° 52' 29.59" N.

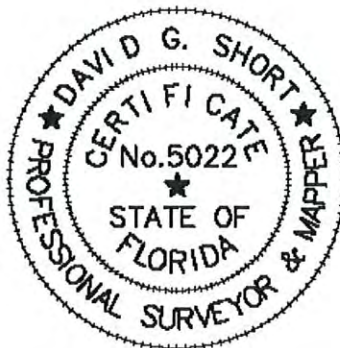
Longitude: 82° 50' 03.15" W.

Existing Ground Elevation: 46.7 Feet NAVD88
47.6 Feet NGVD29

GeoLine Surveying, Inc.



David G. Short, P.S.M. Date: May 17, 2016
Professional Surveyor and Mapper
Florida Certificate of Registration No. 5022
Florida DBPR Certificate of Authorization No. LB7082
s:\office documents\word docs\ecm\264-87 prop faa.doc



AGENT OF RECORD LETTER

RE: Vertex Development Application for Communications Tower Facility

I, Jon Boerha on behalf of Christ The King Lutheran Church, as a registered officer of the following property located at 11220 Oakhurst Road in Largo, Florida 33774 (Pinellas County Parcel ID 18-30-15-62635-004-0180), have the authority to execute this document. I hereby designate and appoint the below listed Agent(s) of Record for any necessary zoning, permitting and regulatory processes in association with the development of a telecommunications tower located at the aforementioned property.

The Agent of Record is vested with the authority to make representations and agreements, which are necessary or desirable in conjunction with any of the aforementioned processes. The Agent of Record is authorized to accept or reject conditions imposed by any reviewing board or entity. The Agent of Record has the authority to execute and file any and all necessary sets of plans, applications or other required paperwork necessary in the zoning or permitting process for the above-mentioned site.

The authorized Agent(s) of Record:

Doty Solik Law, P.A
Mary Doty Solik, Esquire
121 S. Orange Ave, Suite 1500
Orlando, FL 32801
Phone: 407-367-7868
Fax: 407-337-6801
Email: msolik@dotysoliklaw.com

Vertex Development, LLC
Alan Ruiz
3630 W. Kennedy Boulevard
Tampa, FL 33609
Phone: 813-335-4768 Fax: 813-436-5674
Email: alanruiz@vertexdevelopment.net

[Signature] _____ Date 6/9/2022

Jon Boerha _____

Printed

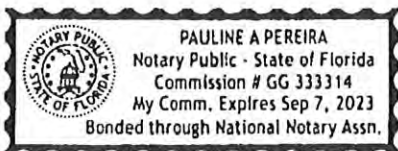
Business Mgr _____
Title

STATE OF FLORIDA
COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me this 9th day of June, 2022, by Jon Boerha who has produced IS PERSONALLY KNOWN as identification.

Pauline A Pereira _____
Notary Public
Pauline A Pereira _____
Printed Name of Notary

(SEAL)



100 Rec.
:10 disc
27.70 STAMPS

COPY

Prepared by and Return to:
Roger A. Larson, Esq.
Johnson, Pope, Bokor, Ruppel & Burns, LLP
P.O. Box 1368
Clearwater, Florida 33757-1368

QUIT CLAIM DEED

THIS INDENTURE is made on April 26 2009, between **Christ the King Lutheran Church, Incorporated**, a Florida corporation, whose post office address is 1577 Sunset Strip N. W. 61st Avenue, Fort Lauderdale, Florida 33313 ("Grantor") and **Christ the King Lutheran Church Inc Largo, Florida**, a Florida corporation, whose post office address is 11220 Oakhurst Road, Largo, Florida 33774 ("Grantee")

WITNESSETH:

Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, has remised, released and quitclaimed, and by these presents does remise, release and quitclaim unto Grantee all the right, title, interest, claim and demand which Grantor has in and to the following described real property located in Pinellas, County, Florida:

See Exhibit "A" attached hereto and made a part hereof.

Real Estate Tax Parcel Number: 18-30-15-62635-004-0180.

TO HAVE AND TO HOLD the same, together with all and singular appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest and claim whatsoever of Grantor, either in law or equity, to the only proper use, benefit and behoof of Grantee.

This is a conveyance to clear a title defect that may exist as a result of that certain Warranty Deed dated September 30, 1969 and recorded in Official Records Book 3178, page 273 of the Public Records of Pinellas County, Florida.

IN WITNESS WHEREOF, Grantor has executed this deed the day and year above written.

WITNESSES:

CHRIST THE KING LUTHERAN
CHURCH, INCORPORATED
a Florida corporation

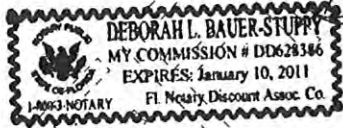
Deborah L. Bauer
Print: DEBORAH L. BAUER
Claudette Dacres
Print: CLAUDETTE DACRES

By: *Mac Borgandale*
Mac Borgandale, President

STATE OF FLORIDA)

COUNTY OF BROWARD)

The foregoing instrument was acknowledged before me this 26 day of April, 2009, by Mac Borgandale, as President of Christ the King Lutheran Church, Incorporated, a Florida corporation, on behalf of the corporation. [He] [She] is personally known to me, or has produced _____ as identification.



Deborah L. Bauer-Stuppy
Notary Public
Print name: DEBORAH L. BAUER-STUPPY
My commission expires: 1-10-11

Note to Administrator: - This conveyance is given to correct a title defect and is subject to minimum documentary stamps of \$.70 in accordance with FAC 12B-4.014(3).

EXHIBIT "A"

Legal Description

LOT 18, BLOCK 4, OAKHURST ACRES 2ND. ADDITION AS RECORDED IN PLAT BOOK 66, PAGE 56,
RECORDS OF PINELLAS COUNTY, FLORIDA.

UNOFFICIAL COPY



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2020-ASO-30612-OE

Issued Date: 10/16/2020

Jennifer Frost
 Vertex Development, LLC
 405 S. Dale Mabry Hwy
 #244
 Tampa, FL 33609

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower Walsingham FL-5236
 Location: Largo, FL
 Latitude: 27-52-30.67N NAD 83
 Longitude: 82-50-02.52W
 Heights: 42 feet site elevation (SE)
 125 feet above ground level (AGL)
 167 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 .

This determination expires on 04/16/2022 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (404) 305-6338, or Jay.L.Binkley@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2020-ASO-30612-OE.

Signature Control No: 453274539-454026281

(DNE)

Jay Binkley
Specialist

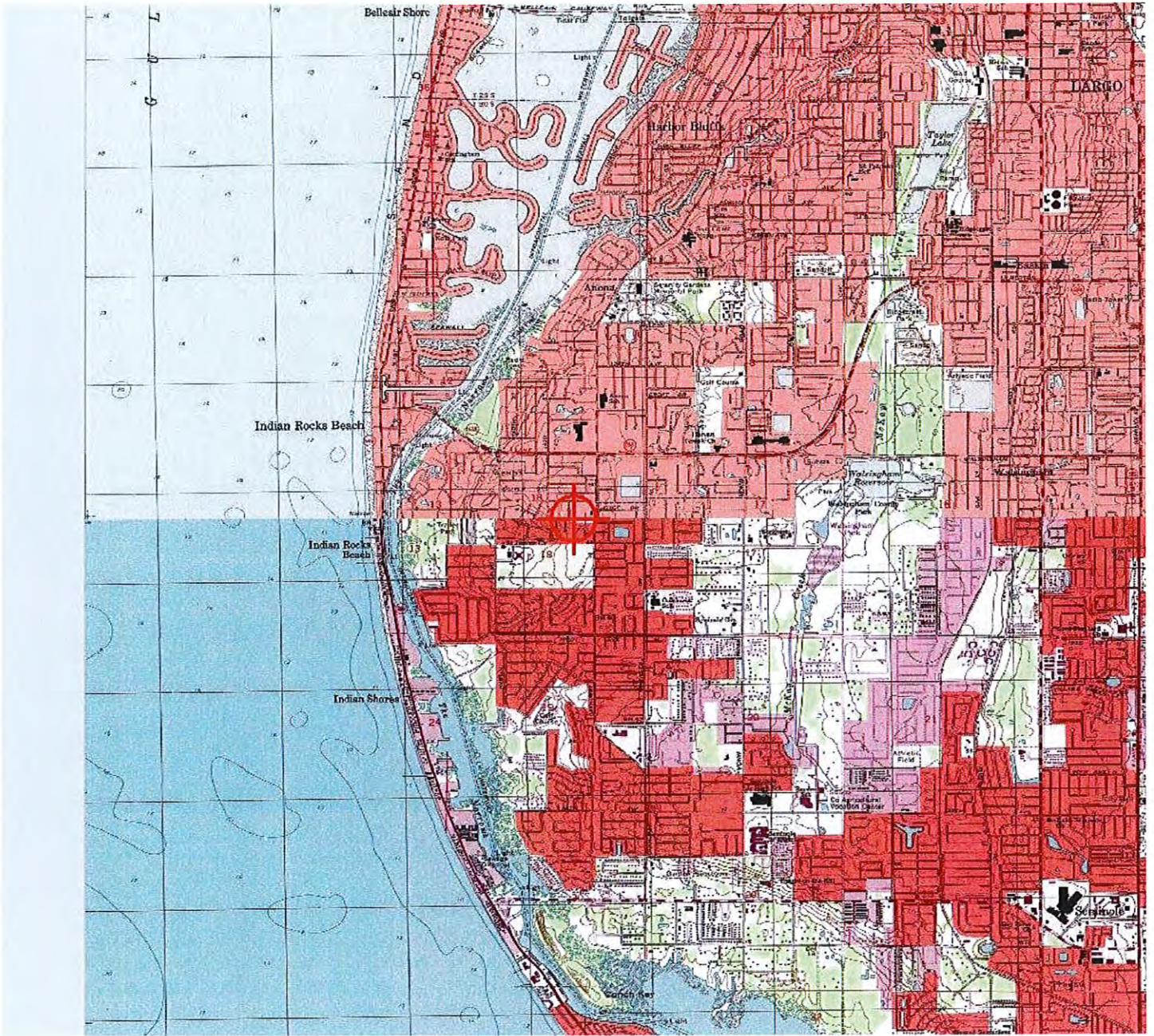
Attachment(s)
Frequency Data
Map(s)

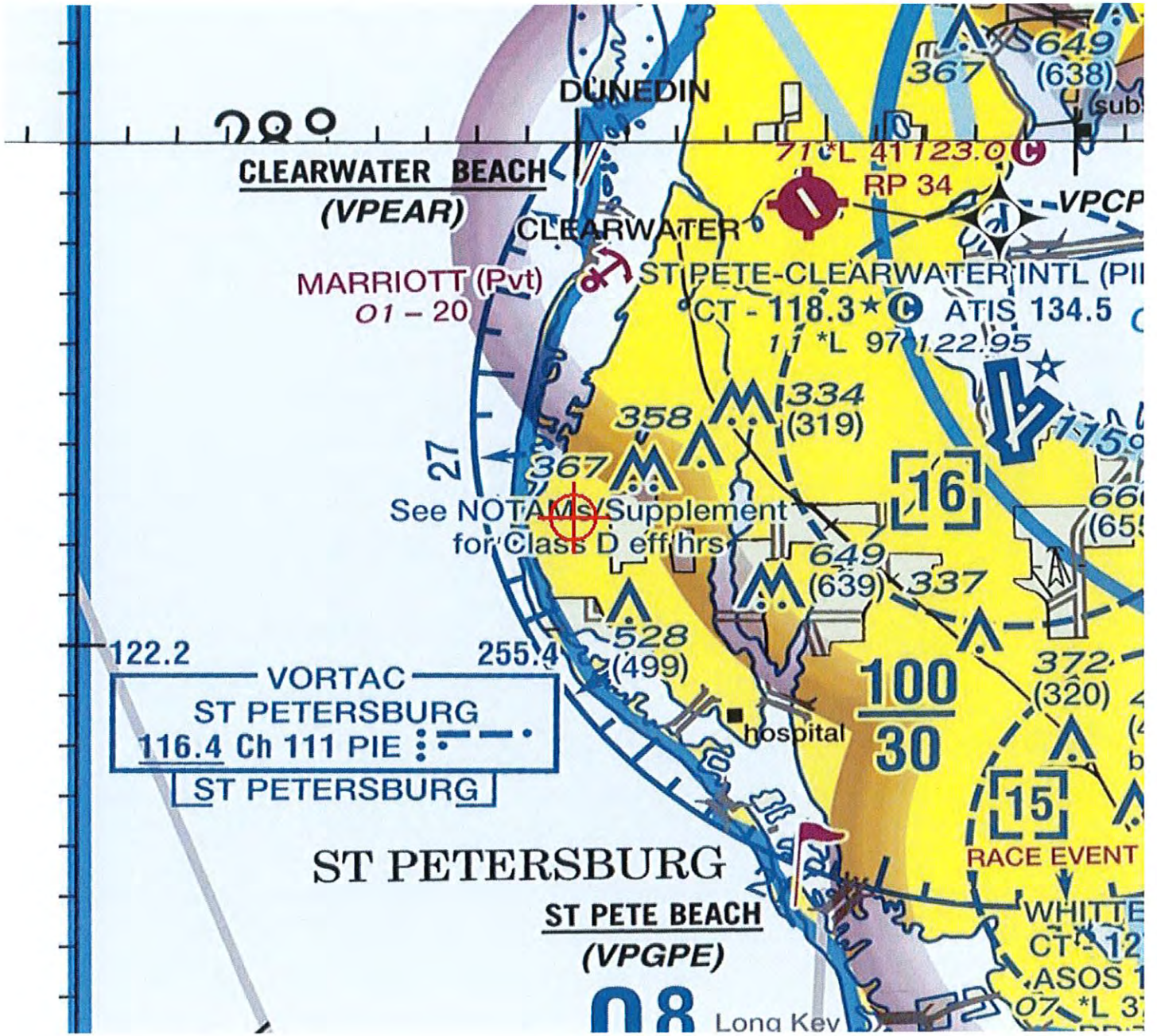
cc: FCC

Frequency Data for ASN 2020-ASO-30612-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
806	824	MHz	500	W
806	901	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1710	1755	MHz	500	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2345	2360	MHz	2000	W

TOPO Map for ASN 2020-ASO-30612-OE







Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2020-ASO-30612-OE

Issued Date: 03/28/2022

Jennifer C. Frost, PMP
Vertex Development, LLC
3630 W. Kennedy Blvd
Tampa, FL 33609

**** Extension ****

A Determination was issued by the Federal Aviation Administration (FAA) concerning:

Structure:	Antenna Tower Walsingham FL-5236
Location:	Largo, FL
Latitude:	27-52-30.67N NAD 83
Longitude:	82-50-02.52W
Heights:	42 feet site elevation (SE) 125 feet above ground level (AGL) 167 feet above mean sea level (AMSL)

In response to your request for an extension of the effective period of the determination, the FAA has reviewed the aeronautical study in light of current aeronautical operations in the area of the structure and finds that no significant aeronautical changes have occurred which would alter the determination issued for this structure.

Accordingly, pursuant to the authority delegated to me, the effective period of the determination issued under the above cited aeronautical study number is hereby extended and will expire on 09/28/2023 unless otherwise extended, revised, or terminated by this office. You must adhere to all conditions identified in the original determination.

This extension issued in accordance with 49 U.S.C., Section 44718 and, if applicable, Title 14 of the Code of Federal Regulations, part 77, concerns the effect of the structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this extension will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (404) 305-6430, or kelly.r.nelson@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2020-ASO-30612-OE.

Signature Control No: 453274539-520373827

Kelly Nelson

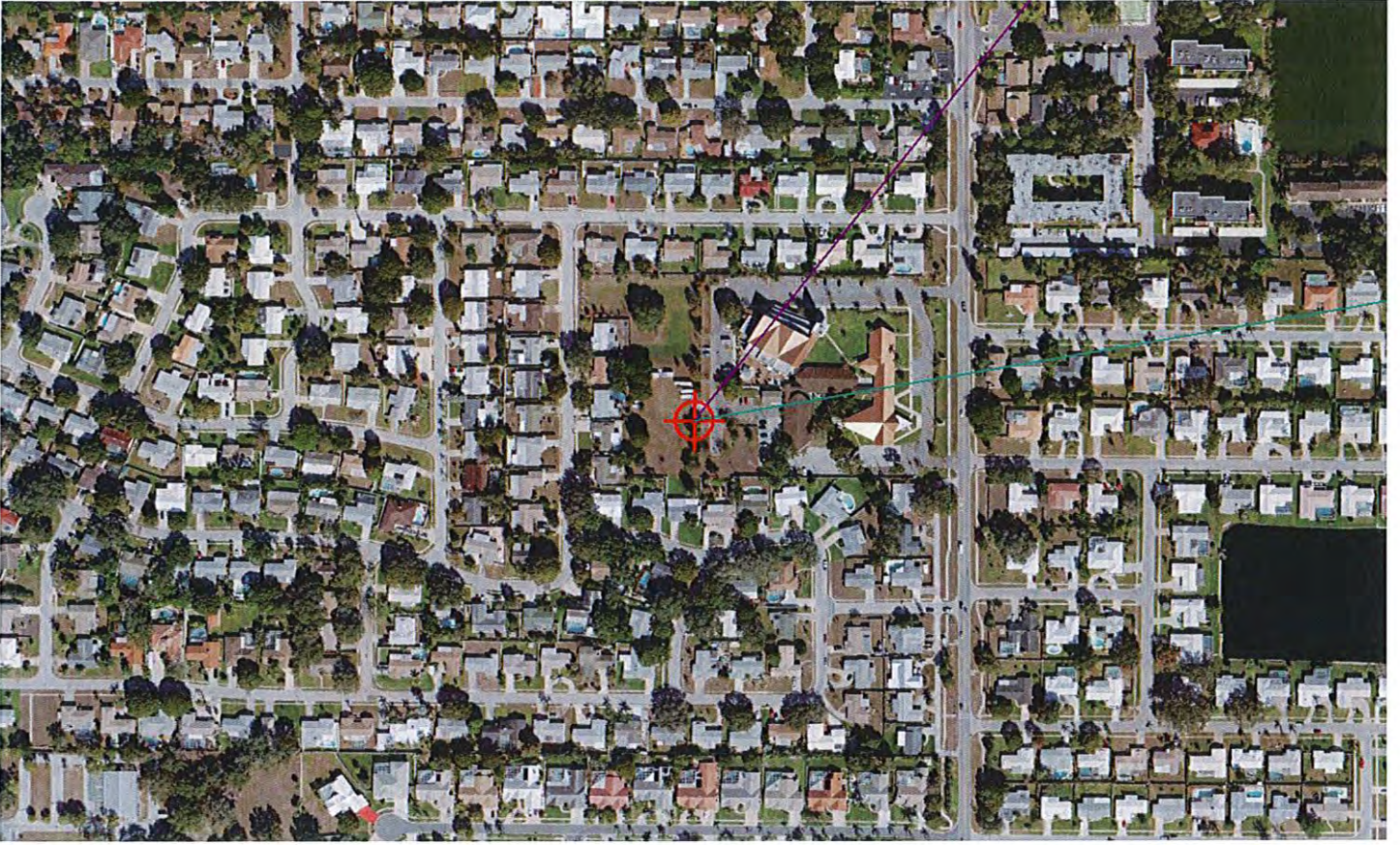
Technician

(EXT)

Attachment(s)

Map(s)

cc: FCC



PARENT PARCEL
(OFFICIAL RECORDS BOOK 19106, PAGE 2288)

PARCEL 1
LOT 18, BLOCK 4 OAKHURST ACRES 2ND, ADDITION AS RECORDED IN PLAT BOOK 66, PAGE 56,
RECORDS OF PINELLAS COUNTY, FLORIDA,

PARCEL 2
SOUTH 410 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF
SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST, LYING AND BEING IN PINELLAS COUNTY,
FLORIDA, LESS RIGHT OF WAY FOR OAKHURST ROAD,

PARCEL 3
THE NORTH 40 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4
OF SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST, LYING AND BEING IN PINELLAS
COUNTY, FLORIDA, LESS RIGHT OF WAY FOR OAKHURST ROAD.

TOWER PARCEL
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, TOWNSHIP 30
SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, BEING MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 17, BLOCK 4, OAKHURST ACRES 2ND
ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 66, PAGE 56 OF THE PUBLIC
RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE SOUTH 00°05'25" WEST ALONG THE EAST
LINE OF LOTS 17, 16, 15 AND 14, SAID BLOCK 4, FOR 299.81 FEET TO THE SOUTHEAST CORNER
OF SAID LOT 14; THENCE SOUTH 86°36'23" EAST FOR 106.18 FEET TO THE POINT OF
BEGINNING; THENCE NORTH 00°05'25" EAST ALONG A LINE PARALLEL WITH SAID EAST LINE
FOR 90.00 FEET; THENCE SOUTH 89°54'35" EAST FOR 30.00 FEET; THENCE SOUTH 00°05'25"
WEST ALONG A LINE PARALLEL WITH SAID EAST LINE FOR 90.00 FEET; THENCE NORTH
89°54'35" WEST FOR 30.00 FEET TO SAID POINT OF BEGINNING.

CONTAINING 2,700 SQUARE FEET (0.056 ACRES), MORE OR LESS.

20 FOOT WIDE INGRESS AND EGRESS EASEMENT
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 30
SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, LYING WITHIN 10 FEET OF BOTH SIDES
OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 17, BLOCK 4, OAKHURST ACRES 2ND
ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 66, PAGE 56 OF THE PUBLIC
RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE SOUTH 00°05'25" WEST ALONG THE EAST
LINE OF LOTS 17, 16, 15 AND 14, SAID BLOCK 4, FOR 299.81 FEET TO THE SOUTHEAST CORNER
OF SAID LOT 14; THENCE SOUTH 86°36'23" EAST FOR 106.18 FEET TO THE SOUTHWEST
CORNER OF AN 30 FOOT BY 90 FOOT TOWER PARCEL; THENCE NORTH 00°05'25" EAST ALONG
THE WEST LINE OF SAID TOWER PARCEL FOR 90.00 FEET TO THE NORTHWEST CORNER OF
SAID TOWER PARCEL; THENCE SOUTH 89°54'35" EAST ALONG THE NORTH LINE OF SAID
TOWER PARCEL FOR 15.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE
HEREIN DESCRIBED 20 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE NORTH
00°05'25" EAST FOR 25.00 FEET TO POINT "A"; THENCE NORTH 89°54'35" WEST FOR 30.00 FEET
TO A POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE; THENCE RETURN TO
SAID POINT "A"; THENCE SOUTH 89°54'35" EAST FOR 50.60 FEET; THENCE NORTH 00°47'31"

EAST FOR 211.88 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 90°01'05", AND A CHORD OF 56.58 FEET THAT BEARS NORTH 45°48'03" EAST, THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE FOR 62.84 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°11'24" EAST FOR 416.60 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF OAKHURST ROAD AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 15,739 SQUARE FEET (0.361 ACRES), MORE OR LESS.

5 FOOT WIDE UTILITY EASEMENT "A"
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, LYING WITHIN 2.5 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 17, BLOCK 4, OAKHURST ACRES 2ND ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 66, PAGE 56 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE SOUTH 00°05'25" WEST ALONG THE EAST LINE OF LOTS 17, 16, 15 AND 14, SAID BLOCK 4, FOR 299.81 FEET TO THE SOUTHEAST CORNER OF SAID LOT 14; THENCE SOUTH 86°36'23" EAST FOR 106.18 FEET TO THE SOUTHWEST CORNER OF AN 30 FOOT BY 90 FOOT TOWER PARCEL; THENCE SOUTH 89°54'35" EAST ALONG THE SOUTH LINE OF SAID TOWER PARCEL FOR 15.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HEREIN DESCRIBED 5 FOOT WIDE UTILITY EASEMENT; THENCE SOUTH 00°58'17" WEST FOR 43.39 FEET TO AN INTERSECTION WITH A LINE THAT IS PARALLEL WITH AND OFFSET 2.5 FEET NORTH OF THE NORTH LINE OF BLOCK 4, OAKHURST ACRES 1ST, ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 64, PAGE 92 OF SAID PUBLIC RECORDS; THENCE SOUTH 89°02'52" EAST ALONG SAID PARALLEL LINE FOR 510.71 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF OAKHURST ROAD AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 3,013 SQUARE FEET (0.069 ACRES), MORE OR LESS.



MIKE TWITTY, MAI, CFA
Meet Mike

- Property Appraiser HOME
- Search Our Database
- Appraisal Info
- Forms / Change of Address
- Exemption / Save-Our-Homes / Portability
- Tax Estimator
- Tangible Personal Property
- Downloads / Reports / Maps
- Truth In Millage
- Tax Roll / Budget / Legal
- Glossary / FAQ's
- Links
- Important ADA Information
- About Us
- Contact Us

18-30-15-62635-004-0180

Compact Property Record Card

[Tax Estimator](#)

Updated March 31, 2021
 [Email](#)
 [Print](#)
 [Radius Search](#)
 [FEMA/WLM](#)

Ownership/Mailing Address Change Mailing Address CHRIST THE KING LUTHERAN CHURCH INC LARGO FLORIDA 11220 OAKHURST RD LARGO FL 33774-4447	Site Address (First Building) 11220 OAKHURST RD (Unincorporated) Jump to building: (1) 11220 OAKHURST RD ▾
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Property Use: 7153 (Church, Church School, Church Owned Current Tax District: SEMINOLE REC (SRT) Total Heated SF: 17,650 Total Gross SF: 17,650
 Building (Parsonage code 0110), Salvation Army, Missions)

[click here to hide] **Legal Description**

OAKHURST ACRES 2ND ADD BLK 4, LOT 18 AND THAT PT OF E 1/2 OF SW 1/4 OF NE 1/4 OF SEC 18-30-15 DESC FROM SE COR OF SW 1/4 OF NE 1/4 OF SD SEC TH N00D06'00"E 623.85FT FOR POB TH N89D01'43"W 664.28 FT TH N00D05'25"E 450FT TH S89D01'43"E 664.35FT TH S00D06'00"W 450FT TO POB LESS E 33FT THEREOF FOR RD R/W

a1 File for Homestead Exemption			2021 Parcel Use	
Exemption	2021	2022		
Homestead:	No	No	Homestead Use Percentage: 0.00%	
Government:	No	No	Non-Homestead Use Percentage: 100.00%	
Institutional:	Yes	Yes	Classified Agricultural: No	
Historic:	No	No		

Parcel Information [Latest Notice of Proposed Property Taxes \(TRIM Notice\)](#)

Most Recent Recording	Sales Comparison	Census Tract	Evacuation Zone <small>(NOT the same as a FEMA Flood Zone)</small>	Flood Zone <small>(NOT the same as your evacuation zone)</small>	Plat Book/Page
16567/1944	Sales Query	121030252052	NON EVAC	Compare Preliminary to Current FEMA Maps	66/56

2020 Interim Value Information

Year	Just/Market Value	Assessed Value / Non-HX Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2020	\$2,259,291	\$2,259,291	\$0	\$0	\$0

[click here to hide] Value History as Certified (yellow indicates correction on file)

Year	Homestead Exemption	Just/Market Value	Assessed Value	County Taxable Value	School Taxable Value	Municipal Taxable Value
2019	No	\$2,105,846	\$2,105,846	\$0	\$0	\$0
2018	No	\$1,960,682	\$1,960,682	\$0	\$0	\$0
2017	No	\$1,836,523	\$1,836,523	\$0	\$0	\$0
2016	No	\$1,905,271	\$1,905,271	\$0	\$0	\$0
2015	No	\$1,957,154	\$1,957,154	\$0	\$0	\$0
2014	No	\$1,946,084	\$1,946,084	\$0	\$0	\$0
2013	No	\$1,887,374	\$1,887,374	\$0	\$0	\$0
2012	No	\$1,861,477	\$1,861,477	\$0	\$0	\$0
2011	No	\$1,779,580	\$1,779,580	\$0	\$0	\$0
2010	No	\$1,858,473	\$1,858,473	\$0	\$0	\$0
2009	No	\$2,126,525	\$2,126,525	\$0	\$0	\$0
2008	No	\$2,207,200	\$2,207,200	\$0	\$0	\$0
2007	No	\$2,069,800	\$2,069,800	\$0	N/A	\$0
2006	No	\$1,795,100	\$1,795,100	\$0	N/A	\$0
2005	No	\$1,668,700	\$1,668,700	\$0	N/A	\$0
2004	No	\$1,522,700	\$1,522,700	\$0	N/A	\$0
2003	No	\$1,291,000	\$1,291,000	\$0	N/A	\$0
2002	No	\$1,219,400	\$1,219,400	\$0	N/A	\$0
2001	No	\$1,178,900	\$1,178,900	\$0	N/A	\$0

Ty2-22-11



TY2-22-11



3630 W. KENNEDY BOULEVARD
TAMPA, FLORIDA 33609

**WALSINGHAM
FL-5236**

11220 OAKHURST ROAD
LARGO, FLORIDA 33744

**NEW VERTEX WIRELESS TELECOMMUNICATIONS TOWER
120' MONOCROSS**

REV	DATE	DESCRIPTION
A	05/27/22	REVIEW SET ISSUED
0	06/07/22	REV 0 FINAL ZD ISSUED
1	06/20/22	REV 1 ZD ISSUED
2	07/11/22	FALL ZONE ADDED

GEN3 PROJECT NO.:	10220406
DRAWN BY:	CHECKED BY:
DKK	DKK



3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4766



815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:



27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813) 917-2871
COA # 35409

Darryl J Kroeze

2022.07.11

10:56:21

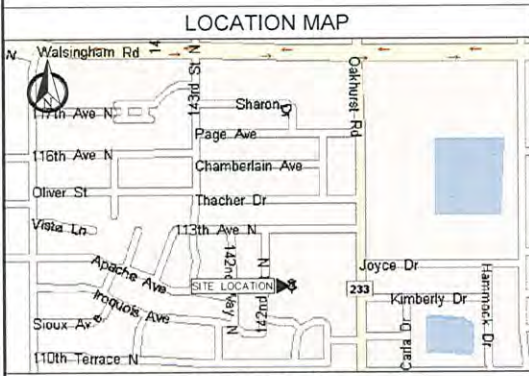
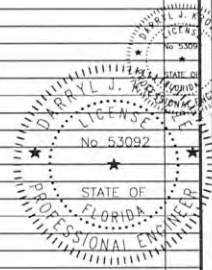
-04'00'

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY DARRYL J. KROEZE, P.E., FL LICENSE #53092 USING A DIGITAL SIGNATURE

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

JUNE 6, 2022

DARRYL J. KROEZE, PE
FL PROFESSIONAL ENGINEER LIC. # 53092



DRIVING DIRECTIONS

FROM TAMPA:
TAKE I-275 SOUTH. AT EXIT 30, TAKE RAMP RIGHT FOR CR-296 WEST TOWARD 118TH AVENUE NORTH. TURN RIGHT ONTO OAKHURST ROAD / CR-233. SITE IS ON THE LEFT BEHIND CHURCH IN A FIELD.

ARRIVE AT: 11220 OAKHURST ROAD, LARGO, FL 33774

GEN3 - Customer: w-0-342620-request-3112-VALSINGHAM_T0149 July 11, 2022 10:56:21 AM America/

APPROVALS

PROPERTY OWNER	DATE
RF ENGINEER	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
ZONING	DATE
NETWORK	DATE
OPERATIONS	DATE
CONTRACTOR	DATE

PROJECT SUMMARY

1. VERTEX SITE NAME: WALSINGHAM FL-5236
2. VERTEX SITE NUMBER: UNMANNED WIRELESS TELECOMMUNICATIONS TOWER 120' MONOCROSS
3. TYPE OF STRUCTURE: COMMERCIAL + 46.7' (NAVD 88) / ± 47.6' (NAVD 29) 11220 OAKHURST ROAD LARGO, FLORIDA 33774
4. TYPE OF DEVELOPMENT: COMMERCIAL
5. TOWER GROUND ELEVATION: + 46.7' (NAVD 88) / ± 47.6' (NAVD 29)
6. SITE ADDRESS: 11220 OAKHURST ROAD LARGO, FLORIDA 33774
7. LATITUDE: 27° 52' 30.677" N / 27.875186° N
8. LONGITUDE: 82° 50' 02.52" W / -82.834033° W
9. PROPERTY OWNER: CHRIST THE KING LUTHERAN CHURCH, INC
10. COUNTY: PINELLAS COUNTY, FLORIDA
11. PARCEL NUMBER: 18-30-15-02035-004-180
12. PARCEL PORTION OF: S17, 130 SOUTH, R15 EAST PINELLAS COUNTY, FLORIDA
13. JURISDICTION: R2
14. ZONING DISTRICT: CHURCH
15. EXISTING LAND USE: CHURCH
16. FUTURE LAND USE: NORTH - R2
17. ADJACENT PARCEL ZONING: SOUTH - R2
18. ACTUAL TOWER SETBACKS: EAST - 319'-11"±
WEST - R2
NORTH - 122'-0"±
SOUTH - 122'-0"±
EAST - 501'-1"±
WEST - 122'-0"±
293,945 SF / 6.748 ACRES
5,607 SF / 0.129 ACRES
19. PARENT TRACT AREA: 0.92%
20. TOTAL PROJECT AREA: 2,700 SF / 0.056 ACRES
21. PERCENT TOTAL PROJECT AREA / PARENT TRACT: 1.9%
22. TOTAL LEASE AREA: 0.92%
23. PERCENT TOTAL LEASE AREA / PARENT TRACT: 2.700 SF / 0.056 ACRES
24. TOTAL COMPOUND AREA: 0.92%
25. PERCENT TOTAL COMPOUND AREA / PARENT TRACT: 200 SF / 0.005 ACRES
26. TOTAL PARKING AREA: 0.07%
27. PERCENT TOTAL PARKING AREA / PARENT TRACT: 1,175 SF / 0.027 ACRES
28. TOTAL PERVIOUS AREA: 0.4%
29. PERCENT TOTAL PERVIOUS AREA / PARENT TRACT: 4,432 SF / 0.102 ACRES
30. TOTAL IMPERVIOUS AREA: 1.5%
31. PERCENT TOTAL IMPERVIOUS AREA / PARENT TRACT: 18,344 SF / 0.417 ACRES
32. TOTAL PRESERVED AREA: (1) ONL
33. PROPOSED TOWER PARKING:

DESIGN CRITERIA

- FLORIDA BUILDING CODE 7th EDITION (2020) ANS/EA/TIA-222-H (ALLOWED PER EXEMPTION #5 OF 1609.1.1) ASCE 7-16
- Vult = 146 MPH (ULTIMATE 3 SECOND GUST)
- Vasd = 113 MPH (NOMINAL 3 SECOND GUST)
- RISK CATEGORY= II
- EXPOSURE= C
- IMPORTANCE FACTOR= 1.0
- NATIONAL ELECTRICAL CODE, 2017 EDITION
- FLORIDA FIRE PREVENTION CODE 7th EDITION (2020)
- CONTRACTOR TO CONFIRM THAT THE SITE IS COMPLIANT WITH RF WARNING SIGNAGE & EMERGENCY SIGNAGE AS REQUIRED BY THE FEDERAL GUIDELINES CONTAINED WITH OET 65 BULLETIN & AS PER CLIENT'S GUIDELINES.

CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
2. CONTRACTOR SHALL NOTIFY OWNER FOR ACCESS TO SITE.
3. THIS PROJECT CONSISTS OF THE INSTALLATION OF:

NEW WIRELESS TELECOMMUNICATIONS SUPPORT STRUCTURE 120' MONOCROSS & 2,700 SF FENCED COMPOUND WITHIN A 2,700 SF LEASE AREA FOR AN UNMANNED WIRELESS DATA TELECOMMUNICATIONS FACILITIES.

CONTACTS

APPLICANT / TOWER OWNER / LEASE HOLDER:
VERTEX DEVELOPMENT
3630 W. KENNEDY BLVD.
TAMPA, FL 33609
(813) 335-4768

CONTRACTOR:
EXPERT CONSTRUCTION MANAGERS
815 SOUTH KINGS AVENUE
BRANDON, FL 33511
(813) 657-8710

ENGINEER:
GEN3 ENGINEERING, INC.
27139 SEA BREEZE WAY
WESLEY CHAPEL, FL 33544
(813) 917-2871
ATTN: DARRYL J. KROEZE, PE

ELECTRIC COMPANY:
TBD

TITLE HOLDER / PROPERTY OWNER:
CHRIST THE KING LUTHERAN CHURCH, INC
11220 OAKHURST ROAD
LARGO, FL 33774

SURVEYOR:
GEOLOGIC SURVEYING
13430 NW 104TH TERRACE
SUITE A
ALACHUA, FL 32615
(386) 418-0500

PROJECT INFORMATION

1. THIS IS AN UNMANNED FACILITY AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF PROVIDING PUBLIC CELLULAR SERVICE.
2. VERIZON WIRELESS CERTIFIES THAT THIS EQUIPMENT FACILITY WILL BE SERVICED ONLY BY VERIZON WIRELESS EMPLOYEES AND SUB-CONTRACTORS AND THE WORK ASSOCIATED WITH ANY EQUIPMENT CANNOT BE PERFORMED BY HANDICAPPED PERSONS. THIS FACILITY WILL BE FREQUENTED ONLY BY SERVICE PERSONNEL FOR REPAIR PURPOSES ONLY.
3. NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.
4. NO WASTEWATER WILL BE GENERATED AT THIS LOCATION.
5. NO SOLID WASTE WILL BE GENERATED AT THIS LOCATION.
6. HANDICAP REQUIREMENTS; FACILITY WILL BE UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS NOT REQUIRED.



SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	
GN-1	GENERAL NOTES	
GN-2	ELECTRICAL NOTES	
ARCHITECTURAL / CIVIL PLANS		
A-1	OVERALL AERIAL	
C-1	OVERALL EXISTING CONDITIONS	
C-2	ENLARGED EXISTING CONDITIONS	
C-3	SETBACK PLAN	
C-4	TOWER ELEVATION AND COMPOUND DETAIL	
C-5	GRADING AND DRAINAGE PLAN	
C-6	FENCE AND GATE DETAILS	
C-7	SITE DETAILS	
LANDSCAPING PLANS		
L-1	VEGETATIVE BUFFER PLAN	
L-2	IRRIGATION DETAIL	

**WALSINGHAM
FL-5236**

11220 OAKHURST ROAD
LARGO, FLORIDA 33774

SHEET DESCRIPTION
TITLE SHEET

SHEET NUMBER
T-1

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General Conditions:

- These Specifications and Construction Drawings are intended to be fully explanatory and complementary. However, should anything be shown, indicated or specified on one and not the other, it shall be the same as if shown, indicated or specified on both.
- The intention of the documents is to include all labor and materials reasonably necessary for the proper execution and completion of the work as indicated in the documents.
- Minor deviations from the design layout are anticipated and shall be considered as part of the work; however, no changes that alter the character intent of the design shall be made or permitted by the Subcontractors, without express written Consent from the Construction Manager.
- The Contractor is solely responsible for all site safety including but not limited to protection of all site personnel and the general public during the entire site construction period. The Contractor shall take all reasonable precautions to place and maintain barricades, lamps, signs, and the like in accordance with OSHA Safety Act and ANSI occupational guidelines.

Conflicts:

- The Contractor and each Subcontractor shall be responsible for verification of all measurements at the site before ordering any materials or performing any work. No Change Order, extra charge or compensation shall be allowed due to difference between actual dimensions and dimensions indicated on the neither Construction Drawings nor Specifications. Any such discrepancy in dimension which may inadvertently occur shall be submitted to the Construction Manager for consideration before the Contractor proceeds with the work in the affected area.
- The Contractor shall contact a subsurface utility locator for location of existing utilities prior to commencement of any construction activities. For assistance in locating existing utilities call "SUNSHINE STATE ONE CALL" at 1-800-638-4097.
- Damage by the Contractor to utilities or property of others, including existing pavement and other surfaces disturbed by the Contractor during construction shall be repaired to pre-construction conditions by the Contractor. For grassed areas seed and mulch shall be acceptable.

Inspections:

- The Contractor shall be solely responsible for ensuring that all relevant authority inspections are carried out in a timely manner.

As-Built Drawings:

- The Contractor shall prepare a red-lined set of As-Built Drawings.

Environmental Protection

- Noise Level: The Contractor shall ensure that state and local regulations are complied with in regard to noise levels produced by his or his sub-Contractor's equipment or methods of construction.
- Dust Control: The Contractor shall take all necessary steps to limit the creation of any dust nuisance that might arise during construction to the satisfaction of the local authorities.
- ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.

Clean Up:

- The Subcontractors shall at all times keep the site free from accumulation of waste materials or rubbish caused by their employees at work, and at the completion of the work, they shall remove all rubbish from and about the building, including all tools, scaffolding and surplus materials, and shall leave the work clean and ready for use.

Code Compliance:

- All materials, design, and workmanship shall be in accordance with all applicable codes (some of which are listed below), ordinances, and authorities having jurisdiction over the work. Where no codes exist, the work shall conform to the Florida Building Code 6th Edition (2017), and/or the specifications herein, whichever is more stringent.

City/County Building Codes
 Florida Building Code 7th Edition (2020)
 IBC/ITIA-222 Rev. 11
 Florida Fire Prevention Code 7th Edition (2020)
 Life Safety Code 101
 National Electric Code 2017 (NFPA 70-2017)
 American Institute of Steel Construction Specifications
 American Welding Society
 American Concrete Institute
 Federal Aviation Authority Regulations
 Federal Communications Commission Regulations
 American National Standards Institute
 American Society for Testing and Materials
 National Underwriter's Laboratories

- It is the Subcontractor's responsibility to verify compliance with the governing codes and to notify the Construction Manager of any discrepancies prior to performing work. Reference to any standard or code of practice in this specification shall be deemed to mean the edition current at the time of award of the contract.

Site Work:

- The Contractor is required to maintain all ditches, pipes, and other drainage structures free from obstruction until work is accepted. The Contractor is responsible for any damages caused by failure to maintain drainage structure in operable condition.

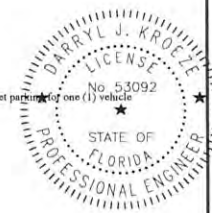
Structural

- All cast in place concrete shall be mixed and placed in accordance with the requirements of ACI 318 and ACI 301, and shall have a 28 day minimum compressive strength of 4000 PSI. Concrete shall be placed against undisturbed soil unless otherwise noted. Minimum concrete cover shall be 3 inches.
- Each new communication tower must be designed and constructed so that in the event a tower falls it will collapse only within the property lines of the lot on which the tower is located. All applications for development approval shall provide verification of compliance with this design requirement from an engineer registered by the State of Florida. In addition, the construction of new communication towers shall comply with all county construction codes.
- All reinforcing steel shall conform to ASTM 615 grade 60, deformed billet steel bars. Welded wire fabric reinforcing shall conform to ASTM A185

Florida Building Code 7th Edition (2020)
 FBC Specifications: Risk Category II
 TIA Specifications: Structure Class = 2, Exposure = C, Topographic Category 1
 Wind Loads (ASCE 7-16)
 146 mph ultimate design wind speed per FBC 7th Edition (2020)
 113 mph nominal design wind speed per FBC 7th Edition (2020)

Site Notes:

- All Communication Towers (Towers), Communication Antennas (Antennas), and Equipment shall comply with the Pinellas County Comprehensive Plan and Land Development Regulations; all applicable fire safety codes, building codes, and technical codes adopted by Pinellas County, all applicable federal and state regulations, and FAA.
- The Tower and Antennas must meet the radiation emission standards set by the FCC.
- Equipment may be located on the site of camouflaged towers provided they do not exceed 500 square feet in size. Such buildings shall be compatible with the architecture of the neighborhood in which located.
- Design: Towers and supporting structures shall be a neutral non-glare color or finish so as to reduce visual obtrusiveness (except as may otherwise be required by the FAA).
- Abandonment: Any Tower or Antenna which is not operated for a period of 90 days or more shall be considered abandoned and shall be addressed subject to the Pinellas County LDC.
- Buffering: A visual impact of a Tower shall be mitigated for nearby viewers through security fencing not less than six (6) feet in height and/or landscaping at the base of the tower and ancillary structures. Existing vegetation shall be preserved to the maximum extent practicable.
- Signage: Towers shall not be used for the placement of advertising or signs other than warning signs or devices.
- Collocation: The Tower shall be designed to accommodate the Antennas of at least three wireless telecommunications carriers.
- Illumination: The Tower shall not be artificially lighted except as may be required by the Federal Aviation Administration.
- Parking and Traffic: Traffic to the Tower Site is approximately one trip per carrier per month. Areas sufficient for the temporary off-street parking of one (1) vehicle shall be provided.
- Utilities: The Tower shall not require and water, wastewater, or solid waste disposal.



REV	DATE	DESCRIPTION
A	09/27/22	REVIEW SET ISSUED
0	09/07/22	REV. 0 FINAL 2D ISSUED
1	09/20/22	REV 1 2D ISSUED
2	07/11/22	FALL ZONE ADDED
GEN3 PROJECT NO.:		10220406
DRAWN BY:	CHECKED BY:	
DJK	DJK	

VERTEX DEVELOPMENT, LLC
 3630 WEST KENNEDY BOULEVARD
 TAMPA, FLORIDA 33609
 PH: (813) 335-4768

EXPERT CONSTRUCTION MANAGERS, INC.
 815 SOUTH KINGS AVENUE
 BRANDON, FLORIDA 33511
 PH: (813) 657-7810

PREPARED BY:

 27150 SEA BREEZE WAY
 WESLEY CHAPEL, FLORIDA 33544
 (813) 917-2671
 COA # 35408

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY DARRYL J. KROEZE, P.E., FL LICENSE #53092 USING A DIGITAL SIGNATURE
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES
JUNE 6, 2022
DARRYL J. KROEZE, PE
 FL PROFESSIONAL ENGINEER LIC. # 53092

WALSINGHAM FL-5236
 11220 OAKHURST ROAD
 LARGO, FLORIDA 33774

SHEET DESCRIPTION
GENERAL NOTES

SHEET NUMBER
N-1

ELECTRICAL SPECIFICATIONS

GENERAL

- A. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR AND INCIDENTAL TO THE COMPLETE INSTALLATION AND OPERATION OF ALL ELECTRICAL WORK. ALL WORK SHALL BE DONE BY QUALIFIED PERSONNEL.
- B. CONFORM TO THE 2020 FLORIDA BUILDING CODE & 2017 NATIONAL ELECTRIC CODE. THE CURRENT NATIONAL ELECTRICAL SAFETY CODE ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION. THE INSTALLATION SHALL COMPLY WITH THESE & ALL APPLICABLE RULES & REGULATIONS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
- C. COORDINATE THE WORK OF ALL TRADES.
- D. ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN, PROVIDING PROPER CLEARANCES AND ACCESS. CAREFULLY EXAMINE ALL CONTRACT DRAWINGS AND FIT THE WORK IN EACH LOCATION WITHOUT SUBSTANTIAL ALTERATION. WHERE DEPARTURES ARE PROPOSED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES, PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE. THE RIGHT IS RESERVED TO MAKE REASONABLE CHANGES IN LOCATION OF EQUIPMENT, CONDUIT, AND WIRING UP TO THE TIME OF ROUGH-IN OR FABRICATION.
- E. THE CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ALL OFFSETS, BENDS, FITTINGS AND ACCESSORIES ARE NOT NECESSARILY SHOWN. PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED TO FIT THE WORK TO THE CONDITIONS.
- F. THERE SHALL BE NO INTERRUPTION OF POWER TO EXISTING ELECTRICAL SYSTEMS WITHOUT PRIOR CONSENT OF THE BUILDING OWNER. SUCH INTERRUPTIONS SHALL BE KEPT TO A MINIMUM AND SHALL BE SCHEDULED WITH THE OWNER AT LEAST THREE BUSINESS DAYS IN ADVANCE OF THE OUTAGE. ANY COST FOR WORK THAT MUST BE DONE ON AN OVERTIME BASIS SHALL BE INCLUDED IN THE BID.
- G. VISIT THE SITE AND INSPECT THE EXISTING CONDITIONS BEFORE BID IN ORDER TO ENSURE PROPER EVALUATION OF WORKING CONDITIONS AND LOCATION OF EXISTING CONDITIONS.
- H. WHERE OUTLETS ARE REMOVED OR CIRCUITS INTERRUPTED OR BROKEN, PROVIDE THE REQUIRED RELOCATION, RECONNECTION OR REARRANGEMENT TO RESTORE SERVICE TO ALL ITEMS, OUTLETS, ETC. NOT MADE OBSOLETE BY THIS WORK.
- I. MOUNTING AND SUPPORTING OF ALL EQUIPMENT PROVIDED UNDER THIS SECTION SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER IN THE FIELD.

PERMITS AND FEES

- A. OBTAIN, PAY FOR, AND DELIVER ALL PERMITS, CERTIFICATES OF INSPECTION, ETC., REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. DELIVER CERTIFICATES TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE WORK.

MATERIAL AND EQUIPMENT

- A. MATERIAL AND EQUIPMENT INSTALLED AS A PART OF THE PERMANENT INSTALLATION SHALL BE NEW UNLESS OTHERWISE INDICATED OR SPECIFIED AND SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. FOR INSTALLATION IN EACH PARTICULAR CASE, WHERE STANDARDS HAVE BEEN ESTABLISHED.

CUTTING AND PATCHING

- A. PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR THE INSTALLATION OF THE ELECTRICAL WORK. ANY DAMAGE DONE TO THE WORK ALREADY IN PLACE BY REASON OF THIS WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BY A QUALIFIED MECHANIC EXPERIENCED IN SUCH WORK. PATCHING SHALL BE UNIFORM IN APPEARANCE AND SHALL MATCH THE SURROUNDING SURFACE. DO NOT CUT STRUCTURAL MEMBERS WITHOUT APPROVAL BY THE CONSTRUCTION MANAGER. WHERE PENETRATIONS ARE NECESSARY THROUGH THE ROOF, PROVIDE ALL NECESSARY CURBS, SLEEVES, SHIELDS, FLASHING, FITTINGS, AND CAULKING TO MAKE THE PENETRATIONS ABSOLUTELY WATERTIGHT.

ELECTRICAL WORK UNDER OTHER DIVISIONS

- A. IN GENERAL POWER WIRING FOR SYSTEMS ARE INCLUDED UNDER THIS SPECIFICATION. CAREFULLY REVIEW THE CONTRACT DOCUMENTS AND COORDINATE THE ELECTRICAL WORK TO BE PERFORMED UNDER THE OTHER DIVISIONS.

GUARANTEE

- A. GUARANTEE THE ELECTRICAL SYSTEM INSTALLED BY THE CONTRACTOR FREE FROM ALL MECHANICAL AND ELECTRICAL DEFECTS FOR THE PERIOD OF ONE YEAR BEGINNING FROM THE DAY OF FINAL ACCEPTANCE OF THE WORK OR BENEFICIAL OCCUPANCY BY THE OWNER, WHICHEVER OCCURS FIRST.
- B. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE ELECTRICAL INSTALLATION DURING THE GUARANTEE PERIOD, NEW REPLACEMENT PARTS SHALL BE FURNISHED AND INSTALLED PROMPTLY AT NO COST TO THE OWNER.

CONDUIT AND FITTINGS

- A. MINIMUM CONDUIT SIZE SHALL BE 4". (UNLESS OTHERWISE INDICATED)
- B. SUPPORT ALL CONDUIT NOT EMBEDDED IN CONCRETE OR MASONRY SO THAT STRAIN IS NOT TRANSMITTED TO OUTLET BOXES AND PULL BOXES, ETC. SUPPORTS TO BE SUFFICIENTLY RIGID TO PREVENT DISTORTION OF CONDUITS DURING WIRE PULLING.
- C. ALUMINUM CONDUIT IS PROHIBITED.
- D. ALL CONDUITS SHALL BE GALVANIZED ELECTRICAL METALLIC TUBING (EMT), PVC, OR RIGID GALVANIZED STEEL (EXTERIOR EXPOSED).
- E. EMT CONDUIT FITTINGS SHALL BE FERROUS COMPRESSION TYPE.
- F. IN DAMP OR WET LOCATIONS USE FLEXIBLE, LIQUID-TIGHT METAL CONDUIT WITH APPROVED FITTINGS.

COORDINATION

- A. COORDINATE THE WORK OF POWER, GROUNDING AND TELCO AT EQUIPMENT WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN. FINAL TERMINATIONS TO BE AT THE DIRECTION OF THE EQUIPMENT SUPPLIER.
- B. PRIOR TO BEGINNING WORK CONTRACTOR SHALL COORDINATE ALL POWER & TELCO WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED.

WIRES AND CABLES (600 VOLTS)

- A. BUILDING WIRE, UNLESS OTHERWISE INDICATED SHALL BE 600 VOLTS, TYPE THWN INSULATION (75°C). CONDUCTORS SHALL BE SIZED AND RUN AS INDICATED. CONDUCTORS SHALL BE SOFT DRAWN COPPER OF NOT LESS THAN 98% CONDUCTIVITY.

CONDUCTOR INSULATION

- A. ALL CONDUCTORS SHALL BE COLOR CODED AS REQUIRED BY NEC AND FURTHER IDENTIFIED AND CODED AS SPECIFIED HEREINAFTER. COLOR CODING SHALL BE BY MEANS OF COLORED INSULATING MATERIAL, COLORED BRAID OR JACKET OVER THE INSULATION OR BY MEANS OF SUITABLE COLORED, PERMANENT, NON-AGING, INSULATING TAPE APPLIED TO CONDUCTORS AT EACH CABINET OR JUNCTION POINT. THE COLOR CODING SHALL BE ACCOMPLISHED AS THE CONDUCTORS ARE INSTALLED. THE FOLLOWING SYSTEMS OF COLOR CODING SHALL BE STRICTLY ADHERED TO:

- A) GROUND LEADS: GREEN
- B) GROUNDED NEUTRAL LEADS: WHITE
- C) 120/208 VOLT (120/240 VOLT) UNGROUNDED PHASE WIRES: BLACK, RED, BLUE

THE COLOR CODE ASSIGNED TO EACH PHASE WIRE SHALL BE CONSISTENTLY FOLLOWED THROUGHOUT.

CONDUIT SUPPORTS

- A. SUPPORT SURFACE RUNS OF CONDUIT USING ONE OR TWO HOLE PIPE STRAPS. STRAP SPACING 6 FOOT ON CENTERS, MAXIMUM, UNLESS NOTED OTHERWISE.
- B. FASTEN STRAPS TO CONCRETE USING INSERTS OR EXPANSION BOLTS AND TO HOLLOW MASONRY USING TOGGLE BOLTS. WOODEN PLUGS ARE UNACCEPTABLE.

OUTLET, JUNCTION AND PULL BOXES

- A. ALL BOXES, WHETHER OUTLET, JUNCTION, PULL, OR EQUIPMENT SHALL BE FURNISHED WITH APPROPRIATE COVERS.
- B. NO SECTIONALIZED BOXES SHALL BE USED.
- C. OUTLET, JUNCTION AND PULL BOXES SHALL BE SHEET STEEL, WHERE REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES. SUCH BOXES SHALL BE RIGIDLY MOUNTED AND INSTALLED IN ACCESSIBLE LOCATIONS.

SAFETY DISCONNECT SWITCH

- A. PROVIDE SAFETY DISCONNECT SWITCHES AS SHOWN ON THE DRAWINGS AND WHERE REQUIRED BY THE NATIONAL ELECTRICAL CODE. SWITCHES SHALL BE HORSEPOWER-RATED WHERE APPLICABLE, AND SHALL BE THE SIZES REQUIRED. SERVICE ENTRANCE SWITCH SHALL BE SO RATED.
- B. SWITCHES SHALL BE HEAVY DUTY TYPE FUSED OR UNFUSED, AS INDICATED; SIDE HANDLE OPERATED, NEMA 1 FOR GENERAL INTERIOR WORK AND NEMA 3R STEEL FOR EXTERIOR, DAMP, OR WET LOCATIONS. SWITCHES SHALL BE EQUIPPED WITH A COVER INTERLOCK TO PREVENT OPERATION WITH COVER OPEN.
- C. SWITCHES SHALL BE VISIBLE BLADE, EXTERNALLY OPERATED, WITH ALL CURRENT CARRYING PARTS SILVER OR TIN-PLATED. ALL SWITCHES SHALL HAVE PROVISIONS FOR NOT LESS THAN THAN TWO EXTERNAL PADLOCK.

GROUNDING

- A. PROVIDE GROUND FOR ALL RACEWAYS, DEVICES, AND UTILIZATION EQUIPMENT PERMANENTLY AND EFFECTIVELY IN ACCORDANCE WITH REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND AS HEREINAFTER SPECIFIED. ALL GROUNDED NEUTRAL CONDUCTORS SHALL BE CONTINUOUSLY IDENTIFIED. ALL GROUNDING AND BONDING CONNECTIONS SHALL BE SOLDERLESS.
- B. PROVIDE INSULATED GROUNDING CONDUCTORS FOR FEEDER AND BRANCH CIRCUIT WIRING AS CALLED FOR ON THE PLANS. PROVIDE GROUNDING BLOCKS, TERMINALS, ETC., FOR CONNECTION OF GROUND WIRE IN ALL DISTRIBUTION EQUIPMENT, RESISTIVITY JUNCTION BOXES, AND UTILIZATION EQUIPMENT. TERMINATE WITH LUGS OR COMPRESSION TERMINALS. CONDUCTORS LOOPED UNDER BOLTS OR SCREWS WILL NOT BE ACCEPTABLE.
- C. GROUND RODS, WHEN NEEDED SHALL BE STEEL, COPPER CLAD 5/8" DIAMETER BY EIGHT FEET LONG. GROUND ROD SHIELDS TO BE PROVIDED FOR DRIVING RODS. SERVICE GROUND RODS SHALL BE 3/4" X 10' AND COPPER CLAD STEEL.
- D. PRIOR TO INSTALLATION OF THE GROUNDING SYSTEM, THE EARTH RESISTIVITY SHALL BE MEASURED USING WENNER FOUR TERMINAL METHOD. REPORTS OF THE MEASURED RESISTIVITY MUST BE SUBMITTED TO THE CONSTRUCTION MANAGER.
- E. THE MAXIMUM RESISTANCE OF THE COMPLETED GROUNDING SYSTEM SHALL NOT EXCEED 5 OHMS ON ANY PART OF THE SYSTEM. IF DUE TO SOIL CONDITIONS OR OTHER PARAMETERS THIS MAXIMUM VALUE IS EXCEEDED, CONTACT THE ENGINEER FOR ADDITIONAL INSTRUCTIONS.
- F. GROUND BAR PLATES ARE TO BE MANUFACTURED EXACTLY AS DETAILED AND DIMENSIONED.
- G. ALL MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
- H. ALL BARE COPPER SURFACES SHALL BE COATED PRIOR TO LUGGING. JOINT COMPOUND SHALL BE KOPR-SHIELD BY THOMAS & BETTS.

- I. CONNECTION OF CONDUCTORS BELOW GRADE TO GROUND RODS, GROUND RINGS, GROUND WELL, ETC., SHALL BE EXOTHERMIC TYPE WELDING CONNECTIONS (CROWDED).

- J. CONNECTION OF CONDUCTORS ABOVE GRADE TO METALLIC OBJECTS OR IN HANDHOLES SHALL BE WITH PRESSURE TYPE CRIMP CONNECTORS, BOLTED CLAMPS, OR SPLIT BOLT CONNECTIONS WITH SOLID BRONZE HARDWARE. CADMIUM PLATED STEEL HARDWARE IS NOT ACCEPTABLE. CONNECTIONS TO INTERIOR HALO GROUND RING SHALL BE WITH 'C' CLAMPS. SOLID TO SOLID AND STRANDED CONDUCTORS REQUIRES TWO (2) CLAMPS. ALL 'C' CLAMPS REQUIRE INSTALLATION WITH THE CORRECT HYDRAULIC CLAMP TOOL.

SUPPORTS, HANGERS AND FOUNDATIONS

- A. PROVIDE ALL SUPPORTS, HANGERS, BRACES, ATTACHMENTS, AND FOUNDATIONS REQUIRED FOR THE WORK. SUPPORT AND SET THE WORK IN A THOROUGHLY SUBSTANTIAL AND WORKMANLIKE MANNER WITHOUT PLACING STRAINS ON THE MATERIALS, EQUIPMENT, OR THE BUILDING STRUCTURE.

- B. SUPPORTS, HANGERS, BRACES AND ATTACHMENTS SHALL BE STANDARD MANUFACTURED ITEMS OR FABRICATED STRUCTURAL STEEL SHAPES.

AS-BUILT DATA

- A. CONTRACTOR SHALL PREPARE AND SUBMIT TO THE CONSTRUCTION MANAGER "AS-BUILT" DRAWINGS FOR CHANGES OR DEVIATIONS FROM CONTRACT DRAWINGS TO THE FOLLOWING:
 - 1. SOURCE, ORIGIN, AND/OR ROUTING OF MAIN FEEDERS
 - 2. LOCATION OF MAJOR PIECES OF DISTRIBUTION EQUIPMENT SUCH AS KILOWATT HOUR METER AND MAIN FEEDER OVERCURRENT DEVICES.

IDENTIFICATION OF EQUIPMENT

- A. MARK AND PERMANENTLY IDENTIFY ALL ELECTRICAL EQUIPMENT. IDENTIFICATION SHALL BE LAMINATED PLASTIC PLATES, BLACK WITH WHITE ENGRAVED LETTERS. USE "A" HIGH LETTERING. ATTACH PLATES WITH CHROME PLATED OR 316 STAINLESS STEEL SCREWS TO THE DEVICE. USE NOMENCLATURE ON DRAWINGS.
- B. ALL EQUIPMENT SHALL BE MARKED WITH WARNING LABELS AND SIGNAGE AS REQUIRED BY THE NATIONAL ELECTRIC CODE AND OTHER APPLICABLE STANDARDS.



REV	DATE	DESCRIPTION
A	09/27/22	REVIEW SET ISSUED
0	09/07/22	REV 0 FINAL 2D ISSUED
1	06/20/22	REV 1 2D ISSUED
2	07/11/22	FALL ZONE ADDED
GENS PROJECT NO.:		10220406
DRAWN BY:	CHECKED BY:	
DKR	DKR	

VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
BRANDON, FLORIDA 33508
PH: (813) 335-4788

EXPERT
CONSTRUCTION MANAGER, INC.
815 SOUTH KINGS AVENUE
PENSACOLA, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:

GENS
ENGINEERING

27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813)917-2871
CDA # 35409

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JUNE 6, 2022

DARRYL J. KROEZE, PE
FL PROFESSIONAL ENGINEER LIC. # 53092

WALSINGHAM
FL-5236

11220 OAKHURST ROAD
LARGO, FLORIDA 33774

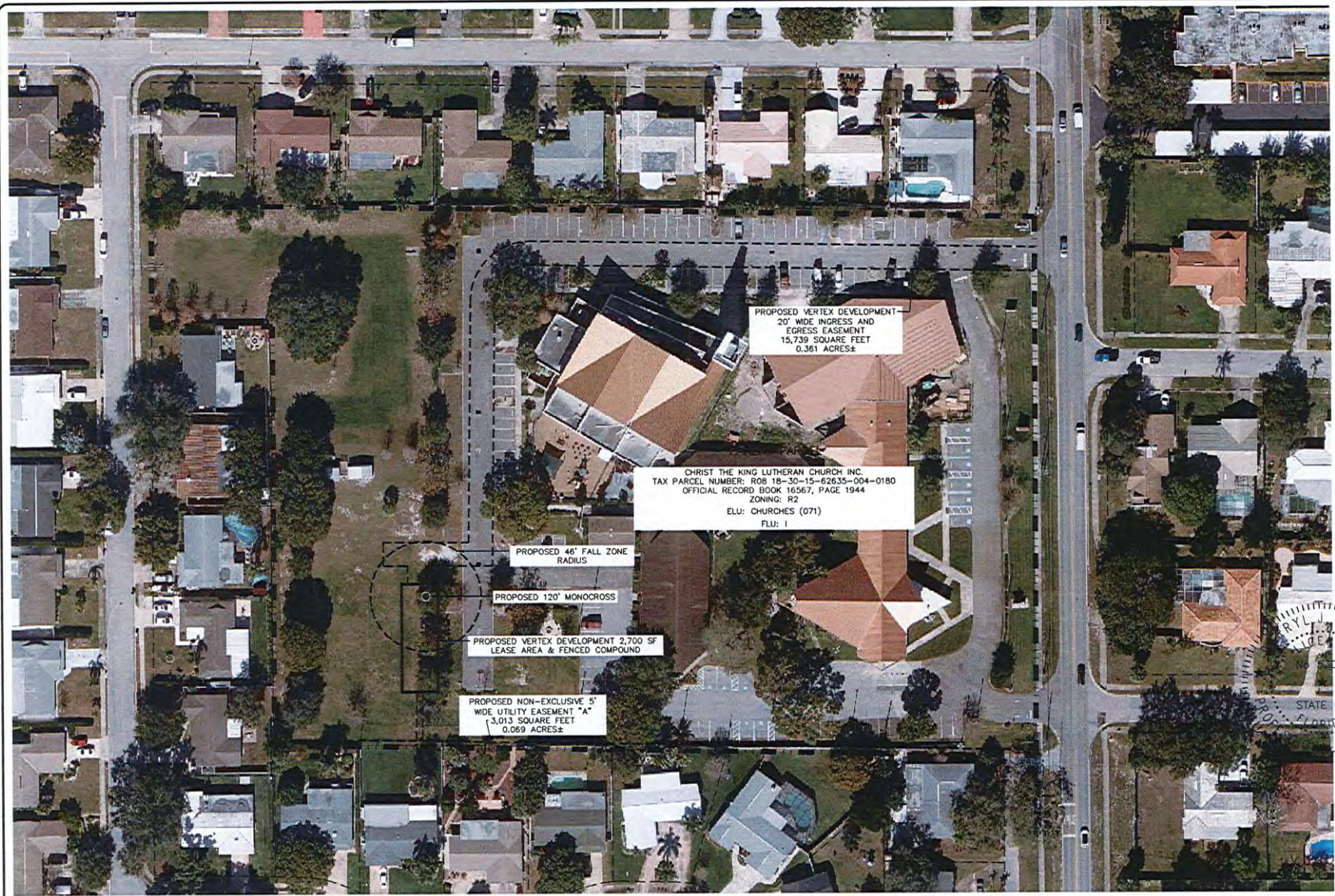
SHEET DESCRIPTION

ELECTRICAL NOTES

SHEET NUMBER

GN-2

GEN3 - C:\Users\j.kra\AppData\Local\Temp\111ZNV\LS\SCHM\ZB.jpg July 11, 2022 10:55:25 AM 8d5e8e2e



REV	DATE	DESCRIPTION
A	05/27/22	REVIEW SET ISSUED
0	06/07/22	REV 0 FINAL 2D ISSUED
1	06/20/22	REV 1 2D ISSUED
2	07/11/22	FALL ZONE ADDED
GEN3 PROJECT NO.:		10220406
DRAWN BY:		CHECKED BY:
DKJ		DKJ

VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
CONSTRUCTION MANAGERS, INC.
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

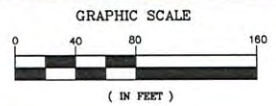
PREPARED BY:
GEN3
ENGINEERS
27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813)917-2671
COA # 35409

DARRYL J. KROEZE
53092
STATE OF
FLORIDA
ENGINEER

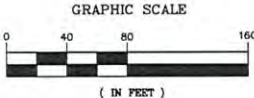
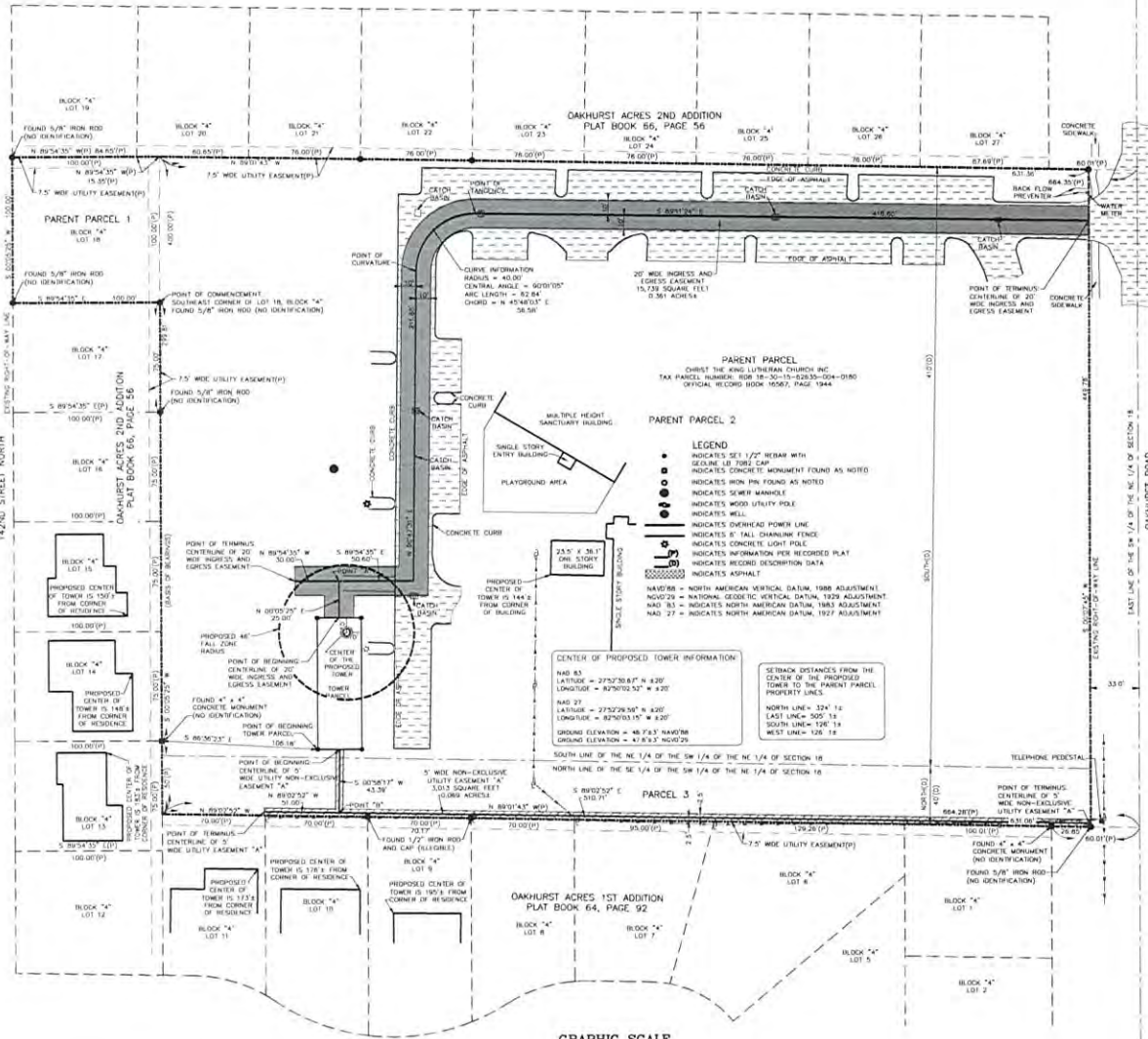
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JUNE 6, 2022
DARRYL J. KROEZE, PE
FL PROFESSIONAL ENGINEER LIC. # 53092

WALSINGHAM
FL-5236
11220 OAKHURST ROAD
LARGO, FLORIDA 33774

1 ENLARGED AERIAL
SCALE: 1" = 80'
SCALE BASED ON 11"x17" ONLY



SHEET DESCRIPTION
OVERALL AERIAL
SHEET NUMBER
A-1



OVERALL SITE PLAN
SCALE: 1" = 80'
SCALE BASED ON 11"x17" ONLY

REV	DATE	DESCRIPTION
A	06/27/22	REVIEW SET ISSUED
0	06/07/22	REV 0 FINAL 2D ISSUED
1	06/20/22	REV 1 2D ISSUED
2	07/11/22	FALL ZONE ADDED

GEN3 PROJECT NO.: 10220406

DRAWN BY: DJM **CHECKED BY:** DJM

VERTEX DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT CONSTRUCTION MANAGERS, INC.
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:

GEN3 ENGINEERING

27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813) 917-2871
COA # 35409



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JUNE 6, 2022
DARRYL J. KROEZE, PE
FL PROFESSIONAL ENGINEER LIC. # 53092

WALSINGHAM FL-5236
11220 DAKHURST ROAD LARGO, FLORIDA 33774
SHEET DESCRIPTION OVERALL EXISTING CONDITIONS
SHEET NUMBER C-1

GEN3 - C:\Users\j.kroeze\OneDrive\Documents\711121\VA\S\711121.dwg July 11, 2022 10:55:26 AM 6/6/2022

Sunshine State 811
One Call

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PROPERTY DESCRIPTIONS

PARENT PARCEL
(OFFICIAL RECORDS BOOK 19106, PAGE 2288)

PARCEL 1
LOT 18, BLOCK 4 OAKHURST ACRES 2ND, ADDITION AS RECORDED IN PLAT BOOK 66, PAGE 56, RECORDS OF PINELLAS COUNTY, FLORIDA,

PARCEL 2
SOUTH 410 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST, LYING AND BEING IN PINELLAS COUNTY, FLORIDA, LESS RIGHT OF WAY FOR OAKHURST ROAD,

PARCEL 3
THE NORTH 40 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST, LYING AND BEING IN PINELLAS COUNTY, FLORIDA, LESS RIGHT OF WAY FOR OAKHURST ROAD.

TOWER PARCEL
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, TOWNSHIP 30 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 17, BLOCK 4, OAKHURST ACRES 2ND ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 66, PAGE 56 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE SOUTH 00°05'25" WEST ALONG THE EAST LINE OF LOTS 17, 16, 15 AND 14, SAID BLOCK 4, FOR 299.81 FEET TO THE SOUTHEAST CORNER OF SAID LOT 14; THENCE SOUTH 86°36'23" EAST FOR 106.18 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°05'25" EAST ALONG A LINE PARALLEL WITH SAID EAST LINE FOR 90.00 FEET; THENCE SOUTH 89°54'35" EAST FOR 30.00 FEET; THENCE SOUTH 00°05'25" WEST ALONG A LINE PARALLEL WITH SAID EAST LINE FOR 90.00 FEET; THENCE NORTH 89°54'35" WEST FOR 30.00 FEET TO SAID POINT OF BEGINNING.

CONTAINING 2,700 SQUARE FEET (0.056 ACRES), MORE OR LESS.

20 FOOT WIDE INGRESS AND EGRESS EASEMENT
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, LYING WITHIN 10 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 17, BLOCK 4, OAKHURST ACRES 2ND ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 66, PAGE 56 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE SOUTH 00°05'25" WEST ALONG THE EAST LINE OF LOTS 17, 16, 15 AND 14, SAID BLOCK 4, FOR 299.81 FEET TO THE SOUTHEAST CORNER OF SAID LOT 14; THENCE SOUTH 86°36'23" EAST FOR 106.18 FEET TO THE SOUTHWEST CORNER OF AN 30 FOOT BY 90 FOOT TOWER PARCEL; THENCE NORTH 00°05'25" EAST ALONG THE WEST LINE OF SAID TOWER PARCEL FOR 90.00 FEET TO THE NORTHWEST CORNER OF SAID TOWER PARCEL; THENCE SOUTH 89°54'35" EAST ALONG THE NORTH LINE OF SAID TOWER PARCEL FOR 15.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HEREIN DESCRIBED 20 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE NORTH 00°05'25" EAST FOR 25.00 FEET TO POINT "A"; THENCE NORTH 89°54'35" WEST FOR 30.00 FEET TO A POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE; THENCE RETURN TO SAID POINT "A"; THENCE SOUTH 89°54'35" EAST FOR 50.60 FEET; THENCE NORTH 00°47'31" EAST FOR 211.88 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 90°01'05", AND A CHORD OF 56.58 FEET THAT BEARS NORTH 45°48'03" EAST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE FOR 62.84 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°11'24" EAST FOR 416.60 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF OAKHURST ROAD AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

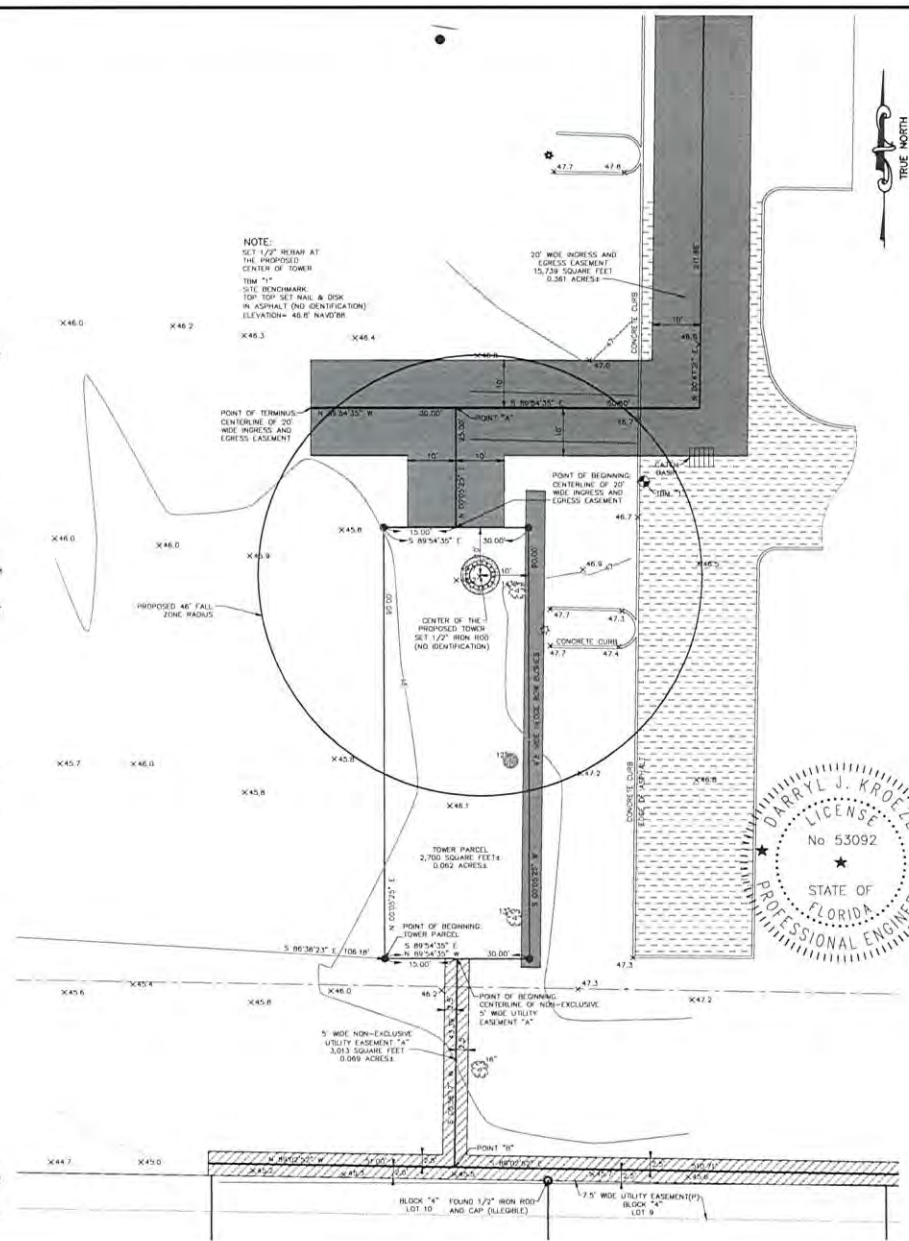
CONTAINING 15,739 SQUARE FEET (0.361 ACRES), MORE OR LESS.

5 FOOT WIDE NON-EXCLUSIVE UTILITY EASEMENT "A"
(PREPARED BY GEOLINE SURVEYING, INC.)

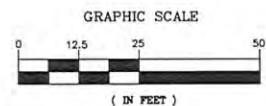
THAT PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, LYING WITHIN 2.5 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 17, BLOCK 4, OAKHURST ACRES 2ND ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 66, PAGE 56 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE SOUTH 00°05'25" WEST ALONG THE EAST LINE OF LOTS 17, 16, 15 AND 14, SAID BLOCK 4, FOR 299.81 FEET TO THE SOUTHEAST CORNER OF SAID LOT 14; THENCE SOUTH 86°36'23" EAST FOR 106.18 FEET TO THE SOUTHWEST CORNER OF AN 30 FOOT BY 90 FOOT TOWER PARCEL; THENCE SOUTH 89°54'35" EAST ALONG THE SOUTH LINE OF SAID TOWER PARCEL FOR 15.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HEREIN DESCRIBED 5 FOOT WIDE UTILITY EASEMENT; THENCE SOUTH 00°58'17" WEST FOR 43.39 FEET TO AN INTERSECTION WITH A LINE THAT IS PARALLEL WITH AND OFFSET 2.5 FEET NORTH OF THE NORTH LINE OF BLOCK 4, OAKHURST ACRES 1ST, ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 64, PAGE 92 OF SAID PUBLIC RECORDS; THENCE SOUTH 89°02'52" EAST ALONG SAID PARALLEL LINE FOR 510.71 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF OAKHURST ROAD AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 3,013 SQUARE FEET (0.069 ACRES), MORE OR LESS.



1 SITE PLAN
SCALE: 1" = 25'
SCALE BASED ON 11"x17" ONLY



REV	DATE	DESCRIPTION
A	05/27/22	REVIEW SET ISSUED
D	06/07/22	REV 0 FINAL 2D ISSUED
T	06/20/22	REV 1 2D ISSUED
Z	07/11/22	FALL ZONE ADDED

GEN3 PROJECT NO.: 10220406
DRAWN BY: DAK
CHECKED BY: DAK

VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
CONSTRUCTION MANAGER, INC.
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:

GEN3
ENGINEERING

27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813)917-2971
COA # 35409

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JUNE 6, 2022

DARRYL J. KROEZE, PE
FL PROFESSIONAL ENGINEER LIC. # 53092

WALSINGHAM
FL-5236

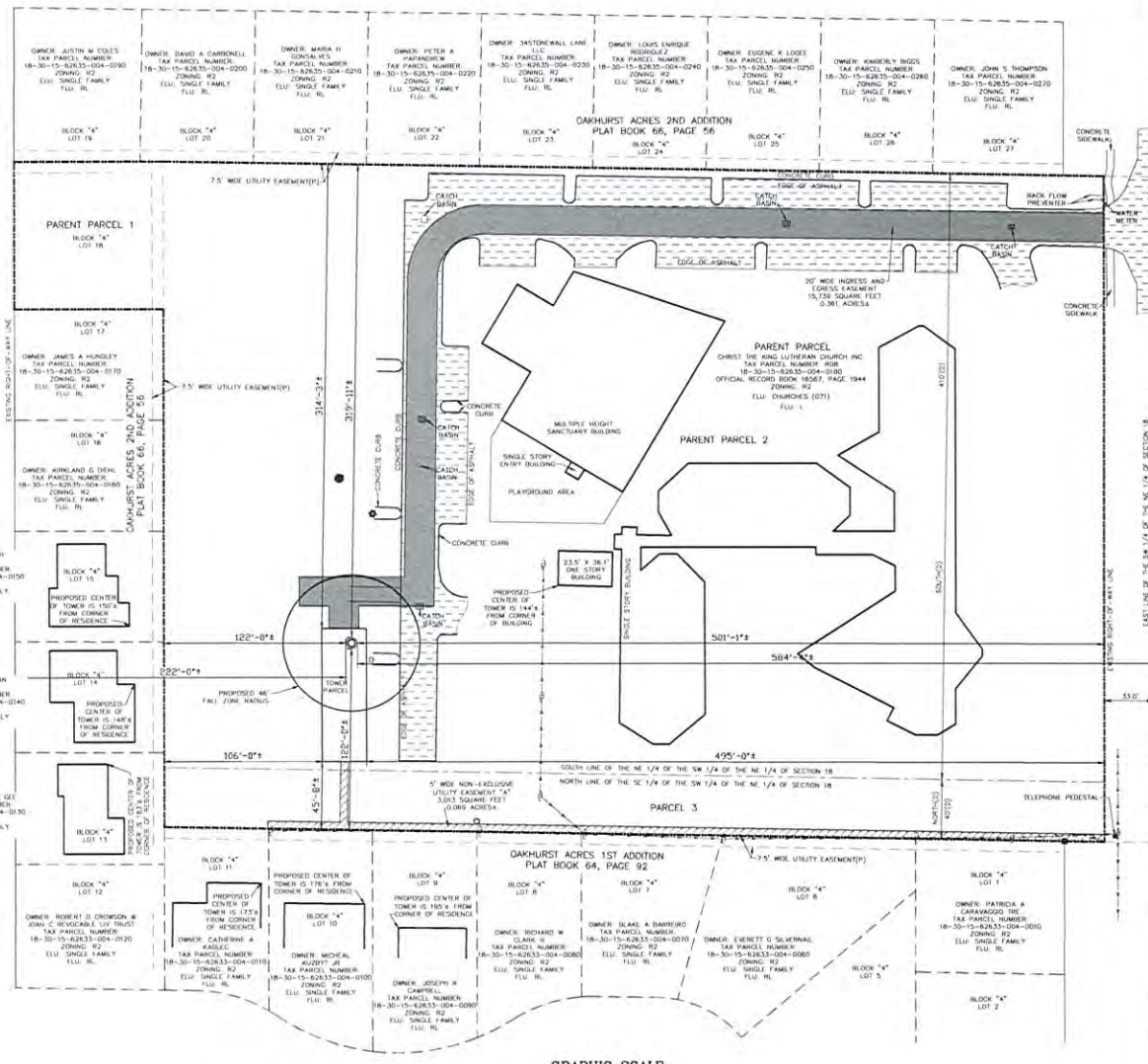
11220 OAKHURST ROAD
LARGO, FLORIDA 33774

SHEET DESCRIPTION
ENLARGED EXISTING CONDITIONS

SHEET NUMBER
C-2

Z:\CADD\Users\j.kroeze\Projects\11220\11220\11220\11220.dwg, 25-Aug-2022 10:55:26 AM, 53092.dwg

GEN3 - C:\Users\j.krueze\Documents\1122\WALSINGHAM FL-5236.dwg July 11, 2022 10:55:57 AM 3x6=0.00



SETBACK TABLE		
SETBACK TO:	REQUIRED:	PROVIDED (CENTER OF TOWER)
PROPERTY LINE	120'	319'-11"± TO PROPERTY LINE (NORTH)
		122'-0"± TO PROPERTY LINE (SOUTH)
		501'-1"± TO PROPERTY LINE (EAST)
		122'-0"± TO PROPERTY LINE (WEST)
RESIDENTIAL PROPERTY	120'	319'-11"± TO RESIDENTIAL PROPERTY LINE (NORTH)
		122'-0"± TO RESIDENTIAL PROPERTY LINE (SOUTH)
		584'-4"± TO RESIDENTIAL PROPERTY LINE (EAST)
		122'-0"± TO RESIDENTIAL PROPERTY LINE (WEST)
CLOSEST BUILDING	N/A	140'-0"± TO ONE STORY BUILDING (NORTH-EAST)
RIGHT OF WAY	N/A	501'-1"± TO OAKHURST RD (EAST) 222'-0"± TO 142ND ST. N. (WEST)
DISTRICT SETBACKS	FRONT:	495'-0"± TO EAST (LEASE AREA) 20'
	REAR:	106'-0"± TO WEST (LEASE AREA) 10'
	SIDE: 7'	314'-3"± TO NORTH (LEASE AREA) 45'-8"± TO SOUTH (LEASE AREA)

REV	DATE	DESCRIPTION
A	05/27/22	REVIEW SET ISSUED
0	06/07/22	REV 0 FINAL 2D ISSUED
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2	07/11/22	FALL ZONE ADDED

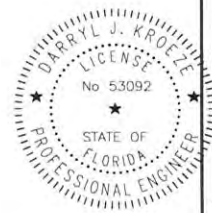
GEN3 PROJECT NO.: 10220408

DRAWN BY: DJK CHECKED BY: DJK

VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
CONSTRUCTION MANAGEMENT, INC
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:
GEN3
ENGINEERING
27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813) 917-2671
CDA # 35409



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DARRYL J. KROEZE, PE
FL PROFESSIONAL ENGINEER LIC. # 53092

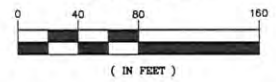
WALSINGHAM
FL-5236

11220 OAKHURST ROAD
LARGO, FLORIDA 33774

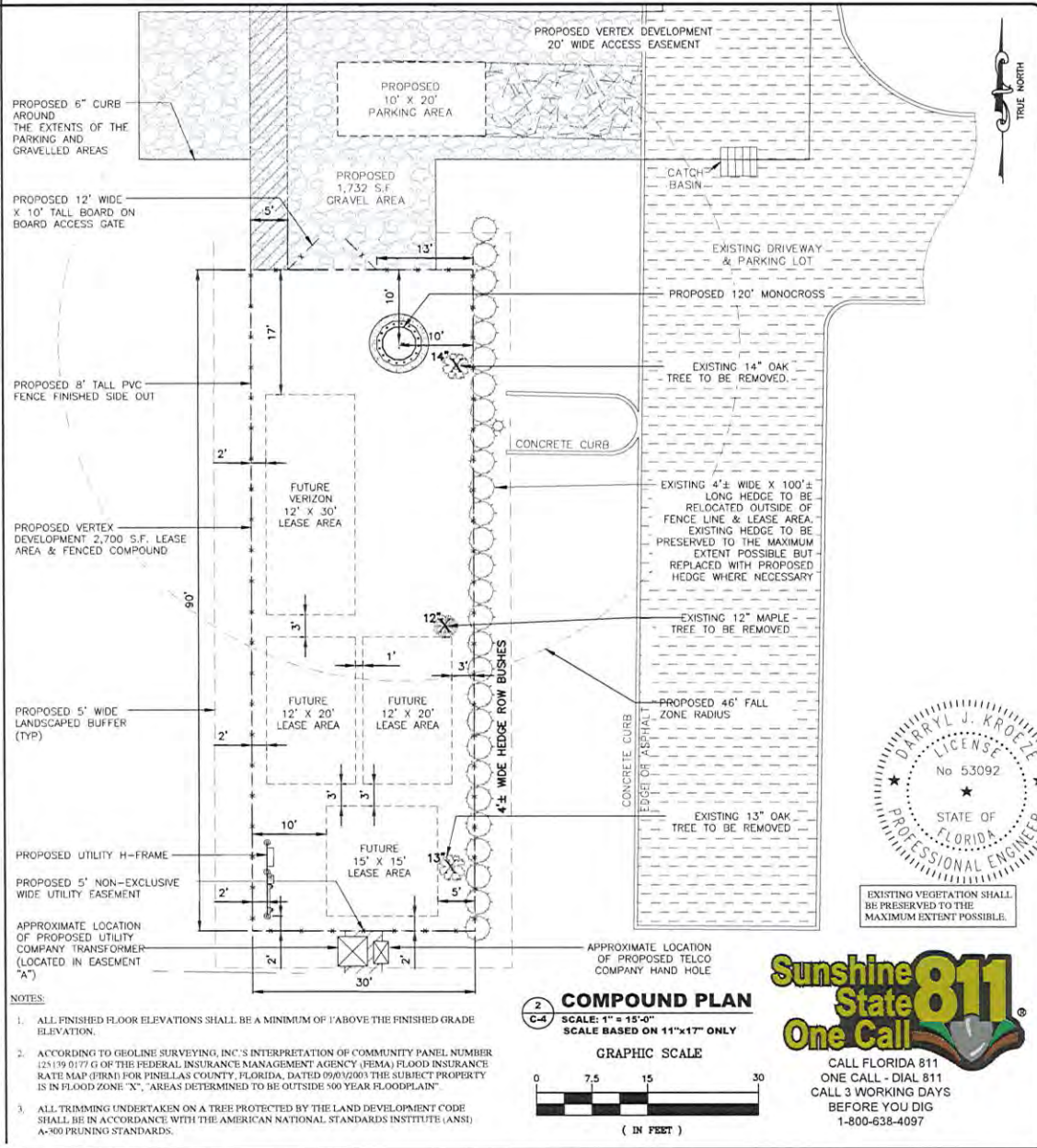
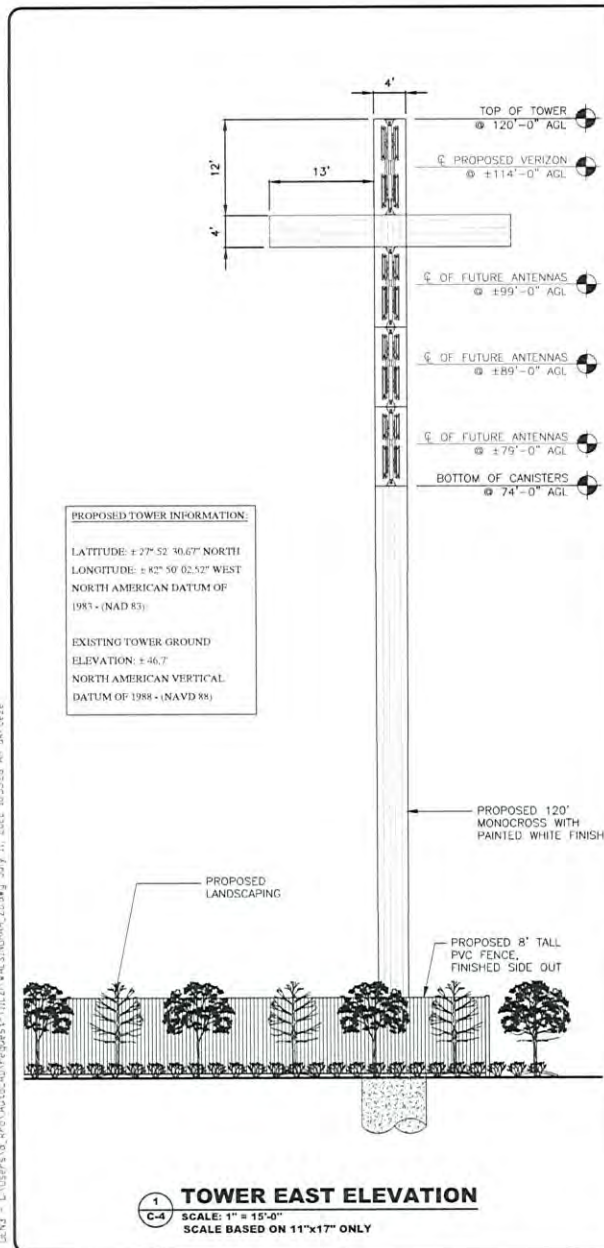
SHEET DESCRIPTION
SETBACK PLAN

SHEET NUMBER
C-3

1 SETBACK PLAN
SCALE: 1" = 80'
SCALE BASED ON 11"x17" ONLY



GEN3 - C:\Users\j.kroez\Documents\1112121\1112121\GEN3\GEN3.dwg July 11, 2022 10:55:58 AM skreze



REV	DATE	DESCRIPTION
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1	06/20/22	REV 1 2D ISSUED
2	07/11/22	FALL ZONE ADDED

GEN3 PROJECT NO.: 10220405
 DRAWN BY: DAK CHECKED BY: DAK

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 3630 WEST KENNEDY BOULEVARD
 TAMPA, FLORIDA 33609
 PH: (813) 335-4768

EXPERT CONSTRUCTION MANAGERS, INC.
 815 SOUTH KINGS AVENUE
 BRANDON, FLORIDA 33511
 PH: (813) 657-7810

PREPARED BY:
GEN3 ENGINEERING
 27139 SEA BREEZE WAY
 WESLEY CHAPEL, FLORIDA 33544
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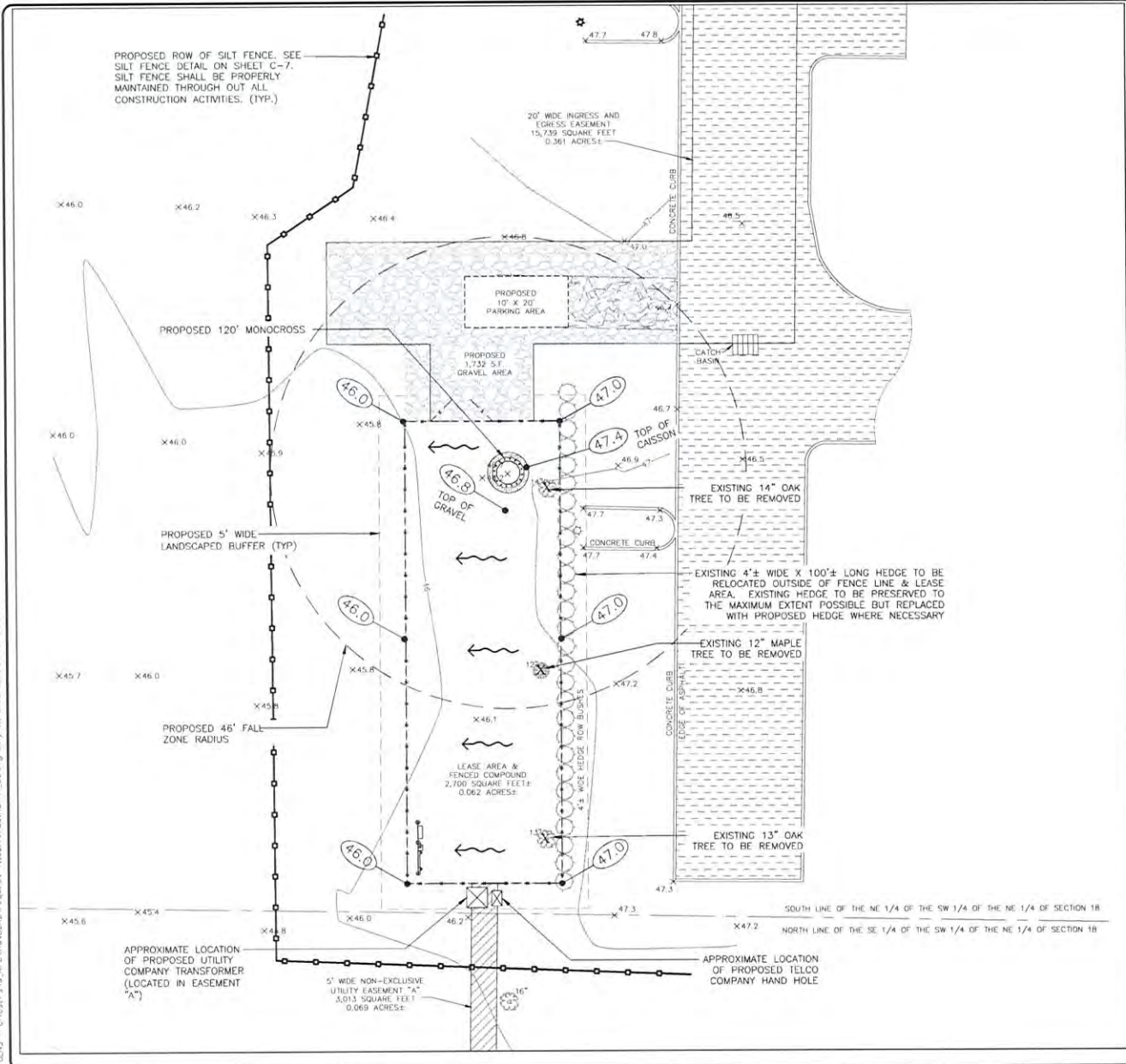
WALSINGHAM FL-5236

11220 OAKHURST ROAD
 LARGO, FLORIDA 33774

SHEET DESCRIPTION
TOWER ELEVATION & COMPOUND DETAIL

SHEET NUMBER
C-4

GEN3 - C:\users\j...er\Documents\request-TITLE\WALSINGHAM 20.dwg July 11, 2022 10:55:28 AM.dwg



REV	DATE	DESCRIPTION
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0	06/07/22	REV 0 FINAL 2D ISSUED
1	06/20/22	REV 1 2D ISSUED
2	07/11/22	FALL ZONE ADDED

GEN3 PROJECT NO.: 10220406

DRAWN BY: DKM	CHECKED BY: DKM
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VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
CONSTRUCTION MANAGERS, INC.
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:
GEN3
ENGINEERING
2713D SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813) 917-2871
OEA # 35409

NOTE: MAINTAIN EXISTING DRAINAGE PATTERNS

LEGEND	
X 6.95	EXISTING SPOT ELEVATION
[Symbol]	SILT FENCE LOCATION
(7.4)	PROPOSED SPOT ELEVATION
(MEG)	MATCH EXISTING GRADE
[Symbol]	STORM WATER OVERLAND FLOW DIRECTION 5.3092

Sunshine State One Call
STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION
CONSTRUCTION DIVISION
WINTER

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JUNE 6, 2022
DARRYL J. KROEZE, PE
FL PROFESSIONAL ENGINEER LIC. # 53092

GRADING PLAN
SCALE: 1" = 20'-0"
SCALE BASED ON 11"x17" ONLY

GRAPHIC SCALE

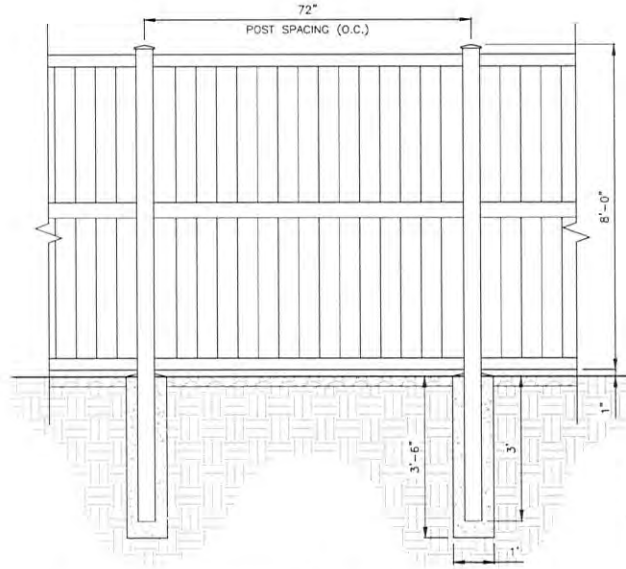
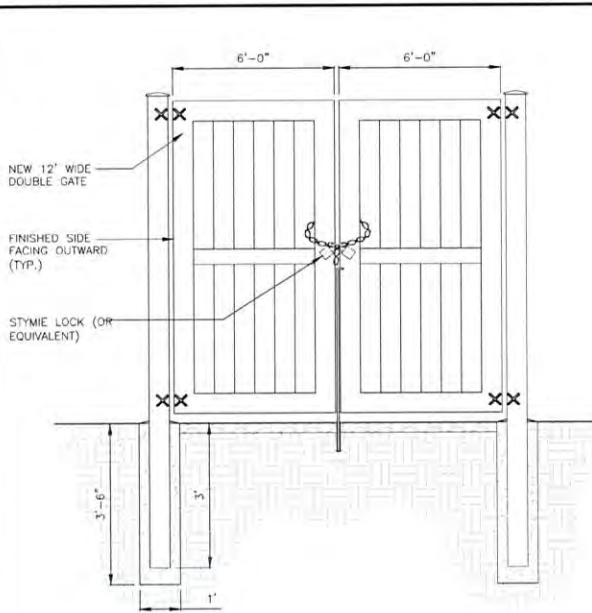
0 10 20 40
(IN FEET)

WALSINGHAM
FL-5236
11220 OAKHURST ROAD
LARGO, FLORIDA 33774

SHEET DESCRIPTION
GRADING AND DRAINAGE PLAN

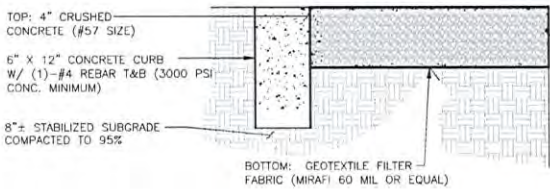
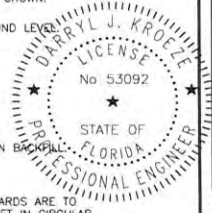
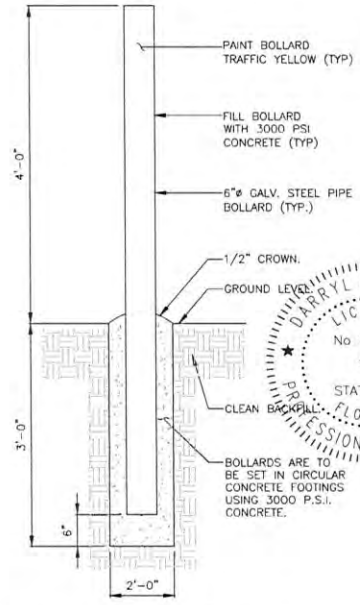
SHEET NUMBER
C-5

I:\EG - C:\Users\j.kroetze\Documents\171122\VAL\ENCL\04\25.dwg July 11, 2022 10:55:29 AM skrotzer



- NOTES:**
1. FENCE TO BE WHITE IN COLOR.
 2. FENCE TO BE INSTALLED FINISHED SIDE OUT.
 3. FENCE TO USE VINYL VERTICAL BOARDS.
 4. BOARDS ARE HOLLOW, 100% EXTRUDED VINYL.
 5. FENCE TO MAINTAIN A "NO-GAP" APPEARANCE, THROUGHOUT.
 6. CONTRACTOR TO COORDINATE FENCE INSTALLATION WITH ANY LOCAL ORDINANCES.
 7. ALL METAL HARDWARE TO BE HOT DIP GALVANIZED.
 8. GATE WILL BE LOCKED USING A STYMIE LOCK OR EQUIVALENT.
 9. FENCE DETAILS TO BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

1
C-6 **COMPOUND FENCE & GATE DETAIL**
SCALE: N.T.S.



3
C-6 **GRAVEL PARKING & ENTRANCE AREA SECTION**
SCALE: N.T.S.

4
C-7 **TRAFFIC BOLLARD DETAIL**
SCALE: N.T.S.

VERTEX
DEVELOPMENT, LLC

WALSHINGHAM
FL-5236
11220 OAKHURST ROAD
LARGO, FLORIDA 33774

FCC ASR #: 1317323
LAT: 27° 52' 30.67" N - LONG: 82° 50' 02.52" W

EMERGENCY CONTACT: 813-335-4768

NO TRESPASSING AREA

- SIGNAGE NOTES:**
1. "NO TRESPASSING" SIGNAGE SHALL BE INSTALLED ON EVERY SIDE, NO MORE THAN 40' APART.
 2. THE HEIGHT OF THE LETTERING OF THE WARNING SIGNS SHALL BE AT LEAST 12 INCHES. THE WARNING SIGNS SHALL BE INSTALLED AT LEAST FIVE FEET ABOVE FINISHED GRADE.

1
L-2 **SIGNAGE DETAIL**
SCALE: N.T.S.

REV	DATE	DESCRIPTION
A	06/27/22	REVIEW SET ISSUED
0	06/07/22	REV TO FINAL 2D ISSUED
1	06/20/22	REV 1 2D ISSUED
2	07/11/22	FALL ZONE ADDED

GEN3 PROJECT NO.: 10220406
DRAWN BY: DJK
CHECKED BY: DJK

VERTEX
DEVELOPMENT, LLC

3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
CONSTRUCTION MANAGERS, INC.

815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:

GEN3
ENGINEERING

27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813)917-2671
COA # 35409

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JUNE 6, 2022
DARRYL J. KROETZE, PE
FL PROFESSIONAL ENGINEER LIC. # 53092

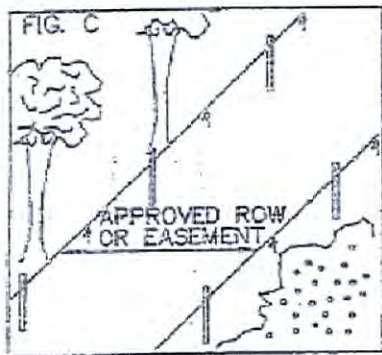
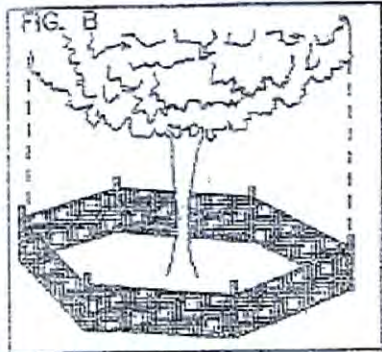
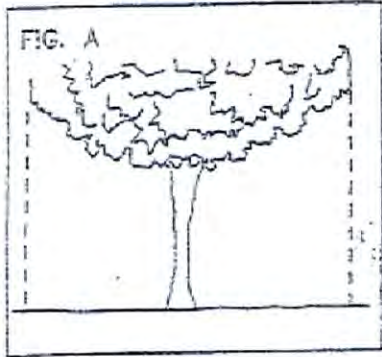
WALSHINGHAM
FL-5236

11220 OAKHURST ROAD
LARGO, FLORIDA 33774

SHEET DESCRIPTION
FENCE & GATE DETAILS

SHEET NUMBER
C-6

PROTECTIVE BARRIER REQUIREMENTS AND SPECIFICATIONS FOR EXISTING TREES TO REMAIN



1 TREE BARRICADE DETAIL
SCALE: N.T.S.

PROTECTIVE BARRIERS ARE USED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES AND NATURAL AREAS TO BE RETAINED ON A SITE.

PROTECTIVE BARRIERS MUST BE ERRECTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION OR CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SODDING. NO GROUND DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA. THE FOLLOWING REPRESENTS THE COUNTY'S MINIMUM PROTECTIVE BARRIER SPECIFICATIONS:

1. TREES - TO RESTRICT ACCESS INTO THE AREA WITHIN THE CANOPY DRIPLINE OF A TREE, A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT, COMPRISED OF WOOD OR OTHER SUITABLE MATERIAL, IS PLACED AROUND THE TREE AT THE CANOPY DRIPLINE, EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE CANOPY DRIPLINE.

THE CANOPY DRIPLINE OF A TREE IS THE IMAGINARY VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND. FIG. A.

BARRIER SPECIFICATIONS FOR TREES

FOUR CORNER UPRIGHT STAKES OF NO LESS THAN 2" X 2" LUMBER CONNECTED BY HORIZONTAL MEMBERS OF NO LESS THAN 1" X 4" LUMBER, OR UPRIGHT TAKES SPACED AT 5' INTERVALS OF NO LESS THAN 2" X 2" LUMBER, CONNECTED BY SILT SCREEN FABRIC OR MATERIAL OF COMPARABLE DURABILITY. FIG. B.

2. NATURAL AREAS - TO RESTRICT ACCESS INTO AREAS WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE NOT AUTHORIZED A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT IS PLACED ALONG THE PERIMETER OF SUCH AREAS.

BARRIER SPECIFICATIONS FOR NATURAL AREAS

UPRIGHT STAKES OF NO LESS THAN 2" X 2" LUMBER SPACED NO MORE THAN 25' APART AND CONNECTED BY TWINE FLAGGED WITH PLASTIC SURVEYING TAPE AT REGULAR INTERVALS OF 5-10'. FIG. C. OTHER METHODS OF DEMARICATION WILL BE CONSIDERED DEPENDING UPON THE CHARACTERISTICS OF THE SITE.

WHY A BARRIER

1. TO PROTECT ALL ABOVE GROUND PORTIONS OF TREES AND OTHER SIGNIFICANT VEGETATION FROM MECHANICAL DAMAGE.

2. TO PROTECT ROOT SYSTEMS FROM COMPACTION.

3. TO PROVIDE AWARENESS OF PROTECTED AREAS TO EQUIPMENT OPERATORS.

TREE PROTECTION STANDARDS:

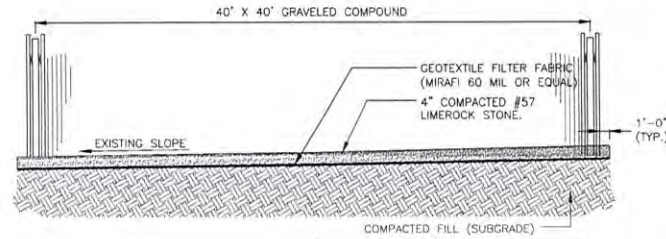
PURSUANT TO SEC. 13-44, AS A CONDITION OF GRANTING AN APPROVAL OF SITE PREPARATION, THE APPLICANT AGREES THAT SITE PREPARATION ACTIVITIES ON THE PARCEL SHALL COMPLY WITH THE FOLLOWING TREE PROTECTION REQUIREMENTS:

1. PROTECTIVE BARRICADES SHALL BE PLACED AROUND ALL PROTECTED TREES AND GRAND TREES DURING SITE PREPARATION, AND SHALL REMAIN IN PLACE UNTIL LAND ALTERATION, SITE CLEARING, AND CONSTRUCTION ACTIVITIES ARE COMPLETE. BARRICADES SHALL BE SET AT A MINIMUM DISTANCE OF TEN FEET (10') FROM THE PROTECTED TREES AND TWENTY FEET (20') FROM GRAND TREES.

2. A MINIMUM DISTANCE OF TEN FEET (10') SHALL BE MAINTAINED FROM ALL PROTECTED TREES WHEN INSTALLING UNDERGROUND UTILITIES. IF THIS RESULTS IN UNREASONABLE HARDSHIP, A SLOTTED ALLEE SHALL BE USED TO TUNNEL UNDER THE ROOT SYSTEM.

3. ALL ROOTS TO BE REMOVED DURING THE SITE PREPARATION PHASE SHALL BE SHAVED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTED RADII. ALL TRIMMING AND ROOT PRUNING OF PROTECTED TREES AND GRAND TREES SHALL BE DONE BY A LICENSED TREE SERVICE, DURING DEVELOPMENT.

4. WHEN CONDITIONS DICTATE, A PROTECTIVE RETAINING WALL SHALL BE CONSTRUCTED AT THE PERIMETER OF THE PROTECTIVE RADII AROUND A PROTECTED TREE OR GRAND TREE WHERE THE PROTECTED TREE OR GRAND TREE WILL BE ADVERSELY AFFECTED BY LOWERING OR RAISING OF THE EXISTING GRADE.

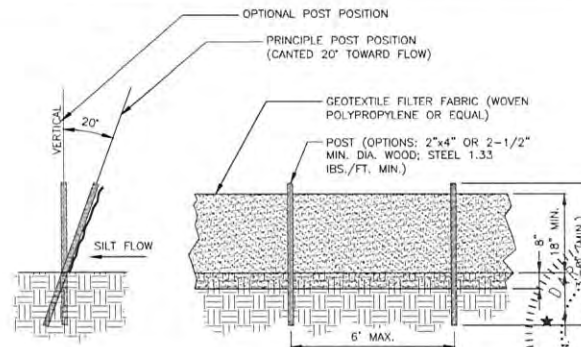


NOTES:

1. SITE WILL BE GRADED TO ALLOW DRAINAGE PER SHEET C-5.
2. PRIOR TO LAYING THE STONE, THE COMPOUND SHOULD BE CLEARED OF ALL ORGANIC MATTER, STERILIZED WITH WEED KILLER, AND THEN TREATED WITH HERBICIDE.
3. AFTER PROJECT COMPLETION ALL DISTURBED AREAS MUST BE SEEDED WITH LOW MAINTENANCE GRASS.

1 TYPICAL COMPOUND SECTION DETAIL

SCALE: N.T.S.



NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION. INSTALL SILT FENCE AS SHOWN WHERE ADDITIONALLY REQUIRED FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS, AND WATERWAYS.
2. CONTRACTOR SHALL INSPECT INSTALLED EROSION CONTROL DEVICE WEEKLY DURING CONSTRUCTION AND AFTER HEAVY RAINS FOR DAMAGE. MAINTENANCE SHALL INCLUDE CLEANING BUILT-UP SEDIMENT BEHIND THE BARRIERS AND/OR REPLACING DAMAGED SECTIONS.
3. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
4. HAY BALES SHALL NOT BE USED AS EROSION CONTROL.
5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE FREE OF DRAINAGE PROBLEMS.
6. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES FOR CONSTRUCTION TO PREVENT THE DIVERSION OF SEDIMENT LADEN STORM WATER RUNOFF OR ERODED MATERIALS FROM LEAVING THE CONSTRUCTION SITE.

3 SILT FENCE DETAIL

SCALE: N.T.S.

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GEN3 PROJECT NO.: 10220406		
DRAWN BY: DJK		CHECKED BY: DJK



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TAMPA, FLORIDA 33609
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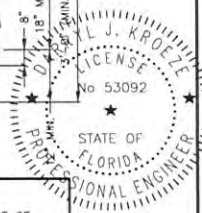


815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:



27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813) 917-2671
CGA # 35409



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WALSINGHAM
FL-5236

11220 OAKHURST ROAD
LARGO, FLORIDA 33774

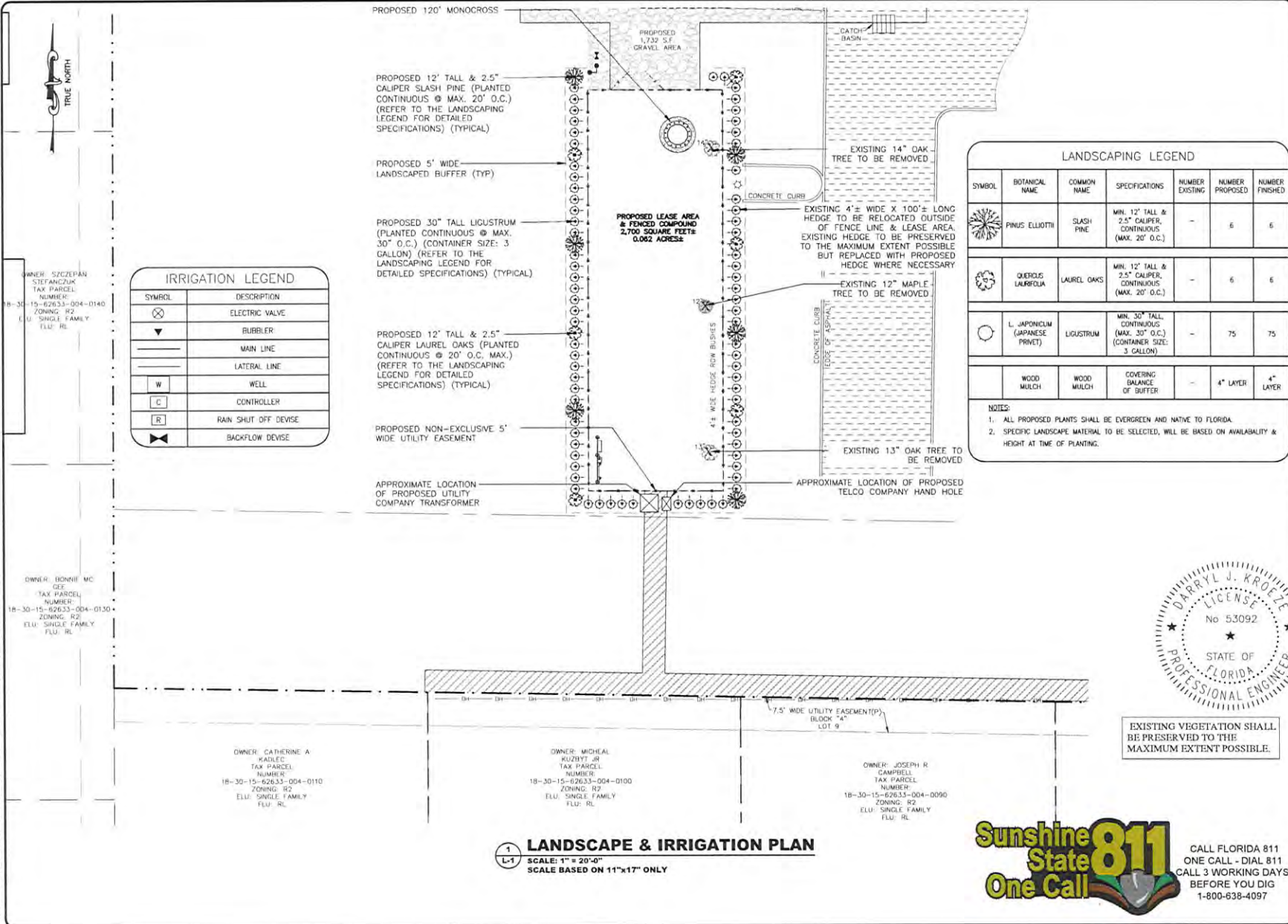
SHEET DESCRIPTION:

SITE DETAILS

SHEET NUMBER

C-7

GEN3 - C:\Users\dj\OneDrive\Documents\2022\105536_A4_Rev02.dwg - July 11, 2022 10:55:36 AM - Rev02.dwg



IRRIGATION LEGEND

SYMBOL	DESCRIPTION
⊗	ELECTRIC VALVE
▽	BUBBLER
—	MAIN LINE
- - -	LATERAL LINE
W	WELL
C	CONTROLLER
R	RAIN SHUT OFF DEVISE
⊕	BACKFLOW DEVISE

LANDSCAPING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NUMBER EXISTING	NUMBER PROPOSED	NUMBER FINISHED
☼	PINUS ELLIOTTII	SLASH PINE	MIN. 12' TALL & 2.5" CALIPER, CONTINUOUS (MAX. 20' O.C.)	-	6	6
☼	QUERUS LAURIFOLIA	LAUREL OAKS	MIN. 12' TALL & 2.5" CALIPER, CONTINUOUS (MAX. 20' O.C.)	-	6	6
☼	L. JAPONICUM (JAPANESE PRIVET)	LIGUSTRUM	MIN. 30" TALL, CONTINUOUS (MAX. 30" O.C.) (CONTAINER SIZE: 3 GALLON)	-	75	75
	WOOD MULCH	WOOD MULCH	COVERING BALANCE OF BUFFER	-	4" LAYER	4" LAYER

NOTES:
 1. ALL PROPOSED PLANTS SHALL BE EVERGREEN AND NATIVE TO FLORIDA.
 2. SPECIFIC LANDSCAPE MATERIAL TO BE SELECTED, WILL BE BASED ON AVAILABILITY & HEIGHT AT TIME OF PLANTING.

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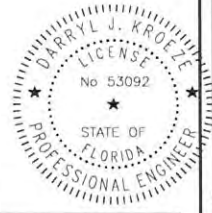
GEN3 PROJECT NO.: 10220406
 DRAWN BY: DJK
 CHECKED BY: DJK

VERTEX
 DEVELOPMENT, LLC
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 TAMPA, FLORIDA 33609
 PH: (813) 335-4768

EXPERT
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 815 SOUTH KINGS AVENUE
 BRANDON, FLORIDA 33511
 PH: (813) 657-7810

PREPARED BY:

GEN3 ENGINEERING
 27139 SEA BREEZE WAY
 WESLEY CHAPEL, FLORIDA 33544
 (813) 917-2871
 COA # 35408



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DARRYL J. KROEZE, PE
 FL PROFESSIONAL ENGINEER LIC. # 53092

WALSINGHAM
 FL-5236

11220 OAKHURST ROAD
 LARGO, FLORIDA 33774

SHEET DESCRIPTION
VEGETATIVE BUFFER PLAN

SHEET NUMBER
L-1

GEN3 - C:\Users\k... \Public\Projects\112121\WALSINGHAM_SitePlan.dwg July 11, 2022 10:55:31 AM dk-roze

OWNER: SZCZEPAN STEFANCZYK
 TAX PARCEL NUMBER: 18-30-15-62633-004-0140
 ZONING: R2
 E.U. SINGLE FAMILY
 FLU: RL

OWNER: BONNIE MC GEE
 TAX PARCEL NUMBER: 18-30-15-62633-004-0130
 ZONING: R2
 E.U. SINGLE FAMILY
 FLU: RL

OWNER: CATHERINE A KADLEC
 TAX PARCEL NUMBER: 18-30-15-62633-004-0110
 ZONING: R2
 E.U. SINGLE FAMILY
 FLU: RL

OWNER: MICHAEL KUZBYT JR
 TAX PARCEL NUMBER: 18-30-15-62633-004-0100
 ZONING: R2
 E.U. SINGLE FAMILY
 FLU: RL

OWNER: JOSEPH R CAMPBELL
 TAX PARCEL NUMBER: 18-30-15-62633-004-0090
 ZONING: R2
 E.U. SINGLE FAMILY
 FLU: RL

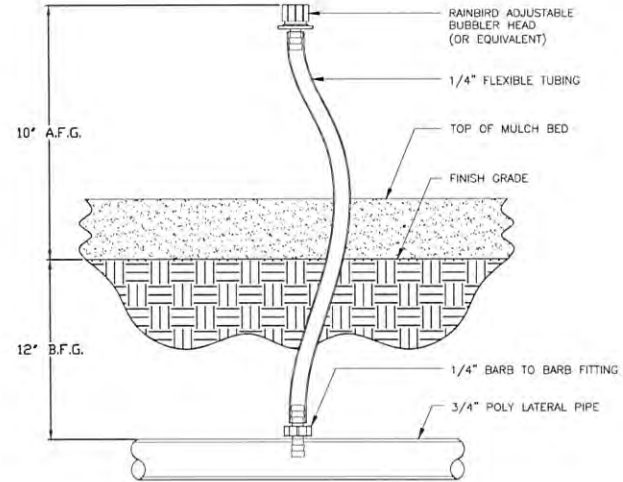
LANDSCAPE & IRRIGATION PLAN
 SCALE: 1" = 20'-0"
 SCALE BASED ON 11"x17" ONLY



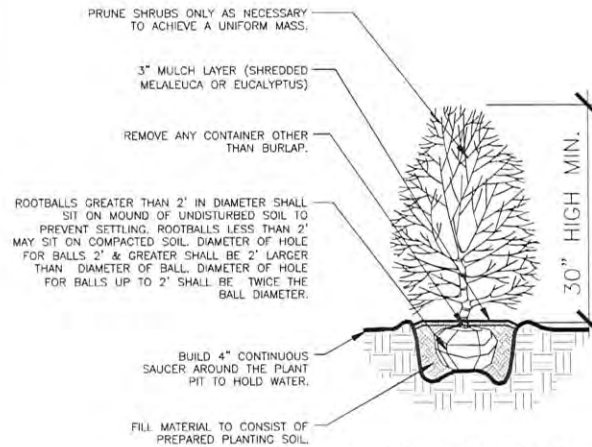
CALL FLORIDA 811
 ONE CALL - DIAL 811
 CALL 3 WORKING DAYS
 BEFORE YOU DIG
 1-800-638-4097

LANDSCAPE NOTES:

1. ALL LANDSCAPING SHALL BE FLORIDA GRADE #1 OR BETTER.
2. ALL LANDSCAPING SHALL MEET OR EXCEED ALL CITY OF HOMESTEAD CODE SPECIFICATION REQUIREMENTS.
3. ALL TREES PROPOSED FOR ROOT PRUNING MUST HAVE A MINIMUM OF 90 DAY ROOT PRUNING.
4. CALL SUNSHINE ONE CALL SERVICE AT 1-800-432-4700 BEFORE YOU DIG.
5. ALL LANDSCAPING SHALL HAVE 1 YEAR WARRANTY.
6. NO LANDSCAPE SUBSTITUTIONS SHALL BE MADE WITHOUT CONSTRUCTION MANAGER APPROVAL.
7. AN UNDERGROUND, RUST FREE, AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR SHALL BE INSTALLED WITH 100% COVERAGE AND 100% OVERLAP PRIOR TO FINAL INSPECTION.
8. IRRIGATION SYSTEM SHALL HAVE NO OVERSPRAY ONTO IMPERVIOUS AREAS.
9. ALL TREES AND PALMS SHALL BE BRACED OR GUYED AND ALL NYLON STRAPS OR WOOD BRACING SHALL BE REMOVED WITHIN ONE YEAR OF FINAL INSPECTION.
10. ALL PLANTS TO BE TOP DRESSED WITH A MINIMUM 3" DEEP LAYER OF ARSENIC FREE ORGANIC MULCH.
11. ALL TREES OR PALMS IN LAWN AREAS SHALL RECEIVE A 2 FOOT DIAMETER MULCH RING AROUND THE TREES AND THE MULCH MUST BE PULLED AWAY 3" FROM THE TRUNKS.
12. ALL SOD TO BE HEALTHY, WEED /PEST FREE (INCLUDING FUNGUS AND DISEASE) ST. AUGUSTINE AND LAID SMOOTH WITH TIGHT ALTERNATING AND ABUTTING JOINTS WHICH CONFORM TO CURBS AND PLANTERS.
13. ALL PLANT ROOT BALLS SHALL BE 10% ABOVE GRADE AND THE WIRE BASKETS, BURLAP, STRING AND ROPE MUST BE REMOVED.
14. ALL FIRE HYDRANTS AND FIRE CHECK VALVES SHALL HAVE A MINIMUM 7.5' CLEARANCE FROM THE FRONT AND SIDES WITH 4' CLEARANCE FROM THE REAR TO ALL LANDSCAPE MATERIAL.
15. ALL LIGHTS SHALL HAVE A MINIMUM 15' SEPARATION ON LARGE TREES AND 7.5' ON SMALL TREES AND PALMS.
16. ALL PLANTING PITS SHALL BE A MINIMUM OF 2X THE ROOT BALL DIAMETER.
17. ALL TREES TRIMMING SHALL BE DONE IN ACCORDANCE TO MIAMI-DADE COUNTY REQUIREMENTS.
18. ALL EXISTING LANDSCAPING, INCLUDING BUT NOT LIMITED TO TREE, PALMS, SHRUBS, GROUNDCOVER, SOD, IRRIGATION, GRADING, AND CURBING DESTROYED DURING THE CONSTRUCTION SHALL BE REPLACED PRIOR TO FINAL INSPECTION.
19. ECO-SITE OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING OF THE COMPOUND & BUFFER AREA ONLY.
20. ALL PLANTING TO BE DONE WITH IN ACCORDANCE TO PROPER HORTICULTURAL PRACTICES.



1 BUBBLER DETAIL
SCALE: N.T.S.



2 SHRUB PLANTING DETAIL
SCALE: N.T.S.

REV	DATE	DESCRIPTION
A	05/27/22	REVIEW SET ISSUED
D	06/07/22	REV 0 FINAL 2D ISSUED
1	06/29/22	REV 1 2D ISSUED
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GEN3 PROJECT NO.: 10220408
DRAWN BY: DKC CHECKED BY: DKC

VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
CONSTRUCTION MANAGERS, INC.
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:
GEN3 ENGINEERING
27130 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813)917-2871
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DARRYL J. KROEZE, PE
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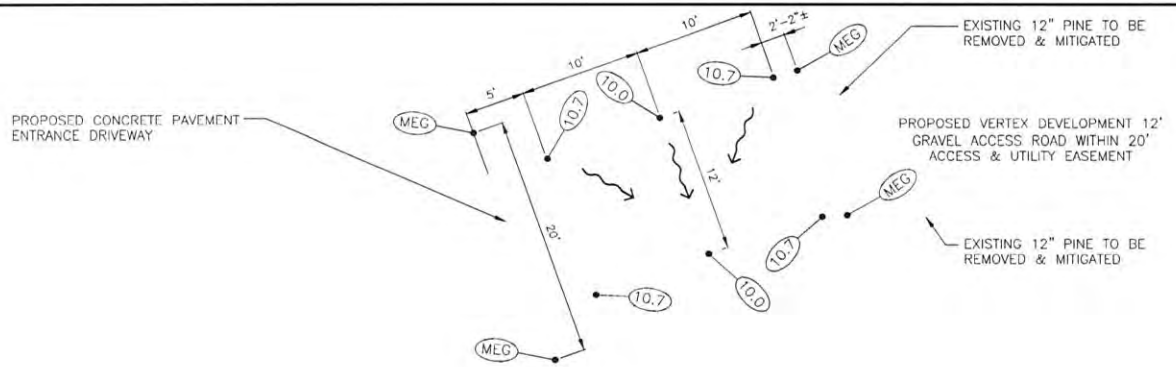
11220 OAKHURST ROAD
LARGO, FLORIDA 33774

SHEET DESCRIPTION

IRRIGATION DETAIL

SHEET NUMBER

L-2

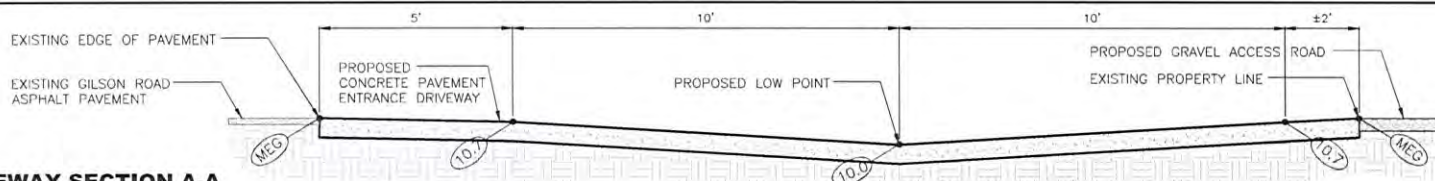


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GENS PROJECT NO.:	10220406
DRAWN BY:	CJK
CHECKED BY:	CJK

1 CONCRETE PAVEMENT ENTRANCE DRIVEWAY DETAIL

SCALE: 1/8" = 1'
SCALE BASED ON 11"x17" ONLY



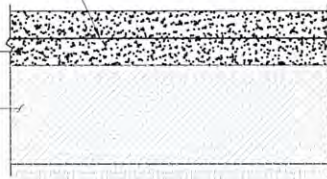
2 ENTRANCE DRIVEWAY SECTION A-A

SCALE: N.T.S.

REINFORCED 6X6 W1.4XW1.4 WELDED WIRE FABRIC

8" 3,000 PSI (MIN) CONCRETE REINFORCED WITH 6X6 W1.4XW1.4 WELDED WIRE FABRIC

12" STABILIZED SUBGRADE (LBR 40) COMPACTED TO 98% MODIFIED PROCTOR MAX. DRY DENSITY (ASTM D-1557)



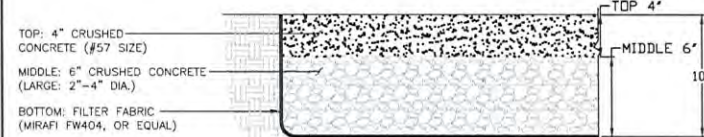
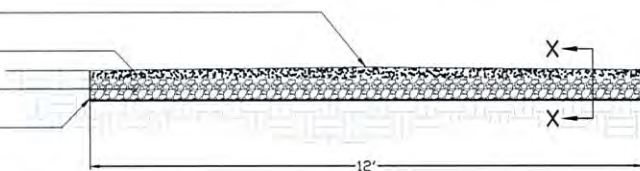
- NOTES:**
- CONCRETE MATERIALS, CONSTRUCTION AND TESTING SHALL MEET ALL APPLICABLE FDOT SPECIFICATIONS.
 - SUBGRADE STABILIZATION SHALL BE PER FDOT SPECIFICATIONS SECTION 160.
 - DENSITY REQUIREMENTS SHALL BE AS INDICATED ABOVE.
 - THIS DETAIL TO BE UTILIZED FOR CONCRETE PAVEMENT CONSTRUCTION ON-SITE.



3 ENTRANCE DRIVEWAY CONCRETE PAVEMENT SECTION

SCALE: N.T.S.

1" CROWN
TOP: 4" CRUSHED CONCRETE (#57 SIZE)
MIDDLE: 6" CRUSHED CONCRETE (LARGE: 2"-4" DIA.)
BOTTOM: FILTER FABRIC (MIRAFI FW404, OR EQUAL)



4 GRAVEL ACCESS ROAD DETAIL

SCALE: N.T.S.

5 GRAVEL ACCESS ROAD SECTION X-X

SCALE: N.T.S.

VERTEX
DEVELOPMENT, LLC
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PREPARED BY:

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(813) 917-2871
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FL-5236

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LARGO, FLORIDA 33774

SHEET DESCRIPTION
DRIVEWAY DETAILS

SHEET NUMBER
C-9

ELECTRICAL SPECIFICATIONS

GENERAL

- A. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR AND INCIDENT TO THE COMPLETE INSTALLATION AND OPERATION OF ALL ELECTRICAL WORK. ALL WORK SHALL BE DONE BY QUALIFIED PERSONNEL.
- B. CONFORM TO THE 2010 FLORIDA BUILDING CODE & 2008 NATIONAL ELECTRIC CODE, THE CURRENT NATIONAL ELECTRICAL SAFETY CODE ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION. THE INSTALLATION SHALL COMPLY WITH THESE & ALL APPLICABLE RULES & REGULATIONS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
- C. COORDINATE THE WORK OF ALL TRADES.
- D. ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN, PROVIDING PROPER CLEARANCES AND ACCESS. CAREFULLY EXAMINE ALL CONTRACT DRAWINGS AND FIT THE WORK IN EACH LOCATION WITHOUT SUBSTANTIAL ALTERATION. WHERE DEPARTURES ARE PROPOSED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES, PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE. THE RIGHT IS RESERVED TO MAKE REASONABLE CHANGES IN LOCATION OF EQUIPMENT, CONDUIT, AND WIRING UP TO THE TIME OF ROUGH-IN OR FABRICATION.
- E. THE CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ALL OFFSETS, BENDS, FITTINGS AND ACCESSORIES ARE NOT NECESSARILY SHOWN, PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED TO FIT THE WORK TO THE CONDITIONS.
- F. THERE SHALL BE NO INTERRUPTION OF POWER TO EXISTING ELECTRICAL SYSTEMS WITHOUT PRIOR CONSENT OF THE BUILDING OWNER. SUCH INTERRUPTIONS SHALL BE KEPT TO A MINIMUM AND SHALL BE SCHEDULED WITH THE OWNER AT LEAST THREE BUSINESS DAYS IN ADVANCE OF THE OUTAGE, ANY COST FOR WORK THAT MUST BE DONE ON AN OVERTIME BASIS SHALL BE INCLUDED IN THE BID.
- G. VISIT THE SITE AND INSPECT THE EXISTING CONDITIONS BEFORE BID IN ORDER TO ENSURE PROPER EVALUATION OF WORKING CONDITIONS AND LOCATION OF EXISTING UTILITIES.
- H. WHERE OUTLETS ARE REMOVED OR CIRCUITS INTERRUPTED OR BROKEN, PROVIDE THE REQUIRED RELOCATION, RECONNECTION OR REARRANGEMENT TO RESTORE SERVICE TO ALL ITEMS, OUTLETS, ETC. NOT MADE OBSOLETE BY THIS WORK.
- I. MOUNTING AND SUPPORTING OF ALL EQUIPMENT PROVIDED UNDER THIS SECTION SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER IN THE FIELD.

PERMITS AND FEES

- A. OBTAIN, PAY FOR, AND DELIVER ALL PERMITS, CERTIFICATES OF INSPECTION, ETC., REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. DELIVER CERTIFICATES TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE WORK.

MATERIAL AND EQUIPMENT

- A. MATERIAL AND EQUIPMENT INSTALLED AS A PART OF THE PERMANENT INSTALLATION SHALL BE NEW UNLESS OTHERWISE INDICATED OR SPECIFIED AND SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB, FOR INSTALLATION IN EACH PARTICULAR CASE, WHERE STANDARDS HAVE BEEN ESTABLISHED.

CUTTING AND PATCHING

- A. PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR THE INSTALLATION OF THE ELECTRICAL WORK. ANY DAMAGE DONE TO THE WORK ALREADY IN PLACE BY REASON OF THIS WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BY A QUALIFIED MECHANIC EXPERIENCED IN SUCH WORK. PATCHING SHALL BE UNIFORM IN APPEARANCE AND SHALL MATCH THE SURROUNDING SURFACE. DO NOT CUT STRUCTURAL MEMBERS WITHOUT APPROVAL BY THE CONSTRUCTION MANAGER. WHERE PENETRATIONS ARE NECESSARY THROUGH THE ROOF, PROVIDE ALL NECESSARY CURBS, SLEEVES, SHIELDS, FLASHING, FITTINGS, AND CAULKING TO MAKE THE PENETRATIONS ABSOLUTELY WATERTIGHT.

ELECTRICAL WORK UNDER OTHER DIVISIONS

- A. IN GENERAL POWER WIRING FOR SYSTEMS ARE INCLUDED UNDER THIS SPECIFICATION. CAREFULLY REVIEW THE CONTRACT DOCUMENTS AND COORDINATE THE ELECTRICAL WORK TO BE PERFORMED UNDER THE OTHER DIVISIONS.

GUARANTEE

- A. GUARANTEE THE ELECTRICAL SYSTEM INSTALLED BY THE CONTRACTOR FREE FROM ALL MECHANICAL AND ELECTRICAL DEFECTS FOR THE PERIOD OF ONE YEAR BEGINNING FROM THE DAY OF FINAL ACCEPTANCE OF THE WORK OR BENEFICIAL OCCUPANCY BY THE OWNER, WHICHEVER OCCURS FIRST.
- B. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE ELECTRICAL INSTALLATION DURING THE GUARANTEE PERIOD, NEW REPLACEMENT PARTS SHALL BE FURNISHED AND INSTALLED PROMPTLY AT NO COST TO THE OWNER.

CONDUIT AND FITTINGS

- A. MINIMUM CONDUIT SIZE SHALL BE 4". (UNLESS OTHERWISE INDICATED)
- B. SUPPORT ALL CONDUIT NOT EMBEDDED IN CONCRETE OR MASONRY SO THAT STRAIN IS NOT TRANSMITTED TO OUTLET BOXES AND PULL BOXES, ETC. SUPPORTS TO BE SUFFICIENTLY RIGID TO PREVENT DISTORTION OF CONDUITS DURING WIRE PULLING.
- C. ALUMINUM CONDUIT IS PROHIBITED.
- D. ALL CONDUITS SHALL BE GALVANIZED ELECTRICAL METALLIC TUBING (EMT), PVC, OR RIGID GALVANIZED STEEL (EXTERIOR EXPOSED).
- E. EMT CONDUIT FITTINGS SHALL BE FERROUS COMPRESSION TYPE.
- F. IN DAMP OR WET LOCATIONS USE FLEXIBLE, LIQUID-TIGHT METAL CONDUIT WITH APPROVED FITTINGS.

COORDINATION

- A. COORDINATE THE WORK OF POWER, GROUNDING AND TELCO AT EQUIPMENT WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN. FINAL TERMINATIONS TO BE AT THE DIRECTION OF THE EQUIPMENT SUPPLIER.
- B. PRIOR TO BEGINNING WORK CONTRACTOR SHALL COORDINATE ALL POWER & TELCO WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED.

WIRES AND CABLES (600 VOLTS)

- A. BUILDING WIRE, UNLESS OTHERWISE INDICATED SHALL BE 600 VOLTS, TYPE THWN INSULATION (75°C). CONDUCTORS SHALL BE SIZED AND RUN AS INDICATED. CONDUCTORS SHALL BE SOFT DRAWN COPPER OF NOT LESS THAN 95% CONDUCTIVITY.

CONDUCTOR INSULATION

- A. ALL CONDUCTORS SHALL BE COLOR CODED AS REQUIRED BY NEC AND FURTHER IDENTIFIED AND CODED AS SPECIFIED HEREINAFTER. COLOR CODING SHALL BE BY MEANS OF COLORED INSULATING MATERIAL, COLORED BRAID OR JACKET OVER THE INSULATION OR BY MEANS OF SUITABLE COLORED, PERMANENT, NON-AGING, INSULATING TAPE APPLIED TO CONDUCTORS AT EACH CABINET OR JUNCTION POINT. THE COLOR CODING SHALL BE ACCOMPLISHED AS THE CONDUCTORS ARE INSTALLED. THE FOLLOWING SYSTEMS OF COLOR CODING SHALL BE STRICTLY ADHERED TO:
 - A) GROUND LEADS: GREEN
 - B) GROUNDED NEUTRAL LEADS: WHITE
 - C) 120/208 VOLT (120/240 VOLT) UNGROUNDED PHASE WIRES: BLACK, RED, BLUE

THE COLOR CODE ASSIGNED TO EACH PHASE WIRE SHALL BE CONSISTENTLY FOLLOWED THROUGHOUT.

CONDUIT SUPPORTS

- A. SUPPORT SURFACE RUNS OF CONDUIT USING ONE OR TWO HOLE PIPE STRAPS, STRAP SPACING 6 FOOT ON CENTERS, MAXIMUM, UNLESS NOTED OTHERWISE.
- B. FASTEN STRAPS TO CONCRETE USING INSERTS OR EXPANSION BOLTS AND TO HOLLOW MASONRY USING TOGGLE BOLTS. WOODEN PLUGS ARE UNACCEPTABLE.

OUTLET, JUNCTION AND PULL BOXES

- A. ALL BOXES, WHETHER OUTLET, JUNCTION, PULL, OR EQUIPMENT SHALL BE FURNISHED WITH APPROPRIATE COVERS.
- B. NO SECTIONALIZED BOXES SHALL BE USED.
- C. OUTLET, JUNCTION AND PULL BOXES SHALL BE SHEET STEEL WHERE REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES. SUCH BOXES SHALL BE RIGIDLY MOUNTED AND INSTALLED IN ACCESSIBLE LOCATIONS.

SAFETY DISCONNECT SWITCH

- A. PROVIDE SAFETY DISCONNECT SWITCHES AS SHOWN ON THE DRAWINGS AND WHERE REQUIRED BY THE NATIONAL ELECTRICAL CODE. SWITCHES SHALL BE HORSEPOWER-RATED WHERE APPLICABLE, AND SHALL BE THE SIZES REQUIRED. SERVICE ENTRANCE SWITCH SHALL BE SO RATED.
- B. SWITCHES SHALL BE HEAVY DUTY TYPE FUSED OR UNFUSED, AS INDICATED; SIDE HANDLE OPERATED, NEMA 1 FOR GENERAL INTERIOR WORK AND NEMA 3R STEEL FOR EXTERIOR, DAMP, OR WET LOCATIONS. SWITCHES SHALL BE EQUIPPED WITH A COVER INTERLOCK TO PREVENT OPERATION WITH COVER OPEN.
- C. SWITCHES SHALL BE VISIBLE BLADE, EXTERNALLY OPERATED, WITH ALL CURRENT CARRYING PARTS SILVER OR TIN-PLATED. ALL SWITCHES SHALL HAVE PROVISIONS FOR NOT LESS THAN TWO EXTERNAL PADLOCKS.

GROUNDING

- A. PROVIDE GROUND FOR ALL RACEWAYS, DEVICES, AND UTILIZATION EQUIPMENT PERMANENTLY AND EFFECTIVELY IN ACCORDANCE WITH REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND AS HEREINAFTER SPECIFIED. ALL GROUNDED NEUTRAL CONDUCTORS SHALL BE CONTINUOUSLY IDENTIFIED. ALL GROUNDING AND BONDING CONNECS LONG SHALL BE SOLDERLESS.
- B. PROVIDE INSULATED GROUNDING CONDUCTORS FOR FEEDER AND BRANCH CIRCUIT WIRING AS CALLED FOR ON THE PLANS. PROVIDE GROUNDING BLOCKS, TERMINALS, ETC., FOR CONNECTION OF GROUND WIRE IN ALL DISTRIBUTION EQUIPMENT, OUTLETS, JUNCTION BOXES, AND UTILIZATION EQUIPMENT. TERMINATE WITH LUGS OR COMPRESSION TERMINALS. CONDUCTORS LOOPED UNDER BOLTS OR SCREWS WILL NOT BE ACCEPTABLE.
- C. GROUND RODS, WHEN NEEDED SHALL BE STEEL, COPPER CLAD 5/8" DIAMETER BY EIGHT FEET LONG. GROUND ROD SHIELDS TO BE PROVIDED FOR DRIVING RODS. SERVICE GROUND RODS SHALL BE 3/4" X 10' AND COPPER CLAD STEEL.
- D. PRIOR TO INSTALLATION OF THE GROUNDING SYSTEM, THE EARTH RESISTIVITY SHALL BE MEASURED USING WENNER FOUR TERMINAL METHOD. REPORTS OF THE MEASURED RESISTIVITY MUST BE SUBMITTED TO THE CONSTRUCTION MANAGER.
- E. THE MAXIMUM RESISTANCE OF THE COMPLETED GROUNDING SYSTEM SHALL NOT EXCEED 5 OHMS ON ANY PART OF THE SYSTEM. IF DUE TO SOIL CONDITIONS OR OTHER PARAMETERS THIS MAXIMUM VALUE IS EXCEEDED, CONTACT THE ENGINEER FOR ADDITIONAL INSTRUCTIONS.
- F. GROUND BAR PLATES ARE TO BE MANUFACTURED EXACTLY AS DETAILED AND DIMENSIONED.
- G. ALL MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
- H. ALL BARE COPPER SURFACES SHALL BE COATED PRIOR TO LUGGING. JOINT COMPOUND SHALL BE KOPR-SHIELD BY THOMAS & BETTS.

- I. CONNECTION OF CONDUCTORS BELOW GRADE TO GROUND RODS, GROUND RINGS, GROUND WELL, ETC., SHALL BE EXOTHERMIC TYPE WELDING CONNECTIONS "GADWELD".
- J. CONNECTION OF CONDUCTORS ABOVE GRADE TO METALLIC OBJECTS OR IN HANDHOLES SHALL BE WITH PRESSURE TYPE CRIMP CONNECTORS, BOLTED CLAMPS, OR SPLIT BOLT CONNECTIONS WITH SOLID BRONZE HARDWARE. CADMIUM PLATED STEEL HARDWARE IS NOT ACCEPTABLE. CONNECTIONS TO INTERIOR HALO GROUND RING SHALL BE WITH "C" CLAMPS. SOLID TO SOLID AND STRANDED CONDUCTORS REQUIRES TWO (2) CLAMPS. ALL "C" CLAMPS REQUIRE INSTALLATION WITH THE CORRECT HYDRAULIC CLAMP TOOL.

SUPPORTS, HANGERS AND FOUNDATIONS

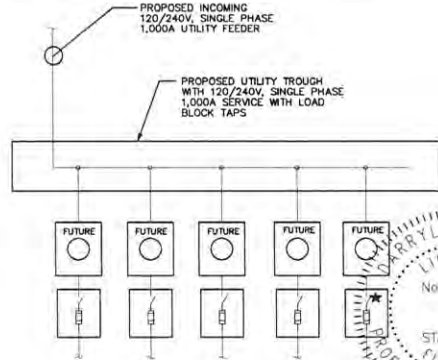
- A. PROVIDE ALL SUPPORTS, HANGERS, BRACES, ATTACHMENTS, AND FOUNDATIONS REQUIRED FOR THE WORK. SUPPORT AND SET THE WORK IN A THOROUGHLY SUBSTANTIAL AND WORKMANLIKE MANNER WITHOUT PLACING STRAINS ON THE MATERIALS, EQUIPMENT, OR THE BUILDING STRUCTURE.
- B. SUPPORTS, HANGERS, BRACES AND ATTACHMENTS SHALL BE STANDARD MANUFACTURED ITEMS OR FABRICATED STRUCTURAL STEEL SHAPES.

AS-BUILT DATA

- A. CONTRACTOR SHALL PREPARE AND SUBMIT TO THE CONSTRUCTION MANAGER "AS-BUILT" DRAWINGS FOR CHANGES OR DEVIATIONS FROM CONTRACT DRAWINGS TO THE FOLLOWING:
 1. SOURCE, ORIGIN, AND/OR ROUTING OF MAIN FEEDERS
 2. LOCATION OF MAJOR PIECES OF DISTRIBUTION EQUIPMENT SUCH AS KWH/AMPER HOUR METER AND MAIN FEEDER OVERCURRENT DEVICES.

IDENTIFICATION OF EQUIPMENT

- A. MARK AND PERMANENTLY IDENTIFY ALL ELECTRICAL EQUIPMENT. IDENTIFICATION SHALL BE LAMINATED PLASTIC PLATES, BLACK WITH WHITE ENGRAVED LETTERS. USE 3" HIGH LETTERING, ATTACH PLATES WITH CHROME PLATED OR 316 STAINLESS STEEL SCREWS TO THE DEVICE. USE NOMENCLATURE ON DRAWINGS.
- B. ALL EQUIPMENT SHALL BE MARKED WITH WARNING LABELS AND SIGNAGE AS REQUIRED BY THE NATIONAL ELECTRIC CODE AND OTHER APPLICABLE STANDARDS.



NOTES:

1. ALL CONDUCTORS AND LUGS SHALL BE COPPER.
2. CONNECTIONS IN TROUGH SHALL BE MADE WITH MULTIPOLE TINNED COPPER POWER DISTRIBUTION BLOCKS, SQUARE TO OR EQUAL.
3. INDIVIDUAL SERVICE AND AND CONNECTIONS SHOWN ARE TO BE ROTATED SUCH THAT INDIVIDUAL SERVICE CONDUCTOR LOADINGS WILL BE EQUALIZED.
4. METERS SHALL BE AS SPECIFIED IN INDIVIDUAL CARRIER SHEET, COORDINATE WITH OCALA UTILITY SERVICES.
5. SERVICE TROUGH, METER CANS AND SERVICE BREAKERS SHALL BE NEMA 3R.

ONE-LINE DIAGRAM
E-1 SCALE: N.T.S.

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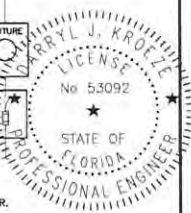
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VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
CONSTRUCTION MANAGERS INC.
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:
GEN ENGINEERS
27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
(813)917-2671
CDA # 35409



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JUNE 6, 2022
DARRYL J. KROETZ, PE
FL PROFESSIONAL ENGINEER LIC. # 53092

WALSINGHAM
FL-5236
11220 OAKHURST ROAD
LARGO, FLORIDA 33774

SHEET DESCRIPTION
ELECTRICAL NOTES
SHEET NUMBER
E-1

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TYPICAL ELECTRICAL LOAD SUMMARY

120/240V-SINGLE PHASE-3W 200 AMPERE SERVICE

LOAD DESCRIPTION	KVA
LIGHTING	1.0 KVA
RECEPTACLES	1.6 KVA
AIR CONDITIONING	12.0 KVA
COMMUNICATION EQUIPMENT	25.0 KVA
FAN	0.37 KVA
TOTAL LOAD (INITIAL AND FUTURE)	39.97 KVA

39.97KVA @ 0.85PF = 33.97KW @ 240V = 141.5 AMPS (70%)

LOAD CALCULATION SUMMARY

SERVICE: 120/240V, SINGLE PHASE, 1,000A

5 FUTURE.....	5 @ 33.97 KW
TOTAL.....	169.85 KW

CODES AND STANDARDS

ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
NEC	NATIONAL ELECTRICAL CODE, LATEST ADOPTED EDITION
NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
UL	UNDERWRITERS LABORATORIES, INC.

GENERAL ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE, LATEST ADOPTED EDITION, AND LOCAL CODES.
- ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH COMMUNICATIONS INTERNATIONAL SPECIFICATIONS.
- ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE THE AMOUNT AND LOCATION OF EQUIPMENT.
- ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL" LISTED.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY THE NEC, AND ALL APPLICABLE LOCAL CODES.
- ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING GREATER THAN THE UTILITY FAULT CURRENT.
- FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS AND INSTRUCTIONS.
- PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- PROVIDE GOFF COMMUNICATIONS WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
- LABEL ALL ELECTRICAL EQUIPMENT PER NEC SPECIFICATIONS.
- ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTION DEVICES MUST INCLUDE HOHN TYPE BY-PASS PROVISION SO THAT SERVICE WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
- ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE "RODENT PROOFED" WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR (AS NEEDED).
- ALL INTERIOR CONDUITS AND BUSHINGS SHALL BE EMT. ALL EXTERIOR SHALL BE PVC UNLESS NOTED OTHERWISE. SEE SBA SPECIFICATIONS.
- NO SPOILS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER

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A	05/27/22	REVIEW SET ISSUED
0	06/07/22	REV 0 FINAL 2D ISSUED
1	06/20/22	REV 1 2D ISSUED
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GEN3 PROJECT NO.: 10220406

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DKK	DKK

VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
CONSTRUCTION MANAGERS, INC.
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:

GEN3 ENGINEERING

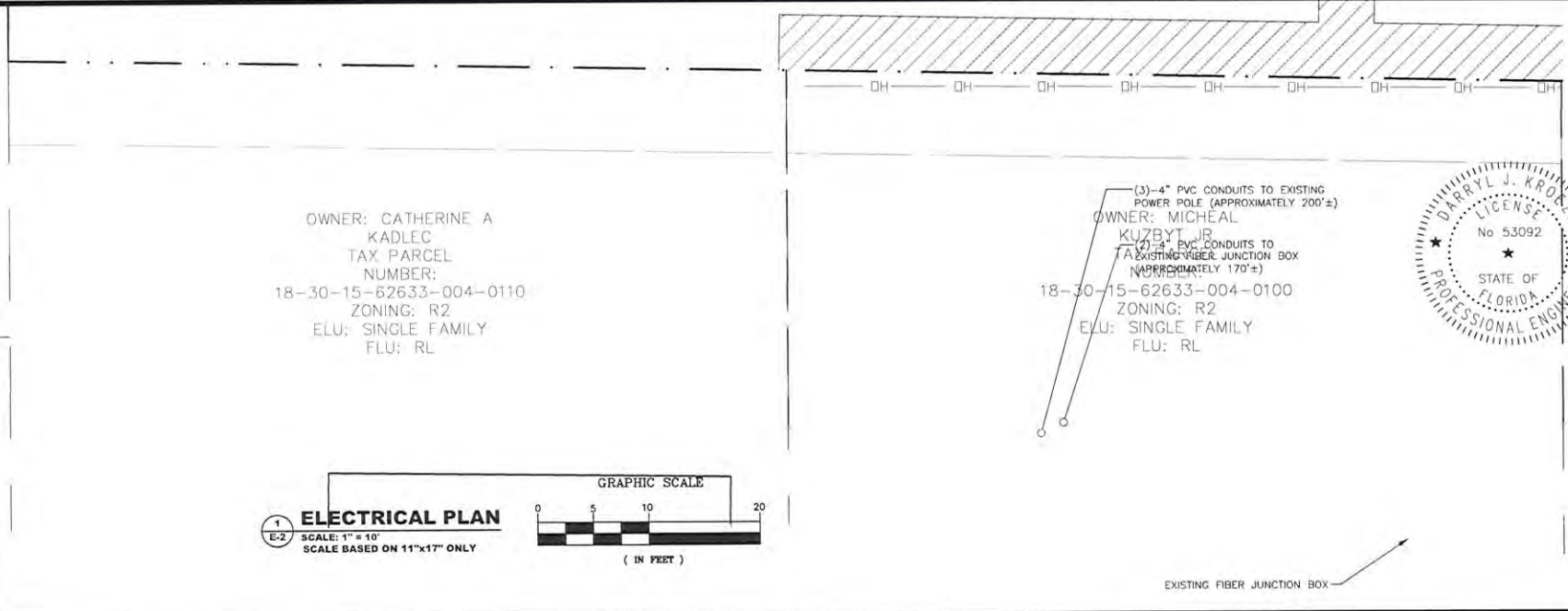
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WESLEY CHAPEL, FLORIDA 33544
(813) 917-2871
COA # 35409

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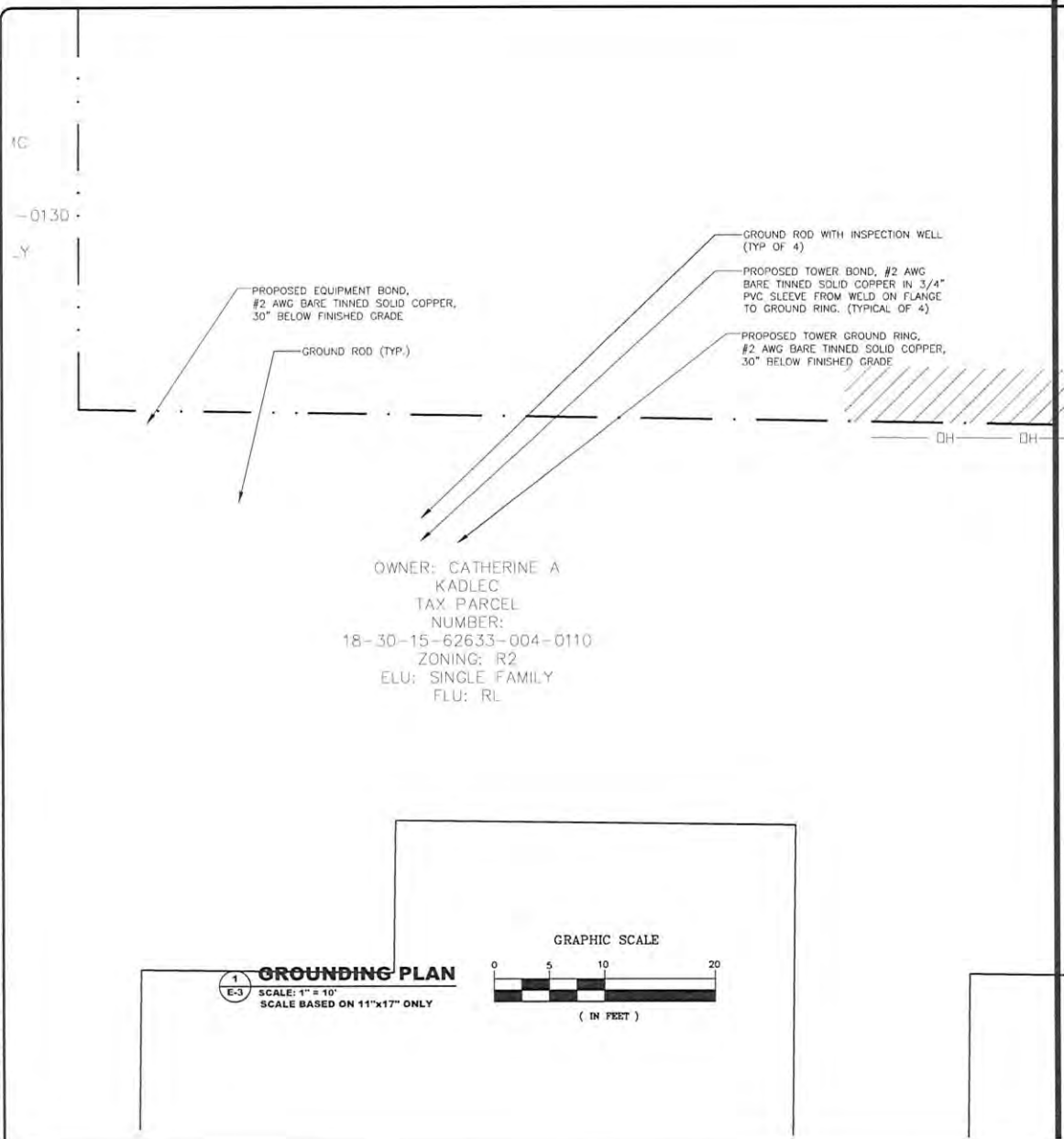
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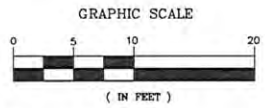


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GROUNDING PLAN
 SCALE: 1" = 10"
 SCALE BASED ON 11"x17" ONLY



GROUNDING NOTES

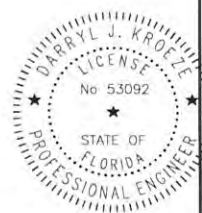
1. ALL GROUNDING CONNECTIONS SHALL BE MADE USING EXOTHERMIC WELD PROCESS (CAO WELD OR EQUAL) EXCEPT FOR EQUIPMENT CONNECTIONS WHICH ARE MECHANICALLY FASTENED. ALL LUGS SHALL BE TWO HOLE, LONG BARREL TYPE, FOR COPPER, UNLESS OTHERWISE NOTED.
2. ALL GROUND RODS SHALL BE A MINIMUM OF 8 FEET LONG, COPPER CLAD STEEL (302 OR 304), 5/8" (OR 3/4" SERVICE ROD) DIAMETER, DRIVEN VERTICALLY DOWN WITH TOPS .36" MIN. BELOW GRADE. USE SHIELDS TO PREVENT "MUSHROOMING" ROD TOPS.
3. ALL GROUND CONDUCTORS SHALL BE BARE TINNED SOLID COPPER WIRE, SIZED #2 AWG, RUN .30" MINIMUM BELOW GRADE (UNLESS OTHERWISE NOTED).
4. GROUND RODS FOR GROUND RING SHALL BE LOCATED 8' APART MAXIMUM.
5. ANY METAL OBJECT WITHIN 6 FEET OF THE TOWER OR EQUIPMENT GROUND RING SHALL BE BONDED DIRECTLY TO THE RING.
6. THE MINIMUM BENDING RADIUS FOR ALL GROUND CONDUCTORS NO. 6 AWG OR SMALLER SHALL BE 8". CONDUCTOR LARGER THAN NO. 6 SHALL HAVE A 12" BENDING RADIUS.
7. ALL ABOVE GRADE GROUND CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD EARTH AND HORIZONTAL ONLY WHERE NECESSARY WITH NO LOOP BACKS.
8. ALL CONDUCTORS SHALL BE ROUTED SUCH THAT THERE ARE NO ANGLES OF LESS THAN 90 DEGREES.
9. COMPLETED GROUND SYSTEMS SHALL BE TESTED USING THREE POINT METHOD AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. IF RESISTANCE VALUE IS EXCEEDED, NOTIFY OWNER FOR FURTHER INSTRUCTIONS. SUBMIT A COPY OF THE TEST REPORT TO THE OWNER.
10. ALL GROUNDING SHALL COMPLY WITH NFPA 70 (NEC) AND NFPA 780, "LIGHTNING PROTECTION CODE".
11. ALL GROUNDING COMPONENTS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR.
12. ANY METAL CONDUIT MOUNTED ON THE TOWER SHALL BE BONDED TO THE TOWER AT EACH END.
13. ALL GROUND BARS SHALL BE TINNED COPPER 4" X 24" X 1/4" WITH PRE-DRILLED HOLES TO MATCH TWO HOLE LUGS. HARDWARE SHALL BE STAINLESS STEEL, NO ZINC COATED MATERIAL ALLOWED. MOUNT ALL GROUND BARS PARALLEL TO THE EARTH.
14. STACKING OF GROUND LUGS IS NOT PERMITTED.

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VERTEX
 DEVELOPMENT, LLC
 3630 WEST KENNEDY BOULEVARD
 TAMPA, FLORIDA 33609
 PH: (813) 335-4768

EXPERT
 CONSTRUCTION MANAGERS, INC.
 815 SOUTH KINGS AVENUE
 BRANDON, FLORIDA 33511
 PH: (813) 657-7810

PREPARED BY:
GEN3
 ENGINEERING
 27139 SEA BREEZE WAY
 WESLEY CHAPEL, FLORIDA 33544
 (813)917-2871
 CDA # 35409



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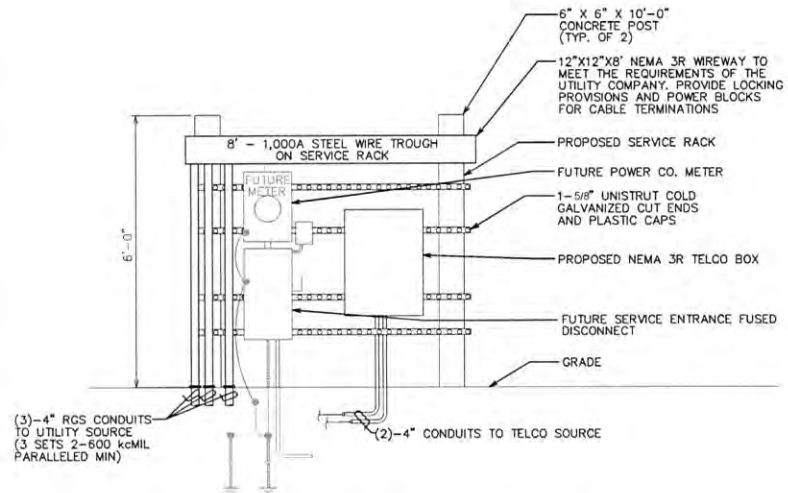
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 FL-5236

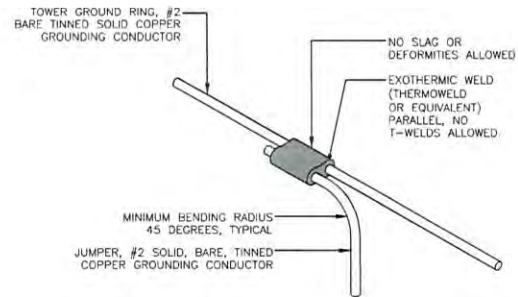
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SHEET DESCRIPTION
GROUNDING PLAN

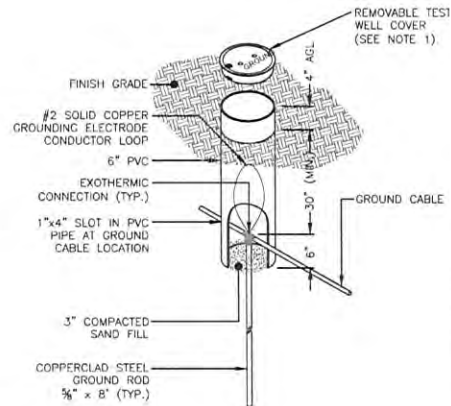
SHEET NUMBER
E-3



1
UTILITY RACK ELEVATION
SCALE: N.T.S.



2
WELD CONNECTION DETAIL
SCALE: N.T.S.



NOTES:

1. CONTRACTOR SHALL PROVIDE PRE-CAST CONCRETE INSPECTION WELL WITH CAST IRON TRAFFIC RATED LID WHEN WELL WILL BE IN AN AREA WHERE THEY CAN BE DAMAGED
2. ALL WORK SHALL CONFORM TO THE LOCAL BUILDING CODES. DEPTH MAY VARY.

3
GROUND ROD INSPECTION WELL DETAIL
SCALE: N.T.S.

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VERTEX
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WESLEY CHAPEL, FLORIDA 33544
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SHEET DESCRIPTION
ELECTRICAL
DETAILS

SHEET NUMBER
E-4

BOUNDARY AND TOPOGRAPHIC SURVEY

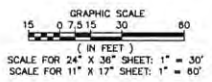
IN SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST,
PINELLAS COUNTY, FLORIDA
FOR: VERTEX DEVELOPMENT, LLC

SURVEYOR'S NOTES

1. BEARINGS HEREON ARE REFERENCED TO THE ASSUMED BEARING OF SOUTH 00°05'25" WEST ALONG THE EAST LINE OF LOTS 14 THROUGH 18, BLOCK 4, OAKHURST ACRES 2ND ADDITION, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 66, PAGE 56 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
2. UNDERGROUND UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED. ABOVEGROUND INDICATIONS SET BY OTHERS, NO SUBSURFACE INVESTIGATION WAS PERFORMED BY THIS OFFICE.
3. THE BOUNDARY & TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS DATED MAY 10, 2016, MAY 10, 2022.
4. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
5. THE PURPOSE OF THIS SURVEY IS TO ESTABLISH AND DESCRIBE A TOWER PARCEL AND ASSOCIATED EASEMENT. THIS IS NOT A BOUNDARY SURVEY OF THE PARENT PARCEL.
6. LATITUDE, LONGITUDE AND ELEVATIONS DEPICTED HEREON ARE BASED UPON GPS OBSERVATIONS MADE WITH AN EGPS REAL TIME KINEMATIC GPS SYSTEM INCORPORATING A CHAMPION TWO GPS RECEIVER.
7. ELEVATIONS DEPICTED HEREON ARE REFERENCED TO THE NAVD'88 DATUM.
8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH OR AN ABSTRACT. THIS OFFICE HAS NOT PERFORMED AN INDEPENDENT SEARCH OF THE PUBLIC RECORDS FOR EXISTING EASEMENTS, RIGHTS-OF-WAY, ABANDONMENTS, ZONING, SETBACKS OR DEED RESTRICTIONS.
9. PARENT PARCEL ADDRESS:
11220 OAKHURST ROAD, LARGO, FL 33774

FLOOD NOTE

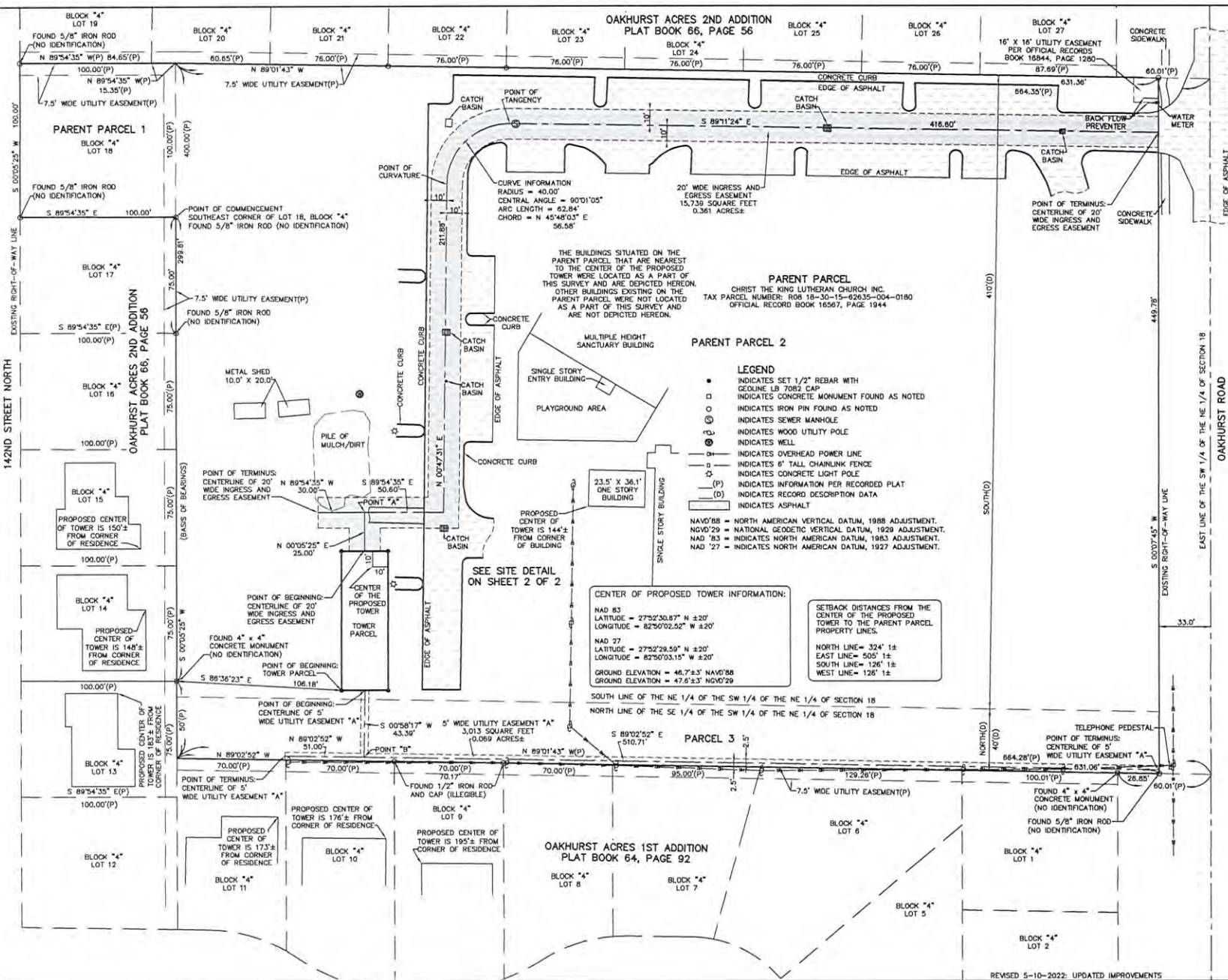
ACCORDING TO MY INTERPRETATION OF COMMUNITY PANEL NUMBER 125139 011A G AND COMMUNITY PANEL NUMBER 125139 0177 G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR PINELLAS COUNTY, FLORIDA, DATED 8/3/2003, THE SUBJECT PROPERTY IS IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN".



David G. Short 5/17/2022
DAVID G. SHORT, P.S.M.
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER
CERTIFICATE OF REGISTRATION NO. 50223

GEOLINE SURVEYING, INC.
Professional Land Surveyors
18420 NW 10415 Terrace, Suite A
Largo, Florida 33018
(305)418-0000 Fax (305)412-0988
geoline@geolineinc.com

REVISIONS	DATE	BY	AS SHOWN
1. FLOOD CURBS	MAY 10, 2016	DAVID SHORT	254-87
2. TOWER PARCEL	MAY 10, 2016	DAVID SHORT	254-87
VERTIX DEVELOPMENT SITE NO. FL-6236 WALSINGHAM SITE, PINELLAS COUNTY, FLORIDA ADDRESS: 11220 OAKHURST ROAD, LARGO, FL 33774			
REVISION	DATE	BY	SHEET
254-87			1 OF 2

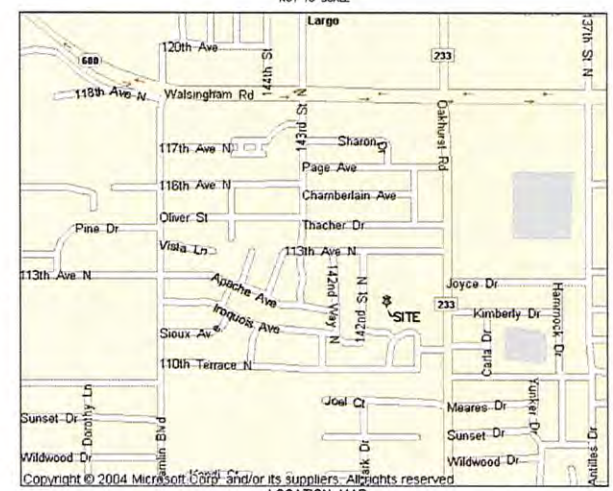


REVISED 5-10-2022; UPDATED IMPROVEMENTS

PS
TY2-22-11
1 of 2

BOUNDARY AND TOPOGRAPHIC SURVEY

IN SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST,
PINELLAS COUNTY, FLORIDA
FOR: VERTEX DEVELOPMENT, LLC



PROPERTY DESCRIPTIONS
PARENT PARCEL
(OFFICIAL RECORDS BOOK 19106, PAGE 2288)

PARCEL 1
LOT 18, BLOCK 4 OAKHURST ACRES 2ND, ADDITION AS RECORDED IN PLAT BOOK 86, PAGE 56, RECORDS OF PINELLAS COUNTY, FLORIDA.

PARCEL 2
SOUTH 410 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST, LYING AND BEING IN PINELLAS COUNTY, FLORIDA, LESS RIGHT OF WAY FOR OAKHURST ROAD.

PARCEL 3
THE NORTH 40 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST, LYING AND BEING IN PINELLAS COUNTY, FLORIDA, LESS RIGHT OF WAY FOR OAKHURST ROAD.

TOWER PARCEL
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, TOWNSHIP 30 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF LOT 17, BLOCK 4, OAKHURST ACRES 2ND ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 86, PAGE 56 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE SOUTH 00°05'25" WEST ALONG THE EAST LINE OF LOTS 17, 16, 15 AND 14, SAID BLOCK 4, FOR 299.81 FEET TO THE SOUTHEAST CORNER OF SAID LOT 14; THENCE SOUTH 86°36'23" EAST FOR 106.18 FEET TO THE SOUTHWEST CORNER OF AN 30 FOOT BY 90 FOOT TOWER PARCEL; THENCE NORTH 00°05'25" EAST ALONG THE WEST LINE OF SAID TOWER PARCEL FOR 90.00 FEET TO THE NORTHWEST CORNER OF SAID TOWER PARCEL; THENCE SOUTH 89°54'35" EAST ALONG THE NORTH LINE OF SAID TOWER PARCEL FOR 15.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HERIN DESCRIBED 20' WIDE INGRESS AND EGRESS EASEMENT; THENCE NORTH 00°05'25" EAST FOR 25.00 FEET TO POINT "A"; THENCE NORTH 89°54'35" WEST FOR 30.00 FEET TO A POINT OF TERMINUS OF THE HERIN DESCRIBED CENTERLINE; THENCE RETURN TO SAID POINT "A"; THENCE SOUTH 89°54'35" EAST FOR 50.60 FEET; THENCE NORTH 00°47'31" EAST FOR 211.88 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 90°01'05", AND A CHORD OF 56.58 FEET THAT BEARS NORTH 45°48'03" EAST, THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE FOR 62.84 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°11'24" EAST FOR 416.80 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF OAKHURST ROAD AND THE POINT OF TERMINUS OF THE HERIN DESCRIBED CENTERLINE.

CONTAINING 15,739 SQUARE FEET (0.361 ACRES), MORE OR LESS.

5 FOOT WIDE UTILITY EASEMENT "A"
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 30 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA, LYING WITHIN 2.5 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

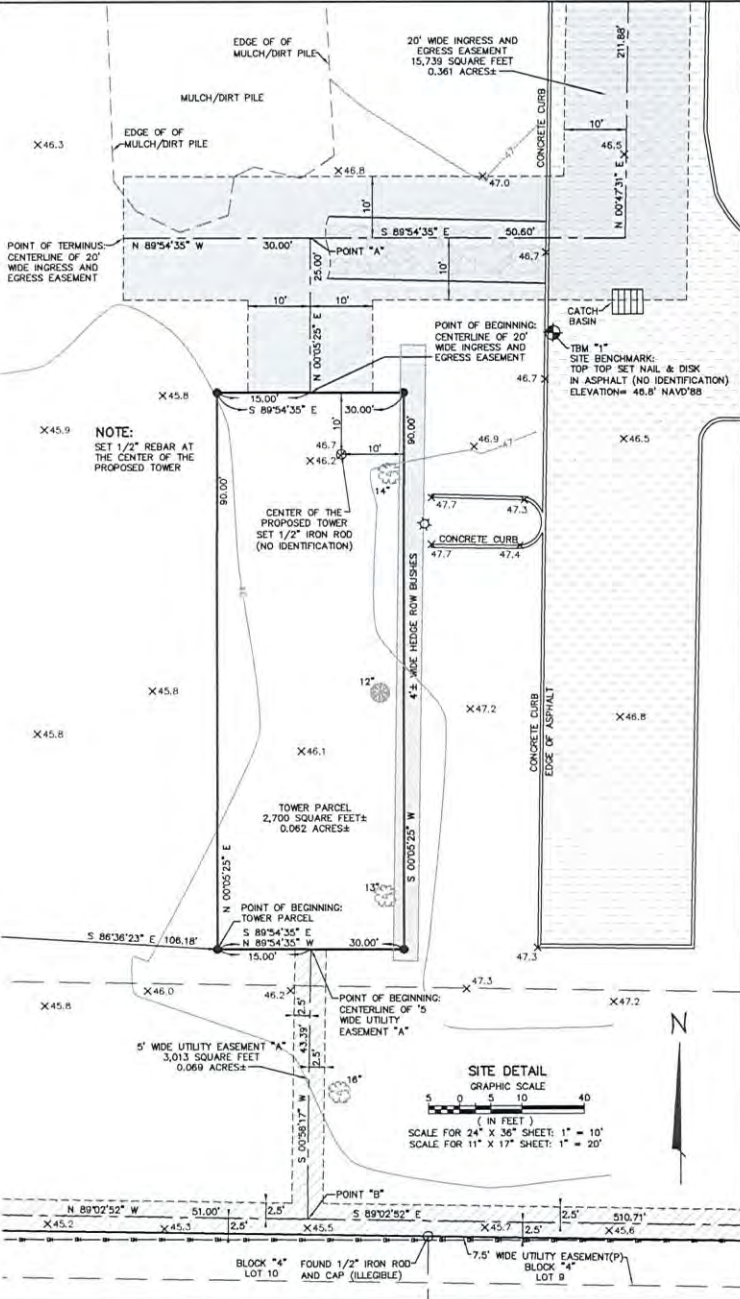
COMMENCE AT THE NORTHEAST CORNER OF LOT 17, BLOCK 4, OAKHURST ACRES 2ND ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 86, PAGE 56 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE SOUTH 00°05'25" WEST ALONG THE EAST LINE OF LOTS 17, 16, 15 AND 14, SAID BLOCK 4, FOR 299.81 FEET TO THE SOUTHEAST CORNER OF SAID LOT 14; THENCE SOUTH 86°36'23" EAST FOR 106.18 FEET TO THE SOUTHWEST CORNER OF AN 30 FOOT BY 90 FOOT TOWER PARCEL; THENCE SOUTH 89°54'35" EAST ALONG THE SOUTH LINE OF SAID TOWER PARCEL FOR 15.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HERIN DESCRIBED 5 FOOT WIDE UTILITY EASEMENT; THENCE SOUTH 00°58'17" WEST FOR 43.39 FEET TO AN INTERSECTION WITH A LINE THAT IS PARALLEL WITH AND OFFSET 2.5 FEET NORTH OF THE NORTH LINE OF BLOCK 4, OAKHURST ACRES 1ST, ADDITION AS PER PLAT THEREOF RECORDED IN PLAT BOOK 84, PAGE 92 OF SAID PUBLIC RECORDS; THENCE SOUTH 89°02'52" EAST ALONG SAID PARALLEL LINE FOR 510.71 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY LINE OF OAKHURST ROAD AND THE POINT OF TERMINUS OF THE HERIN DESCRIBED CENTERLINE.

CONTAINING 3,013 SQUARE FEET (0.069 ACRES), MORE OR LESS.

RECORD DOCUMENT REVIEW NOTE
COPIES OF THE FOLLOWING RECORD DOCUMENTS WERE PROVIDED BY THE CLIENT TO BE ADDRESSED HEREON.

1. PLAT OF OAKHURST ACRES 2ND ADDITION, RECORDED IN PLAT BOOK 86, PAGE 56, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA. INCLUDES A PORTION OF THE PARENT PARCEL AS DEPICTED HEREON.
2. UTILITY EASEMENT IN FAVOR OF PINELLAS COUNTY, FLORIDA RECORDED IN OFFICIAL RECORDS BOOK 18844, PAGE 1290, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA. AFFECTS THE NORTHEAST CORNER OF THE PARENT PARCEL DEPICTED HEREON.
3. UTILITY EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION RECORDED IN OFFICIAL RECORDS BOOK 4314, PAGE 1237, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA. "BLANKET" TYPE EASEMENT, AFFECTING THE PARENT PARCEL THAT PROVIDES FOR 10 FOOT WIDE EASEMENTS CENTERED ON FLORIDA POWER CORPORATION LINES LOCATED ON THE PARENT PARCEL.

- LEGEND**
- INDICATES SET 1/2" REBAR WITH GEOLINE LB 7082 CAP
 - ☆ INDICATES CONCRETE LIGHT POLE
 - ▭ INDICATES ASPHALT
 - x 46.7 INDICATES SPOT SHOT ELEVATION
 - ⊕ INDICATES SET SITE BENCHMARK AS NOTED
 - ⊙ INDICATES MAPLE TREE AS NOTED
 - ⊙ INDICATES OAK TREE AS NOTED
 - TREE NOTE: INDICATED TREE SIZE IS TRUNK DIAMETER IN INCHES, 4-5 FOOT ABOVE GROUND



GEOLINE SURVEYING, INC.
Professional Land Surveyors
18450 NW 10415 Teressa, Delta A
Alachua, Florida 89810
(352) 416-0000 Fax (352) 416-0008
geoline@geolineinc.com

DRAWN: FLOD CURTIS	SCALE: AS SHOWN
CHECKED: FLOD CURTIS	DATE: MAY 10, 2016
DRAWN: DAVID SWIRT	PROJECT #: 20-07
CHECKED: DAVID SWIRT	
VERTEX DEVELOPMENT SITE NO. FL-5236 WALSINGHAM SITE, PINELLAS COUNTY, FLORIDA ADDRESS: 11220 OAKHURST ROAD, LARGO, FL 33774	
SHEET: 264-07	SHEET: 2 OF 2

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