

LIVING
LEALMAN
FORM-BASED CODE

DRAFT as of 09.30.19

THIS CODE WAS PREPARED BY:

PINELLAS COUNTY PLANNING DEPARTMENT
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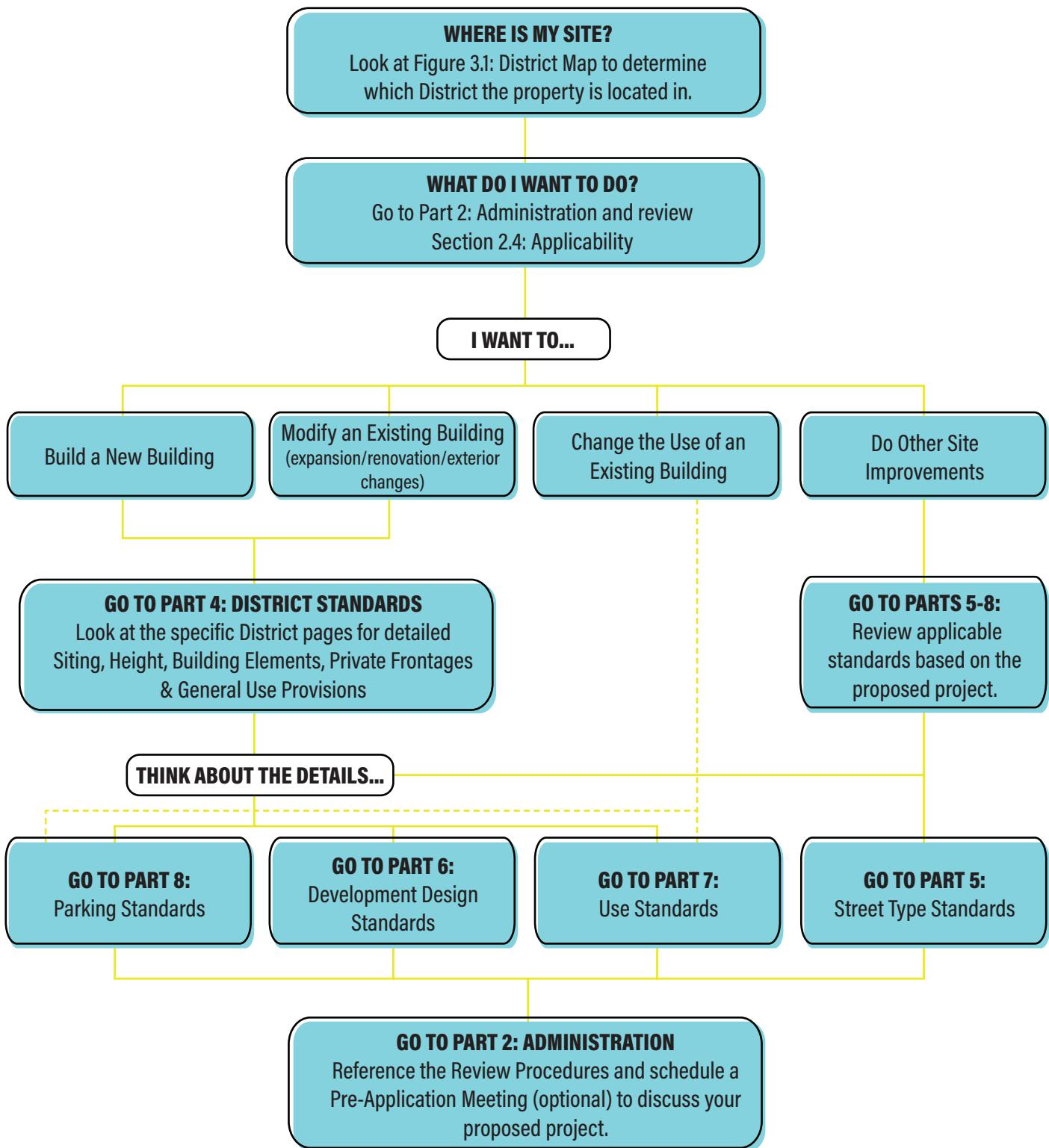
SPECIAL THANKS TO:

PINELLAS COUNTY BOARD OF COUNTY COMMISSIONERS
KIMLEY-HORN
LEALMAN COMMUNITY REDEVELOPMENT AREA ADVISORY COMMITTEE (LCRAAC)
LEALMAN COMMUNITY ASSOCIATION (LCA)
LEALMAN COMMUNITY DISTRICT SERVICES, INC. (LCDS)
RESIDENTS OF THE LEALMAN COMMUNITY

PORTIONS OF THE LIVING LEALMAN FBC WERE BASED ON METHODOLOGY & DATA PREPARED IN:

SMARTCODE v9.2 BY DUANY PLATTER ZYBERK & CO.

HOW TO USE THIS CODE



This flow chart is intended to serve as a general overview of this Code's review process, but is not a part of this Code. Use and Development within the Lealman Community Redevelopment Area is governed by the provisions of this Code.

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PART 1

GENERAL PROVISIONS

SECTION 1.1 Title

SECTION 1.2 Effective Date

SECTION 1.3 Application

SECTION 1.4 Relationship to Land Development Code

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PART 1: GENERAL PROVISIONS

1.1 TITLE

This Code is known as the "Living Lealman Form-Based Code." This Code may also be referenced herein as the "Lealman Form-Based Code" and/or "Code".

1.2 EFFECTIVE DATE

The effective date of the Living Lealman Form-Based Code is _____.

1.3 APPLICATION

- A. The provisions established within this Form-Based Code shall apply to all development/redevelopment within the Lealman Community Redevelopment Area (CRA), which is referred to herein as the Lealman Form-Based District. Affected parcels are designated on the District Map ([Figure 3.1](#)). No development shall be undertaken without prior approval and the issuance of the appropriate permit(s) pursuant to the applicable provisions of this Code, except as provided herein.
- B. Provisions of this Code expressed as "shall" when required; "should" when recommended; and "may" when optional. Provisions of this Code expressed as "typical" describe normal characteristics, but are not limited to those "typical" descriptions as long as the overall intent of the provision is being met.
- C. Graphic illustrations, illustrative intents, and photographic images used throughout this Code are intended to graphically portray the regulatory standards and overall intents established within this Code. These images shall be considered guidelines as opposed to regulatory standards. Where in conflict, numerical metrics shall take precedence over graphic metrics.
- D. Compliance with this Code is intended to occur over time, as redevelopment and new development occur. These regulations are intended for new development, expansion and remodeling. Existing structures and uses are allowed to continue and normal repair and maintenance is encouraged. The County also recognizes that some sites may be difficult to develop in compliance with the provisions of this Code and provides for Waiver and Adjustment procedures within certain parameters.
- E. **Part 9:** Definitions contains regulatory language that is integral to the implementation and intent of this Code. Those terms not defined in [Part 9](#), shall be accorded their commonly accepted meanings. In the event of conflicts between these definitions and those of the Pinellas County Land Development Code, those of this Code shall take precedence.
- F. **Section 6.3:** Building Design Standards, contains photographic images to illustrate various permissible Building Types within the Lealman Form-Based District. The County does not claim these images as their own and were included to provide building type examples. These images are illustrative only, not regulatory.

1.4 RELATIONSHIP TO LAND DEVELOPMENT CODE

This Code is an appendix to the Pinellas County Land Development Code (LDC). The provisions of this Code supersede those of Chapter 138 (in its entirety), Section 154-110, Section 154-120, and Section 154-121 of the LDC, except where the LDC is specifically referenced within this Code. When any provision of this Code conflicts with a provision of the LDC, this Code shall take precedence. For all other issues not covered by this Code, the existing LDC shall continue to be applicable.

1.5 SEVERABILITY

It is declared to be the intent of the Board of County Commissioners that, if any part, article, division, section, subsection, sentence, clause, phrase, or provision of this Code is held invalid or unconstitutional, such invalidity or unconstitutionality shall not be so construed as to render invalid or unconstitutional the remaining provisions of this Code.

1.6 COMPONENTS OF THIS CODE

This Code places a primary emphasis on physical form and placemaking, with a secondary focus on land uses. The regulatory sections of this Code are described below:

A. PART 2: ADMINISTRATION

Administration describes review processes for development approval within the Lealman Form-Based District.

B. PART 3: DISTRICT MAP

The District Map serves as the principal tool for implementing this Code. The District Map designates a specific District to every property located within the Lealman Form-Based District.

C. PART 4: DISTRICT STANDARDS

District Standards establish the standards for development/redevelopment of properties within Lealman, with a focus on building placement, height, and functional elements. The applicable standards for a site are determined by the District in which the site is located, as designated on the District Map.

D. PART 5: STREET TYPE STANDARDS

Street Type Standards establish design and dimensional standards for the construction of new streets, retrofit of existing streets, and/or pedestrian and bicycle facilities required with the redevelopment/development of properties. The applicable standards are determined by Street Type classification as designated on the Street Type Map within the Street Type Standards Section.

E. PART 6: DEVELOPMENT DESIGN STANDARDS

Development Design Standards establish site, building, landscaping, and signage standards for Lealman properties. These standards are intended to provide a safe, functional, and attractive built environment and circulation pattern for all users and transportation modes.

F. PART 7: USE STANDARDS

Use Standards describe provisions for specific land uses and designate allowable uses within each District. The Use Standards are intended to be simplistic, while still acknowledging the relationship between neighboring land uses.

G. PART 8: PARKING STANDARDS

Parking Standards establish the amount, type, and design elements for vehicle and bicycle parking. These standards are intended to encourage compact development patterns, accommodate redevelopment, and recognize alternative methods of parking and modes of transportation that in turn can reduce the abundance of vehicular parking.

H. PART 9: DEFINITIONS

This section provides a list of terms used throughout this Code and are integral to the implementation and intent of this Code. Certain terms are used in very specific ways, often excluding some of the meanings of common usage.

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LIVING LEALMAN FBC

PART 2

ADMINISTRATION

SECTION 2.1 Authority

SECTION 2.2 Review Types

SECTION 2.3 Review Procedures

SECTION 2.4 Applicability

SECTION 2.5 Nonconforming Situations

SECTION 2.6 Variances, Waivers, & Administrative Adjustments

SECTION 2.7 Zoning Clearances, Code Interpretations, & Site Plans

SECTION 2.8 Enforcement

PART 2: ADMINISTRATION

2.1 AUTHORITY

- A. The Code Administrator is responsible for administration and enforcement of this Code.
- B. The Code Administrator may designate a County staff member to represent the Code Administrator in any function assigned by this Code. The Code Administrator remains responsible for any final action.

2.2 REVIEW TYPES

Table 2.1: Review Types, establishes three (3) review types for the purpose of interpreting and applying the provisions of this Code. These are used in reviewing and recommending, and/or taking final action on land development, land use permits, applications, and other procedures established in this Code.

TABLE 2.1: REVIEW TYPES

REVIEW TYPE	REQUEST / APPLICATION	DECISION-MAKING BODY	APPEAL AUTHORITY
Type 1A <i>"Permitted by Right"</i>	Type 1A Uses/Designations Site Plans Code Interpretations Verification of Nonconforming Situations Administrative Adjustments (up to 10%) Signs Zoning Clearance Letters	Department Review	1 st Appeal - Board of Adjustments & Appeals (BAA) 2 nd Appeal - Circuit Court
Type 1B <i>"Permitted by Warrant"</i>	Type 1B Uses/Designations Administrative Adjustments (up to 20%) Waivers	Development Review Committee (DRC)	1 st Appeal - Board of Adjustments & Appeals (BAA) 2 nd Appeal - Circuit Court
Type 2 <i>"Public Hearing Process"</i>	Type 2 Uses/Designations Variances	Board of Adjustments & Appeals (BAA)	Circuit Court

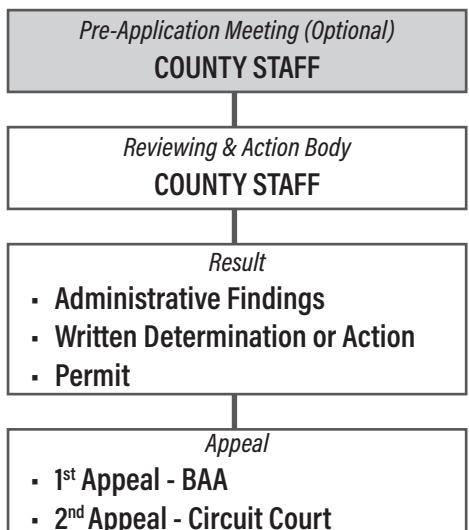
2.3 REVIEW PROCEDURES

Any development, land usage, or property modification in the Lealman Form-Based District shall be applicable to the review procedures established in this section.

A. TYPE 1A REVIEW

1. The Type 1A review is an administrative process to ensure that development projects, land use, and activities comply with the minimum provisions of this form-based code. The Type 1A process is intended to be a clear and objective review.
2. **Figure 2.1:** Type 1A Review Procedure outlines the general review process for a Type 1A submittal.

Figure 2.1: Type 1A Review Procedure



B. TYPE 1B REVIEW

1. A Type 1B review enables the Development Review Committee (DRC) to determine the appropriateness of Type 1B uses/designations, administrative adjustments up to 20%, and waivers based on the overall intent of the provisions within this Code, and when applicable, the context of the subject property.
2. **Figure 2.2:** Type 1B Review Procedure outlines the general review process for a Type 1B submittal.

C. TYPE 2 REVIEW

1. A Type 2 Review is a public hearing process to ensure that development projects, land usages, and activities comply with the minimum provisions of this Code and are consistent with the Pinellas County Comprehensive Plan. A Type 2 process requires the Board of Adjustments and Appeals (BAA) to determine the appropriateness of Type 2 uses/designations established within this form-based code and variances from the standards of this Code.
2. **Figure 2.3:** Type 2 Review Procedure outlines the general review process for a Type 2 submittal.

D. OTHER REQUESTS

Applications and other requests within the Lealman Form-Based District that are not covered within this Code, such as subdivision plat approvals, shall follow the applicable review procedures established in the current adoption of the Pinellas County Land Development Code.

2.4 APPLICABILITY

A. NEW DEVELOPMENT

The regulations of this Code, in their entirety, shall apply to all new development within the Lealman Form-Based District.

B. EXPANSIONS

1. *Process:* The expansion percentage is based on the existing building's gross ground floor area per the Pinellas County Property Appraiser. The expansion percentage shall be calculated prior to or during the site plan review.
2. *0% - 49%:* Expansions up to 49% shall only be required to comply with all applicable provisions of this Code relative to the expansion area.
3. *50% or Greater:* Expansions equal to 50% or greater shall be required to bring the entire site into compliance with all applicable provisions of this Code.

C. REMODELS

1. *Exterior:* Any exterior remodeling of existing buildings shall comply with those regulations found in this Code which are applicable to the scope of the project, such as incorporating applicable building elements (windows, doors, or awning requirements) as described in Part 4: District Standards. These regulations do not apply to exterior portions of a building where the exterior portion is not being remodeled.

Figure 2.2: Type 1B Review Procedure

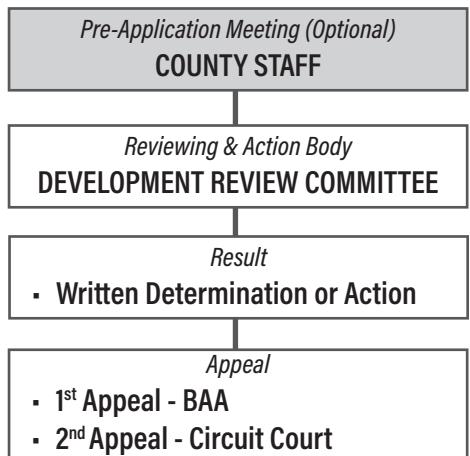


Figure 2.3: Type 2 Review Procedure



2. *Interior:* These regulations shall not apply to interior remodeling of existing buildings.

D. EXCEPTIONS

1. *Existing Building Permits.* The provisions of this Code shall not affect development which has been issued a building permit on or before the effective date of this Code, provided that such building permit was lawfully issued and remains in full force and effect. If the building permit expires, any further development on that site shall occur only in conformance with the applicable regulations of this Code.
2. *Existing Buildings & Uses.* Existing buildings and uses that do not conform to the provisions of this Code may continue as they are. However, if a non-permitted use ceases (according to [Section 2.5\(A\): Nonconforming Uses & Structures](#) of this section), the use shall not be reestablished.
3. *Repair & Maintenance.* Normal repair and maintenance may be performed on existing buildings without requiring compliance with this Code. [For example, repairing a broken window would not require compliance with the Building Design Standards.]

2.5 NONCONFORMING SITUATIONS

A. NONCONFORMING USES & STRUCTURES

1. Nonconforming uses and structures are:
 - a. Those legally created/established prior to the effective date of this Code, and/or
 - b. Those situations caused by the adoption and amendment of the Pinellas County Comprehensive Plan, Living Lealman Form-Based Code, Pinellas County Code, and/or State Statutes that make a previously conforming use nonconforming.
2. *Continuation of Nonconformities.* Legal nonconforming uses and structures are permitted to continue with normal repair and maintenance. This shall not be used as grounds for adding other prohibited uses or structures on the site or in the area, nor enlarging them by means of extension or expansion, except as specifically provided in this section.
3. *Change of Ownership.* Change of management, ownership, or tenancy of a nonconforming use or structure shall not affect its nonconforming status; provided such use's intensity does not change, as determined by the Code Administrator.
4. *Loss of Nonconforming Status.*
 - a. *Nonconforming Uses.* When a nonconforming use of land or structure has been intentionally discontinued for 1 year or longer, its future use shall conform to the uses permitted in the District in which the site is located.

- b. *Nonconforming Structures.* Nonconforming status shall terminate if a nonconforming structure is involuntarily damaged or destroyed as a result of an accident, fire, flood, hurricane, or other act of nature; except as follows:
 - i. *50% or Less.* If the cost of repairing/replacing a damaged structure is equal to 50% or less of the appraised value (per the Pinellas County Property Appraiser) prior to damage, the structure may be restored to the same footprint (including pre-existing, nonconforming setbacks).
 - ii. *Exceeds 50%.* If the cost of repairing or replacing the damaged portion of the structure exceeds 50% of the appraised value prior to the damage (per the Pinellas County Property Appraiser), the structure shall only be restored in full compliance with this Code.
 - iii. *Residential Exemptions.* An involuntarily damaged or destroyed nonconforming single-or-multi-unit dwelling(s) may be reconstructed or replaced with a new structure with the same footprint (including pre-existing nonconforming, setbacks), height, and number of dwelling units, in compliance with current building and fire codes.
5. *Maintenance & Repair.* A nonconforming structure may be maintained and repaired subject to the following:
 - a. Any physical change to the structure shall not increase the degree of nonconformity unless otherwise permitted by this Code.
 - b. Any nonconforming structure or portion thereof declared to be unsafe, by the County Administrator or designee, may be restored to a safe condition. However, if the structure is deemed deteriorated repairs shall occur in accordance to the respective District Standards (Part 4) within this Code.
 - c. All interior, utility, accessibility, and/or life-safety alterations and repairs are permitted.
6. *Illegal Uses & Structures.* Nothing in this section shall be deemed to allow the use, change in use, repair, alteration, expansion, enlargement, or reconstruction of an illegal use or structure. Any such illegal use shall be discontinued, and any such illegal structure shall be removed.
7. *Modification & Expansion.* Nonconforming structures may be expanded in a manner that conforms to the District Standards and other applicable sections of this Code and does not increase the degree of nonconformance.

C. NONCONFORMING SIGNS

Any sign, lawfully established prior to the effective date of this Code that no longer meets the development standards shall be deemed a legal nonconforming sign. For the purposes of this Section, a sign shall include the sign face and any supports, poles, frames, or other associated lighting, electrical, mechanical, and structural features. The continuation of legal nonconforming signs shall be consistent with the following:

1. *Increases in Nonconformity.* No nonconforming sign shall be enlarged or altered in terms of face area, height, or any other aspect that increased the degree of nonconformity.
2. *Alterations.* Any nonconforming sign that is intentionally altered, moved, or replaced shall comply with [Section 6.5](#) of this Code. Nonconforming signs that are required to be or altered due to government action or damage resulting from fire, flood, other natural disaster, or a criminal act may be restored to their nonconforming condition. Nonconforming signs that are temporarily removed for painting or other maintenance shall retain their legal nonconforming status, so long as the sign is replaced within a period of 60 days from the date of its removal.
3. *Sign Faces & Messages.* Sign faces and/or messages on a nonconforming sign may be altered, replaced, repainted, and repaired provided that the degree of nonconformity is not increased.

D. ADAPTIVE REUSE PROJECTS

The purpose of this Section is to foster the renovation and reuse of structures that have significant historical, architectural or cultural value to Lealman. This Section recognizes that many existing structures located within the Districts, as established by this Code, will not conform to all the standards and guidelines in this Code. The following development standards shall apply to adaptive reuse projects:

1. *Applicability.*
 - a. The provisions of this section shall apply to the redevelopment and reuse of buildings that pre-date 1980, and have qualities of significance and integrity through either a significant contribution to history, association with significant persons, or embody distinctive characteristics.
 - b. To be considered an adaptive reuse project, the existing total building floor area and building height can only be increased up to 20%
2. *Siting Regulations.*
 - a. Building siting standards shall not apply to existing buildings associated with an adaptive reuse project, but shall apply to any building additions.
 - i. *Side/Rear Setback.* For building additions/expansions, the minimum side/rear setback for an adaptive reuse project shall be equal to the existing building setback, or equal to the side/rear setback for the District in which the site is located, whichever is less.
 - b. *Parking Setback.* The use of an existing dedicated parking area shall have no additional requirements. New parking areas shall meet the requirements of the District in which the site's located.
3. *Off-Street Parking.*
 - a. If a change of use results in more off-street parking spaces being required than already exist, no additional parking spaces are required.

- b. If a change in use results in fewer off-street spaces being required than already exist, then only the number of spaces necessary to fulfill the requirements need to be maintained.
- c. Existing parking in excess of the limits set forth in [Part 8: Parking Standards](#) may remain and be used for on-site parking purposes for other property owners, subject to an agreement between the property owners.

4. *Loading Spaces.* When utilizing an existing loading space, the provisions of Section 7.5(A)(1) shall not apply.
5. *Building Features.* Facades must maintain the architectural integrity of an existing building. If a building facade is replaced or significantly modified it must satisfy the requirements set forth in [Section 2.4](#).

2.6 VARIANCES, WAIVERS, & ADMINISTRATIVE ADJUSTMENTS

The provisions set forth in this Code apply to a wide, diverse area. The County recognizes some sites may be difficult to develop in compliance with these regulations. The variance, waivers, and administrative adjustments review processes provide a mechanism for these regulations to be modified to relieve a property owner from meeting a dimensional requirement due to property characteristics beyond his or her control. These reviews provide flexibility for unusual situations and allow for alternative ways to meet the intent of this Code.

A. GENERAL

1. A variance, waiver, or administrative adjustment may not be granted to the following:
 - a. Density and intensity limitations of the Pinellas County Comprehensive Plan.
 - b. Land usage restrictions of the Pinellas County Comprehensive Plan.
 - c. Review and procedural requirements of this Code.
 - d. State and federal rules, regulations, and standards.
2. *Required Information.* The following is required to be submitted for these requests:
 - a. A proposed site development diagram (concept plan) drawn to scale.
 - b. A survey and/or current aerial photograph of the subject site and adjustment properties.
 - c. A written explanation and justification of the requested variance, waiver, and/or administrative adjustment.
 - d. A written response for each of the criteria for granting variances, waivers and/or administrative adjustments as listed in this section.
 - e. Other supplemental information as required by the Code Administrator or designee.

3. *Initiation of Construction.* A variance, waiver, or administrative adjustment issued under these provisions shall automatically expire within two years from the date of granting such approval if construction of the project has not commenced and continued in good faith. All site plans and building permits must be obtained within those 2 years; the granting of any variance, waiver, and/or administrative adjustment shall not be deemed as automatic approval for any such permit or site plan required.
4. *Extensions.* The Code Administrator may grant an extension of up to one year upon a showing of good cause, provided the request for extension is submitted in writing stating the reason for extension and is received prior to the expiration of the variance, waiver, and/or administrative adjustment.

B. VARIANCES

1. A variance is a request to lessen or remove certain dimensional standards of the Code for a particular property or structure.
2. *Review Procedure.* A variance from this Code shall be processed as a Type 2 Review, which is in a public hearing setting by the Board of Adjustment and Appeals (BAA). All variance requests are subject to the Criteria established in [Table 2.2: Variances, Waivers, & Administrative Adjustments Criteria](#).

C. WAIVERS

1. A waiver is an approved elimination of a particular technical standard(s) based on a site constraint and/or the ability to meet the intent by another means. Waivers generally have minimal or no impact on a neighboring property.
2. Subject to the criteria established in [Table 2.2: Variances, Waivers, & Administrative Adjustments Criteria](#), the approval authority may grant the following waivers to this Code:
 - a. Site access standards and requirements may be waived to respond to site constraints and/or respond to existing development conditions.
 - b. Sidewalk connections may be waived to respond to site constraints and/or respond to existing development conditions that would make the connections impractical or unsafe.
 - c. Landscaping and buffering standards may be waived for specific areas on a site when other vegetation is present and provides the same purpose. Landscaping standards may be waived for portions of a site to respond to government security and surveillance mandates.
 - d. Other similar technical standards as determined by the Code Administrator. However, waivers pertaining to ADA standards are not permitted.
3. *Review Procedure.* Waivers shall be processed as a Type 1A Review; however, based on the degree of the request, the Code Administrator may forward a waiver request to the Development Review Committee (DRC) for approval as a Type 1B review.

D. ADMINISTRATIVE ADJUSTMENTS

1. An administrative adjustment is an approved adjustment or reduction to dimensional standards and/or technical requirements of this Code based on a site constraint, and/or the ability to meet the intent by other means. Administrative Adjustments generally have minimal or no impact on a neighboring property.
2. Subject to the criteria established in **Table 2.2: Variance, Waivers, & Adjustments Criteria**, the standards of this Code may be adjusted up to 20 percent; with the exception of the following:
 - a. Building Frontage and Fenestration requirements may only be adjusted up to 10 percent.
 - b. Minimum parking quantity may be reduced up to 20% or 2 spaces, whichever is greater.
3. *Review Procedure.* Administrative adjustments shall be processed as a Type 1A Review for up to 10 percent and Type 1B for up to 20 percent adjustments.

E. CRITERIA

The reviewing body shall determine the following criteria described in **Table 2.2: Variance, Waivers, & Adjustments Criteria**, have been satisfied in order to authorize such approval.

TABLE 2.2: VARIANCE, WAIVERS, & ADMINISTRATIVE ADJUSTMENTS CRITERIA

CRITERIA	VARIANCE	WAIVER	ADMINISTRATIVE ADJUSTMENT
(a) <i>Special Conditions.</i> That special conditions and circumstances exist which are peculiar to the land, structure, or building involved.	X		
(b) <i>Unnecessary Hardship.</i> That literal interpretation of the provisions of this Code would deprive or make it practically difficult for the applicant to achieve the same proportion of development potential commonly enjoyed by other properties in the same District under the terms of this section. The hardship shall not be self-imposed.	X		
(c) <i>Minimum Code Deviation Necessary.</i> That the granting of the request is the minimum code deviation that will make possible the reasonable use of the land, building, or structure.	X	X	X
(d) <i>Consistency with the FBC.</i> That the granting of the request will be in harmony with the general intent, purpose, and spirit of this code.	X	X	X
(e) <i>Consistency with the Comprehensive Plan.</i> That the granting of the request will be consistent with the intent and limits of the Comprehensive Plan.	X		
(f) <i>Detriment to Public Welfare.</i> That such request will not be injurious to the area involved or otherwise detrimental to the public welfare.	X		

2.7 ZONING CLEARANCES, CODE INTERPRETATIONS, & SITE PLANS

A. ZONING CLEARANCE

1. A Zoning Clearance determines if an application is in conformance with the provisions of this Code or as permitted by special approval. It is required and should be obtained prior to any property use, development activity or land disturbance. Zoning Clearance is often performed in conjunction with the review process, which may or may not include requirements for building permits, site plans, and/or pre-application meetings.
2. A Zoning Clearance shall be determined by the Code Administrator.
 - a. The issuance of a Zoning Clearance does not exempt an applicant from complying with all laws properly affecting the use or development of land.
 - b. This clearance is required regardless of any other provision of this Section.
 - c. Failure to obtain such clearance may be deemed a violation of this Section.
3. *Issuance & Conditions.*
 - a. Zoning Clearances shall be determined as part of the Type 1A and Type 1B Review. The resulting determination may require that the applicant make site modifications and/or secure the required review type approval for the requested outcome.
 - b. The Code Administrator or designee may request additional information pertaining to the project in order to conduct a thorough review and ensure full compliance with this Code.

B. CODE INTERPRETATION

1. Any member of the public may request a code interpretation of any provision in the Lealman Form-Based Code, upon filing a written request.
2. A code interpretation is intended for cases and situations where the standards and requirements are not clear and/or there is opportunity for interpretation.
3. *Issuance & Conditions.*
 - a. Code interpretations shall be issued by the Code Administrator as a part of a Type 1A Review.
 - b. Requests for code interpretations shall include:
 - i. A legal description, address, and/or parcel identification of the property for which the request is made.
 - ii. A description of the requested interpretation as it relates to a development, review process, and/or use of land.
 - iii. A conceptual plan or drawing illustrating the request when applicable. Plans shall be drawn to scale and show the property boundaries, proposed improvements, and connections to streets.

- c. The Code Administrator shall review the relevant code sections and the Comprehensive Plan in reaching a determination. The code interpretation shall not be used to circumvent adopted policy or code requirement.
- 4. *Fees.* Fees for Code Interpretations shall be established by the Board of County Commissioners. A schedule of fees is available in the designated county department.

C. SITE PLANS

- 1. *Applicability.* Site plans shall be required for the following:
 - a. All new construction, with the exception of the following:
 - i. Single-unit dwellings, duplexes, or triplexes when constructed on an established individual lot or parcel. This provision does not exempt these uses from complying with other codes, regulations and ordinances applicable to site plan review.
 - ii. Accessory uses/structures that are associated to a particular single-unit dwelling, duplex, or triplex that are constructed on an individual lot or parcel.
 - b. Additions to existing uses/buildings/sites (other than those listed above) involving the construction of 1,500 square feet or more of impervious surface.
 - c. All development that requires new or revised stormwater management facilities.
 - d. All new roadways and streets.
- 2. *Requirements.*
 - a. Site plans shall demonstrate full compliance with the provisions of this Code and any condition imposed by any decision-making authority for the use.
 - b. A site plan shall be provided as a site plan set, per County procedures.
 - c. Site plan elements shall be prepared by:
 - i. Property surveyors and new legal descriptions shall be prepared by a licensed professional surveyor to conduct work in the State of Florida.
 - ii. Development plans, grading plans, utility plans and similar plans shall be prepared by an appropriate professional licensed to conduct work in the State of Florida.
 - d. After receiving site plan approval, the applicant shall submit updated copies of the site plan, containing all data and information required as follows:
 - i. Final site plans, development designs, reports, or similar items that reflect the written approval.

- ii. A Notice of Intent (NOI) issued by the Florida Department of Environmental Protection (FDEP) for activities regulated under the National Pollutant Discharge Elimination System (NPDES) program as amended.

3. *Time Limits.*

- a. A site plan approval shall only remain valid for a period of 12 months, unless construction of the project commences within 12 months of such approval and continues in good faith.
- b. The Code Administrator shall be authorized to extend any site plan approval for two additional 12-month period subject to the following:
 - i. No changes to the site plan are required when the applicable development standards have not changed since the original approval.
 - ii. At the Code Administrator's discretion, the site plan shall be updated to incorporate applicable development standards that have been changed since the original approval.
- c. At the Code Administrator's discretion, any site plan not approved within one year from the date of the initial submittal shall be reviewed for compliance with all site plan requirements in effect on the date of approval of such plan.

4. *Fees.* Fees for site plan review shall be established by the Board of County Commissions. A schedule of fees is available in the designated County Department.

2.8 ENFORCEMENT PROCEDURES

Enforcement of this Code shall be consistent with the following procedures. Any person may report a violation of this Code.

- A. Inspectors for the County's Code Enforcement Department shall have the authority to investigate alleged violations of this Code.
- B. Investigations may be based upon statements of complaints or upon inspections performed by County department personnel.
- C. In conducting investigations of alleged violations of this Code, departmental inspectors shall have the authority, where otherwise lawful, to inspect property, obtain the signed statements of prospective witnesses, photograph violations, and do such other gathering of evidence as is necessary for the complete investigation of an alleged zoning violation.
- D. Where violations of this Code are found to exist during the course of any construction of other activity requiring a permit, a stop work order may be issued by the County Building Department, or any department referenced in this Section, and work shall thereafter cease until the violation is corrected.

- E. Where it is determined that a violation of this Code exists, the County's Code Enforcement inspectors shall attempt to contact the violator and direct compliance with the provisions of this Code. The County Administrator may refer matters to the proper agency for other county, state, and/or federal law violations not covered by this Code.
- F. The owner(s) of property subject to this Code shall be responsible for compliance with this Code with respect to their property. Enforcement action taken by the County of State may be brought against the owner(s) and/or persons or entities in control of the property, including a contractor working on the property.
- G. Any person or entity that violates any provision of this Code shall be deemed guilty of an infraction of a county ordinance and upon conviction thereof, shall be punished by a fine not to exceed \$1,000.00 or as allowed by Florida State Statutes. Each day a violation continues to exist constitutes a separate offense. Nothing contained in this Section shall prohibit the County of State from bringing an appropriate civil action to ensure compliance with this Code or from utilizing the procedures found in Article VIII of Chapter 2 of the Pinellas County Code.
- H. Where this Code provides for permitted uses or activities, a violation of the particular section which provides for the permitted use or activity shall occur if dissimilar uses or activities are existing on the subject property. Failure to obtain a permit, site plan or clearance from the County, as required in this Section, shall be considered a violation of the particular provision requiring the permit, site plan, or clearance.

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PART 3

DISTRICT MAP

SECTION 3.1 Intent

SECTION 3.2 Districts

SECTION 3.3 Recreation/Open Space

PART 3: DISTRICT MAP

3.1 INTENT

- A. The District Map serves as the principal tool for implementing this Code.
- B. The District Map establishes five Districts and three Special Districts, and have been assigned to each property within Lealman.

3.2 DISTRICTS

There are six Districts within Lealman, which are shown on the District Map ([Figure 3.1](#)).

Development and redevelopment shall comply with the standards and overall intent established for each District.

A. URBAN DISTRICT (U)

The 'Urban District' promotes the design of pedestrian-oriented streets that encourage a mix of uses, providing goods, services, and urban housing to the community. Development within this district is characterized by mid-rise, street-oriented buildings with activated retail and public spaces served by convenient on-street parking, wider sidewalks with pedestrian amenities, and enhanced crosswalks; ultimately creating a dynamic public realm that fosters retail vitality.

B. MERCANTILE DISTRICT (M)

The 'Mercantile District' provides for the continued use, enhancement, and new development of retail, office, and service needs for the local and surrounding communities. This District supports enhanced transit opportunities and increased pedestrian comfort. Development within this District is characterized by low to mid-rise buildings, screened parking with reduced/shared access points, and building entries with direct access to the street.

C. MAKERS DISTRICT (MKR)

The 'Makers District' fosters entrepreneurship by incubating small scale and craft manufacturing, specialty repair, artisans, and other startup businesses. This District aims to attract, retain, and cultivate talent, while fostering a collective culture. The district standards allow for a mix of building frontages, visual variation and the adaptive reuse of existing structures. The 'Makers District' supports business retention and expansion through these flexible form standards.

D. WAREHOUSE DISTRICT (W)

The 'Warehouse District' is applied to areas with redevelopment potential for employment-related businesses and industries. This District employs very limited form standards offering opportunity to recruit and retain businesses which may experience incremental growth in response to the market. Provisions for this District focus on minimizing visual and noise impacts to adjacent residential uses.

E. NEIGHBORHOOD CONVENIENCE DISTRICT (NC)

The 'Neighborhood Convenience District' is predominately residential in function. This District supports a mix of small to medium building types including houses, townhomes, and small apartments, as well as, corner or scattered neighborhood-scaled shopfronts. District standards support the reuse/retrofitting of existing structures and new construction that respects the existing residential scale, while reinforcing walkability and transportation alternatives.

F. NEIGHBORHOOD DISTRICT (ND)

The 'Neighborhood District' is comprised of established residential areas. Infill development within this District aims to complement the existing development pattern and characteristics, while supporting additional density, a variety of housing types, and an enhanced relationship between the public and private spaces.

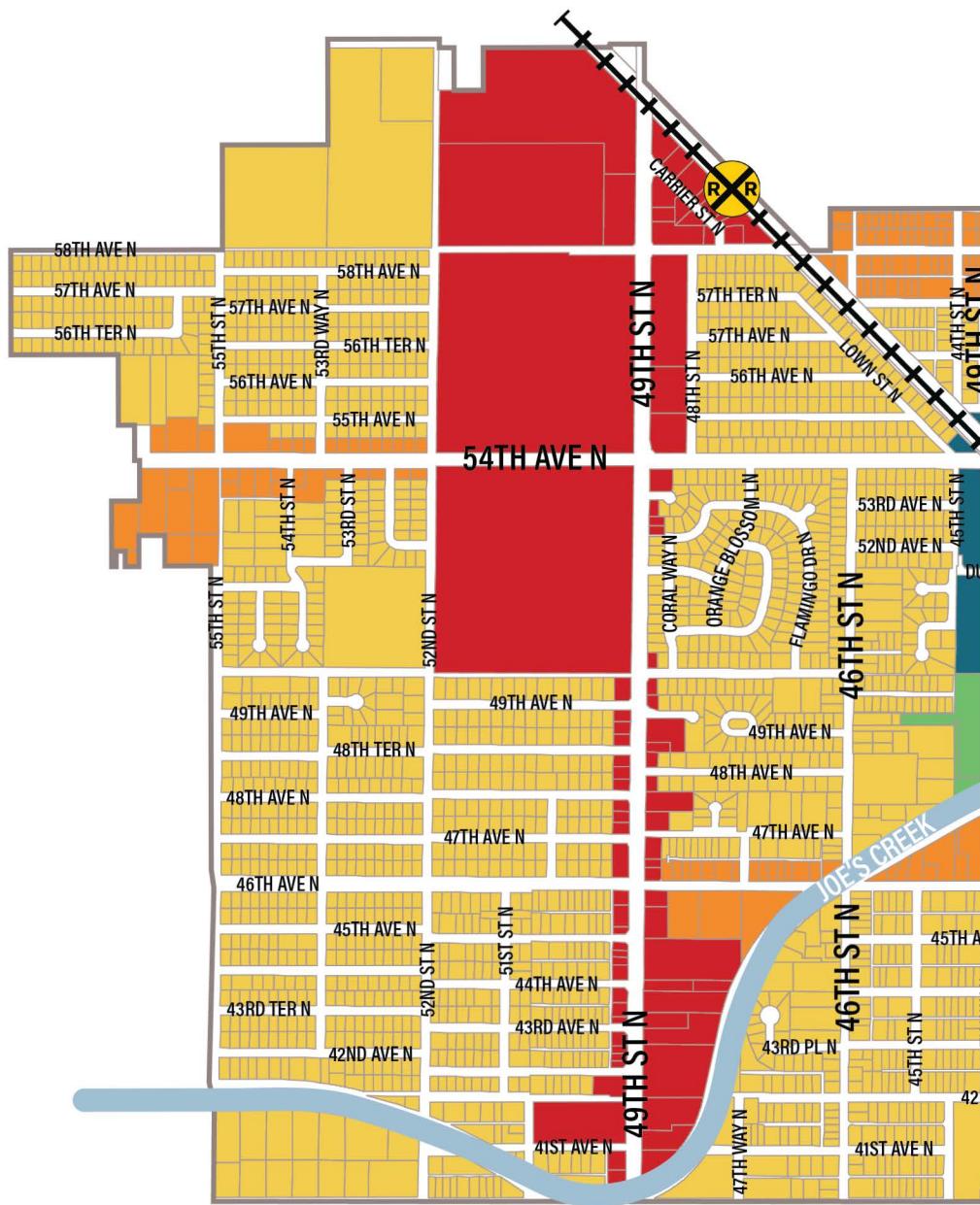
3.3 RECREATION/OPEN SPACE

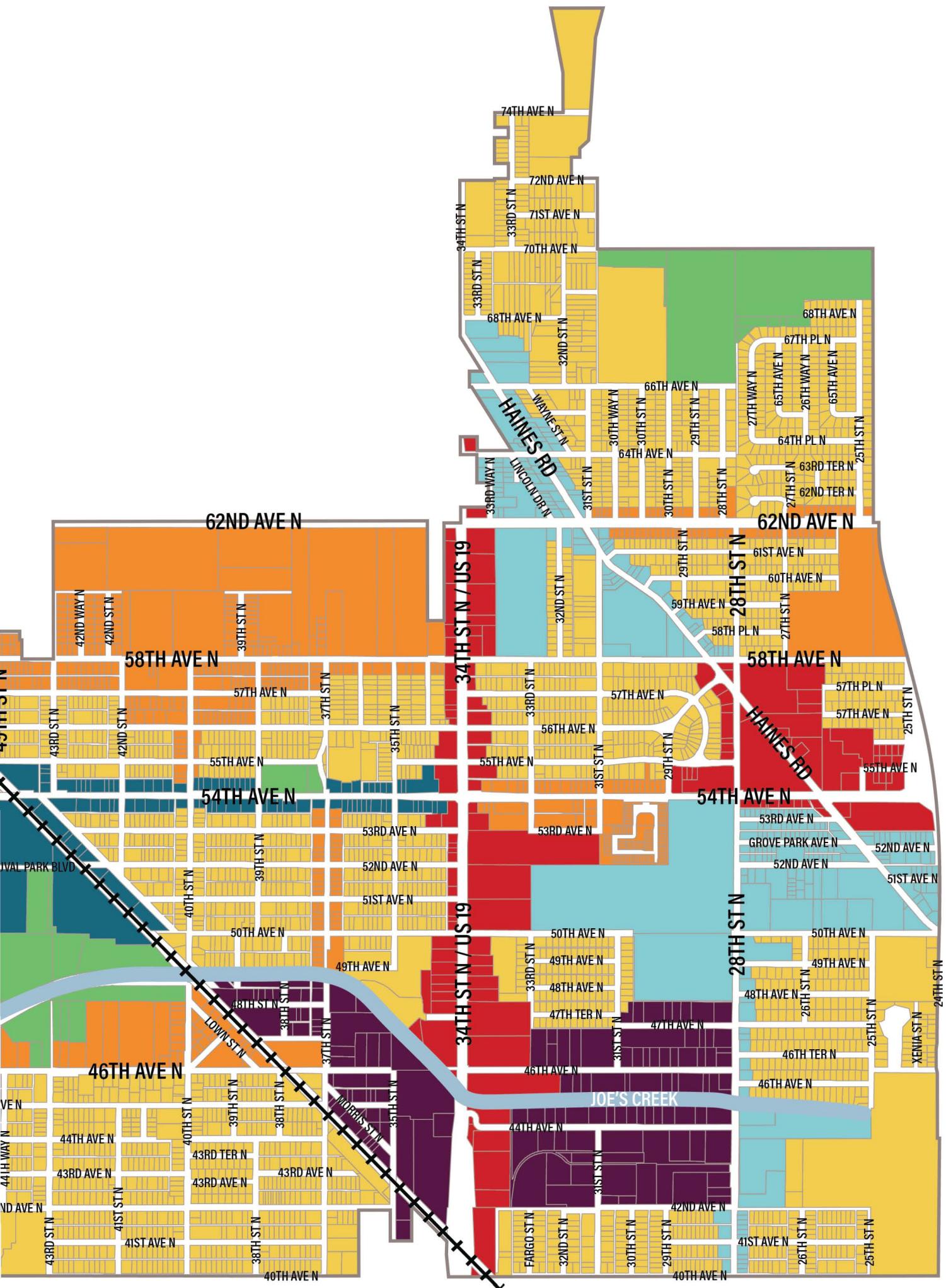
The areas designated on the District Map ([Figure 3.1](#)) as 'Recreation/Open Space' are established parks and/or open space within Lealman, and are intended to remain as such. Any modification to a different land use or proposed development of these properties requires a Type 2 Review and Approval process, as described in [Section 2.3\(C\)](#).

FIGURE 3.1: DISTRICT MAP

LEALMAN FIB DISTRICT MAP

- URBAN DISTRICT (U)
- MERCANTILE DISTRICT (M)
- MAKERS DISTRICT (MKR)
- WAREHOUSE DISTRICT (W)
- NEIGHBORHOOD CONVENIENCE DISTRICT (NC)
- NEIGHBORHOOD DISTRICT (ND)
- RECREATION / OPEN SPACE





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PART 4

DISTRICT STANDARDS

SECTION 4.1 Intent

SECTION 4.2 General Provisions

SECTION 4.3 Private Frontage Standards

SECTION 4.4 Districts

SECTION 4.4.1 Urban District (U)

SECTION 4.4.2 Mercantile District (M)

SECTION 4.4.3 Makers District (MKR)

SECTION 4.4.4 Warehouse District (W)

SECTION 4.4.5 Neighborhood Convenience District (NC)

SECTION 4.4.6 Neighborhood District (ND)

PART 4: DISTRICT STANDARDS

4.1 INTENT

- A. The District Standards are intended to shape the physical and functional character of the street-space of the Lealman Form-Based District, with the goal of creating an active, pedestrian-friendly public realm. The form and function standards for building frontages not only frame the street-space, but also allow for greater flexibility behind the building's façade. The District Standards are intended to aim for a minimal regulation necessary to achieve this goal.
- B. The District Map identifies the various Districts for all properties located within the Lealman Form-Based District.
- C. The District Standards establish the standards for development and redevelopment of properties, with a focus on building placement, height, and functional elements, such as fenestration (windows and doors), porches, and stoops.

4.2 GENERAL PROVISIONS

The following provisions apply to all Districts, unless otherwise specified within this Code:

A. LOTS WITH MULTIPLE STREET FRONTAGES

1. For corner and through lots (multiple-frontage lots), each public street (not including alleys) shall be treated as a front for the determination of setbacks. (See [Figure 4.1](#))
2. For multiple-frontage lots, the primary frontage shall be the street frontage with the highest classified street type, as determined by the Street Type Standards Map ([Figure 5.1](#)). If the street types are the same, the applicant may choose the primary and secondary frontages.
3. Structures may not extend beyond the minimum front setback requirement along any secondary frontage. The maximum setback shall be met along any secondary frontage either by a structure, fence/wall, hedge row, or of a similar treatment.

B. NEIGHBORHOOD MANNERS

1. *Height.* When a non-residential lot shares a property line with an existing single-unit, detached residential lot, the maximum height of the non-residential structure shall not exceed the permitted by right height of the residential property's District. This limitation only applies to the portions of the non-residential structure within 20 feet of the shared property line. (See [Figure 4.2](#))
2. *Setback.* When a non-residential or multi-unit residential lot shares a property line with an existing single-unit, detached lot, a minimum 5 foot building setback shall apply from the shared property line(s).
3. *Residential Buffer.* A buffer, meeting the requirements of [Section 6.4\(D\)](#), shall be provided along any shared rear or side property line of a non-residential or multi-unit residential lot and a single-unit, detached residential lot. A buffer is not required between the front building facade and an abutting street or any portions that abut an alley. The buffer shall be provided entirely on the non-residential property at the time of development/redevelopment/expansion. (See [Figure 4.2](#))

Figure 4.1 Multiple Frontages By Lot Types

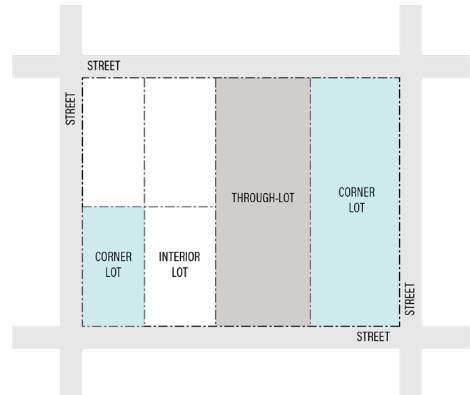
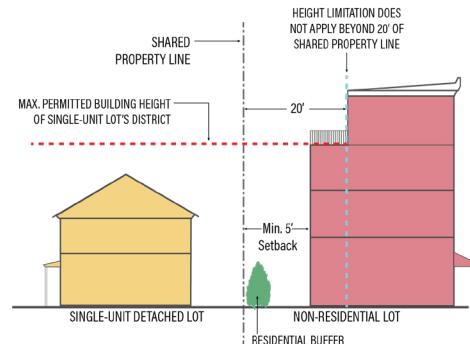


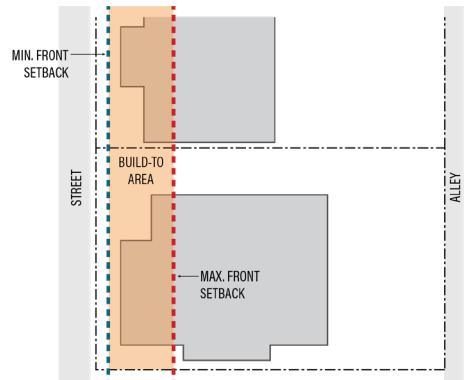
Figure 4.2 Neighborhood Manners



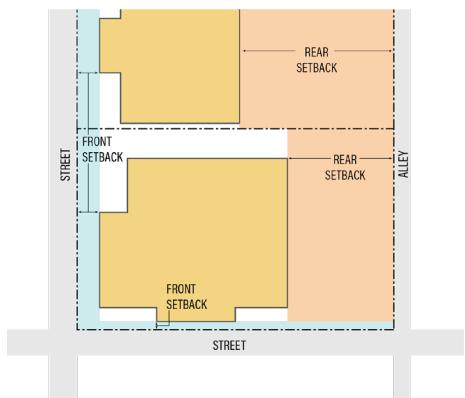
C. SITING

1. The area between the minimum and maximum front setback, is considered the Build-to Area. The minimum Building Frontage requirement shall be met entirely within the Build-to Area along a site's primary frontage(s). (See [Figure 4.3](#))
2. Setbacks shall be measured by the shortest dimension, running from the property line to the nearest wall of a structure. (See [Figure 4.4](#))
3. All front setbacks shall be measured from any proposed right-of-way line that has been established by the applicable governing body.
4. All vehicle parking shall be located at/or behind the parking setback line (as established for each District), except where parking is provided below grade or on-street. Parking setback requirements shall apply to all public street frontages.
5. No part of any building may project beyond a designated minimum setback, except for the following encroachments, allowances, and/or limitations:
 - a. Porches and decks are subject to the applicable District front building setback(s).
 - b. Overhanging eaves, awning, bay windows, stoops, steps, cornices, chimneys, accessible ramps, or other similar minor appurtenances may project into a minimum setback no more than five (5) feet and shall not extend over adjacent property.
 - c. Swimming pools, as measured from the water's edge, shall either have a side/rear setback of eight (8) feet, or the minimum rear setback of the District in which the property is located, whichever is less.
 - d. Screen-only enclosures and outdoor kitchens are permitted a side and rear setback of five (5) feet or the minimum side or rear setback of the District, whichever is less.
 - e. Arbors and pergolas 100 square feet or less in size are not subject to setback standards provided that intersection site visibility standards, per [Section 6.2\(B\)\(5\)](#) are addressed through structure placement/design. Columns as part of such structures shall be reviewed for visibility issues on a case-by-case basis.
 - f. Mechanical equipment such as air conditioning units, pool equipment and generators should be placed adjacent to the structure, however a minimum three (3) foot separation shall be required from the property line.
 - g. Outside, unenclosed stairways may extend four (4) feet into any required yard but not closer to any side lot line than a distance of five (5) feet.
7. Setback standards shall not supersede or allow easement encroachment. The following shall apply:
 - a. No portion of any structure shall be located within the area of a recorded public easement unless authorized by the county and/or other easement holder.
 - b. Easement encroachment may not be authorized as a variance.

[Figure 4.3 Build-To Area](#)



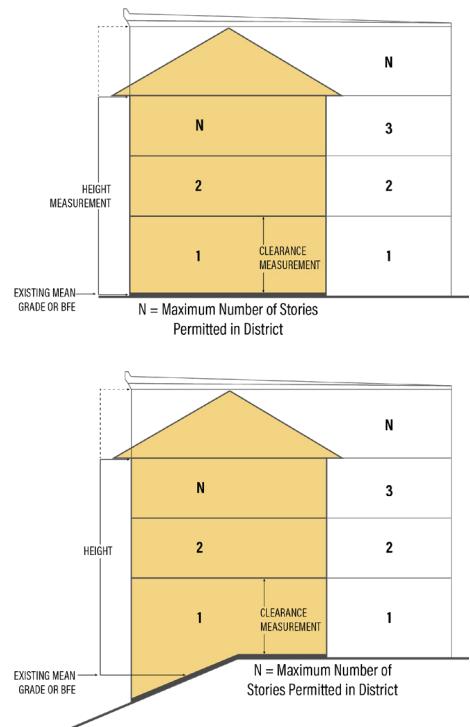
[Figure 4.4 Setback Measurement](#)



D. HEIGHT

1. The height of all buildings is measured in stories, unless otherwise stated within this Code.
2. Height shall be measured based on the following provisions; other exemptions of this Section may be allowed (See Figure 4.5):
 - a. For flat roofs, height means the vertical distance from the mean (average) elevation of the existing grade to the height of the finished roof structure.
 - b. For pitched roofs, height means the vertical distance from the mean (average) elevation of the existing grade to the eave of the roof.
 - c. Height may be measured from the base flood elevation including any additional required freeboard that is required by the National Flood Insurance Program or by local ordinance when a structure is located in an area of special flood hazard. In these situations, the base flood elevation (BFE) may be used in lieu of the mean elevation of the existing grade.
3. Chimneys, water, fire, radio and television towers, smokestacks, flagpoles and similar structures and their accessory mechanical appurtenances, such as elevator shafts, ventilation equipment, etc., may be erected to a maximum of 20-feet above the height limits established in this Code.
4. Parapet walls constructed on buildings with flat roofs shall be permitted to extend no higher than four (4) feet over the maximum height specified for the District in which the building is located. Portions of the parapet walls, fences, or other building elements that are intended to screen mechanical equipment or similar features shall be exempt from height limits to the extent that they provide screening.
5. Ground/Upper story clearance is measured from the finished floor elevation to the ceiling of each story.
6. Building heights do not include rooftop gardens, patios, or similar functions without permanent structural covers or elements.

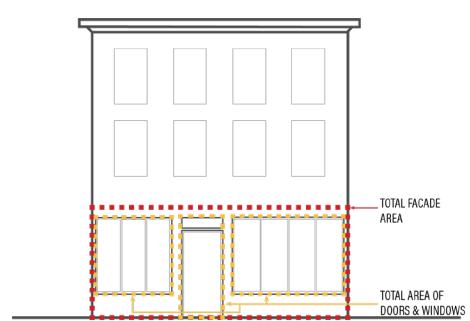
Figure 4.5 Height Measurement for Flat & Sloped Sites



E. ELEMENTS

1. Fenestration (facade transparency) is measured by the area of all doors and windows of a particular story level divided by the total facade area of that story level. The total facade area is calculated by the height between finished floors multiplied by the width of the facade. (See Figure 4.6)
2. Doors, whether opaque or transparent, may be counted towards the minimum fenestration requirement.
3. Mullions, muntins, window and door frames may be counted towards the minimum fenestration requirement.

Figure 4.6 Fenestration



4.3 PRIVATE FRONTAGE STANDARDS

Frontage types provide the standards of how a building individually shapes and frames the overall streetscape. These frontage types comprise the area between the building facades and the front property lines. For multiple-frontage lots, the Private Frontage requirements is only applicable to the primary frontage(s). Allowable private frontage types are identified for each District, with the exception of the Warehouse District as a result of the existing character, variable lot sizes and shapes, and overall variety found throughout the District.

A. PRIVATE FRONTAGE OBJECTIVES

Frontages shall be designed and maintained to achieve the following objectives:

1. Support the intended physical environment of each District designation.
2. Support active and continuous pedestrian-oriented environments of each District designation.
3. Provide a physical transition between the public right-of-way and each building that shapes the public realm for each District designation.

B. PERMITTED PRIVATE FRONTAGE TYPES

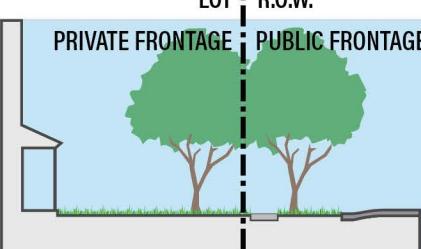
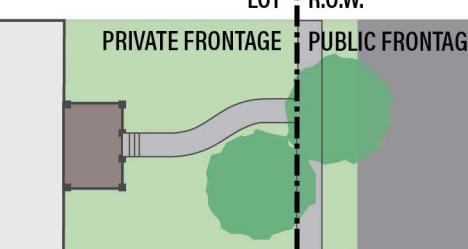
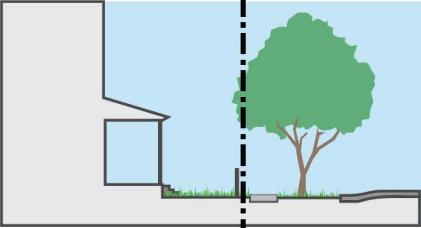
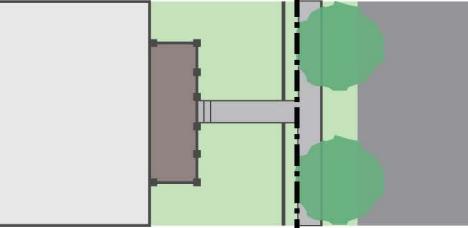
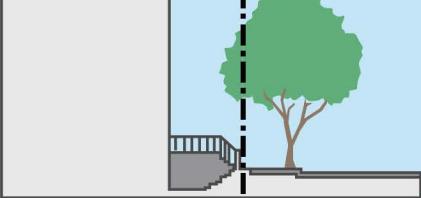
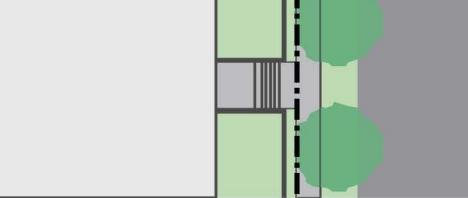
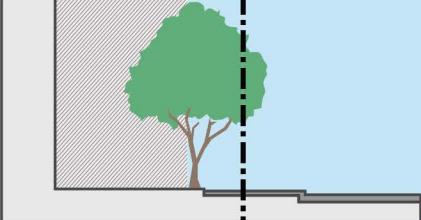
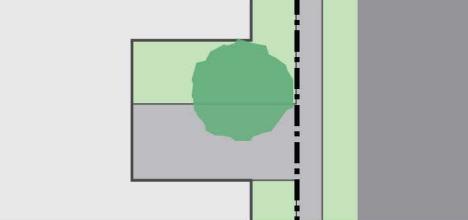
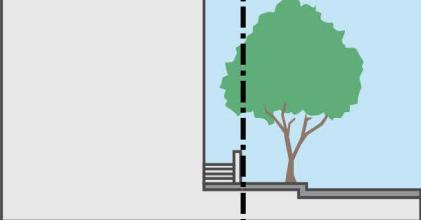
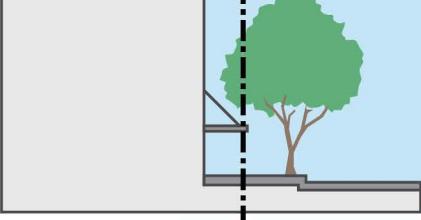
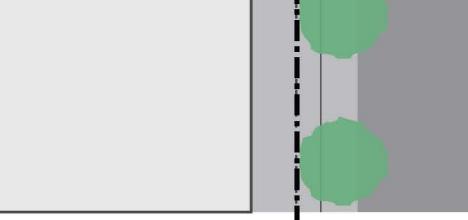
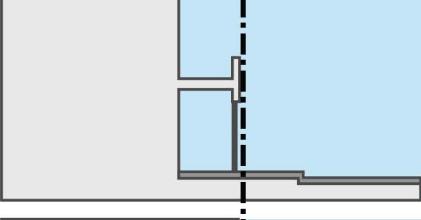
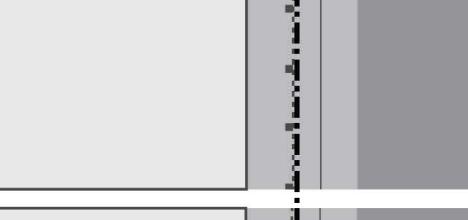
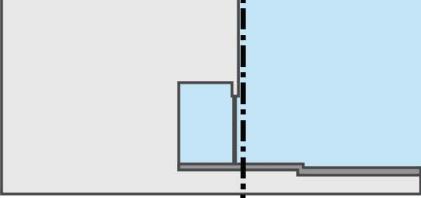
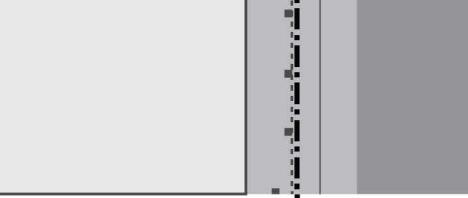
The Permitted Private Frontage Types Table ([Table 4.1](#)) identifies the permitted frontage types for each District designation. Along a lot's primary frontage(s), all buildings shall comply with the private frontage types established in this section of the Code. If a building utilizes more than one private frontage type, all types shall be permitted, as shown in [Table 4.1: Permitted Private Frontage Types](#).

4.4 DISTRICTS

[Sections 4.4.1 - 4.4.6](#) detail the siting, height, and elements standards; permitted private frontages; and permitted land use categories for each District established by this Code.

[Table 4.2: Districts Summary Table](#), provides an overview of all Districts. This table summarizes the minimum and maximum siting standards, the general District intent and primary permitted building functions, for the purpose of graphically portraying the differences between each District. Refer to [Sections 4.4.1 - 4.4.6](#) for the complete set of development standards for each District.

TABLE 4.1: PERMITTED PRIVATE FRONTAGE TYPES

COMMON YARD	<p>Façade is setback from the property line creating a front yard that is visually continuous with adjacent yards, supporting a common landscape.</p>		
PORCH & FENCE	<p>Façade is setback from property line with an attached porch. A fence (optional) at the property line can help to maintain street spatial definition.</p>		
DOORYARD	<p>Façade is setback slightly from the property line by an elevated landing to buffer residential uses from sidewalks and streets.</p>		
COURTYARD	<p>A portion of the façade is at or near the property line with a central portion set back creating a courtyard. This frontage type can be used in conjunction with other frontage types.</p>		
STOOP	<p>Façade is close to the property line and the first story is elevated. Entrances are typically stairs or landings. This type is recommended for ground-floor residential.</p>		
SHOPFRONT	<p>Façade is near the property line with entrances at sidewalk grade, typically with awnings. Façade can sit back slightly from the property line to allow for an activated public space, such as outdoor seating. This type is recommended for retail use.</p>		
GALLERY	<p>Façade is near the property line and includes an attached cantilevered roof overlapping the sidewalk, that is no less than 10' wide. Façade can sit back slightly from the property line to allow for an activated public space, such as outdoor seating.</p>		
ARCADE	<p>Arcades are facades with an attached colonnade, that is covered by upper stories. The colonnade shall be no less than 12' wide. Façade can sit back slightly from the property line to allow for an activated public space, such as outdoor seating.</p>		

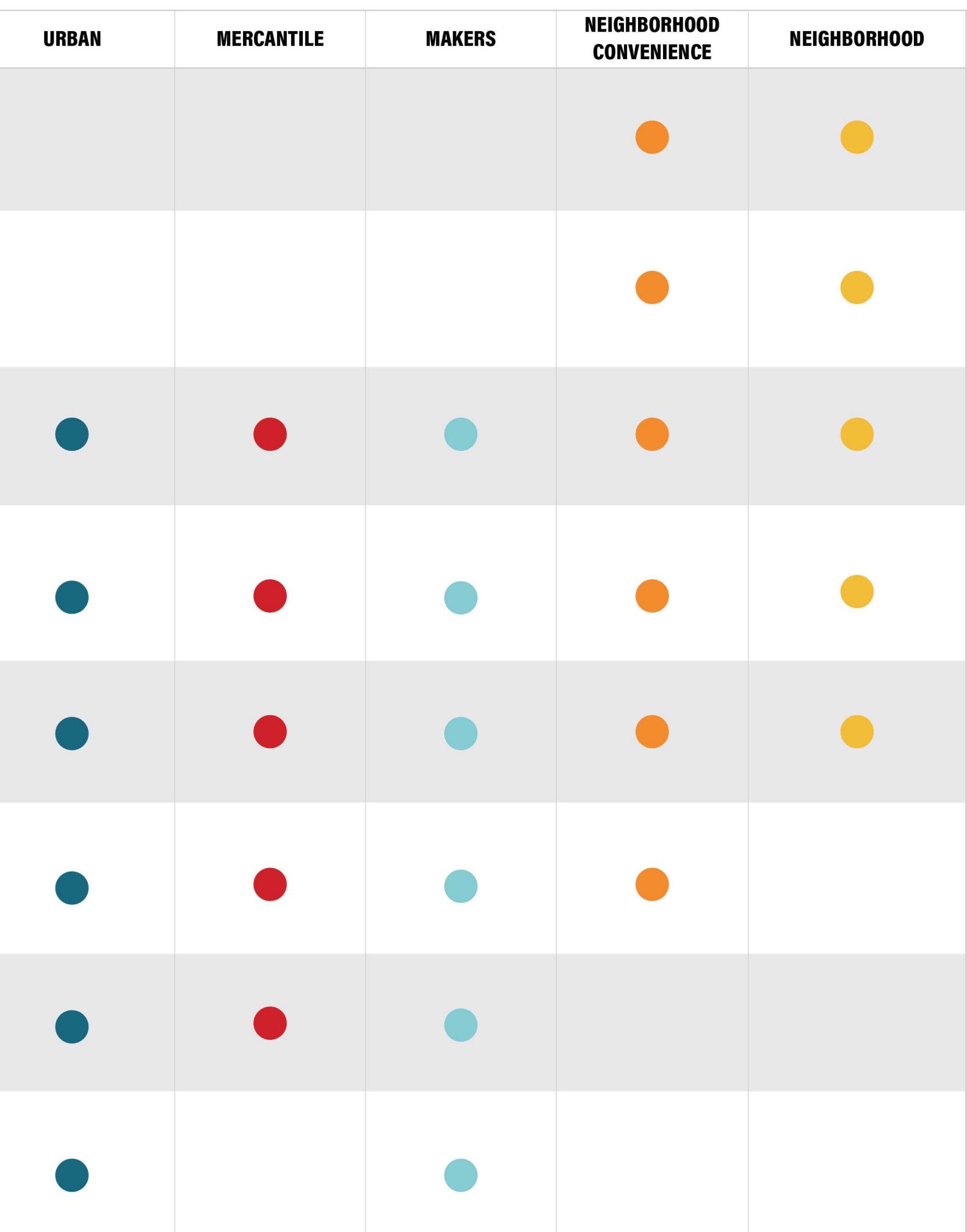
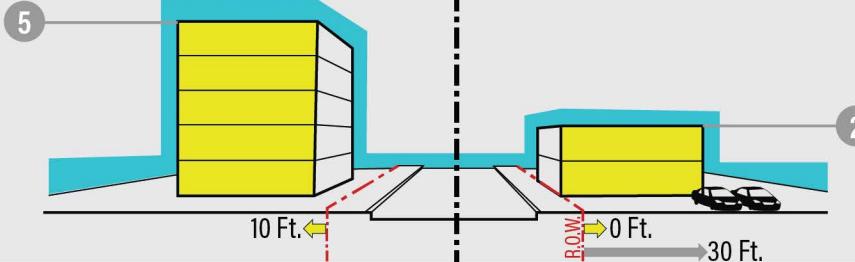
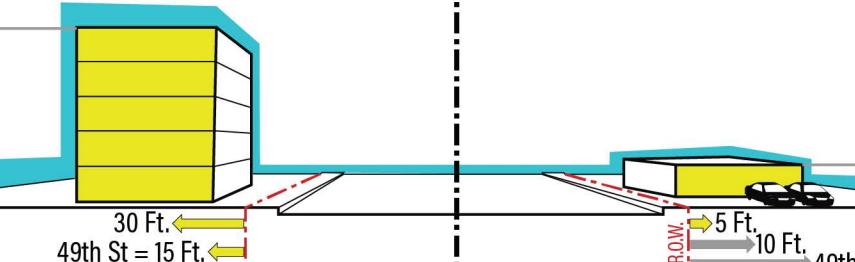
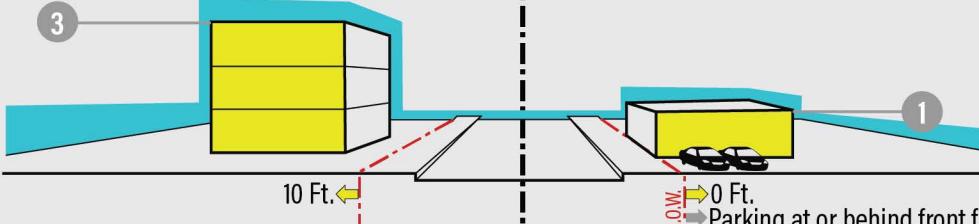
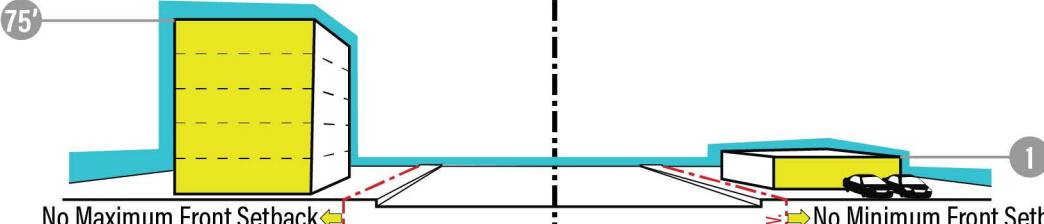
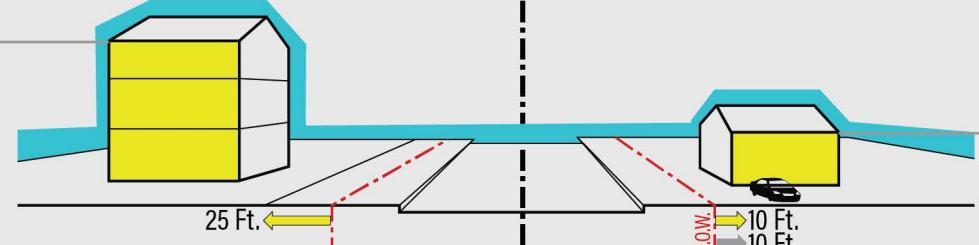
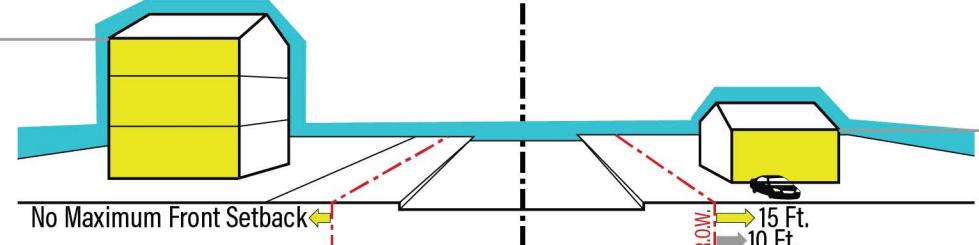


TABLE 4.2: DISTRICTS SUMMARY TABLE

		SITING STANDARDS	
		Maximum Standards	Minimum Standards
URBAN DISTRICT		 <p>Max. Front Setback: 10 Ft.</p> <p>Min. Front Setback: 0 Ft.</p> <p>Parking Setback: 30 Ft.</p>	 <p>Max. Front Setback: 30 Ft.</p> <p>Min. Front Setback: 5 Ft.</p> <p>Parking Setback: 49th St = 20 Ft.</p>
MERCANTILE DISTRICT		 <p>Max. Front Setback: 10 Ft.</p> <p>Min. Front Setback: 0 Ft.</p> <p>Parking at or behind front facade</p>	 <p>No Maximum Front Setback</p> <p>No Minimum Front Setback</p> <p>Commercial vehicle parking to the side or rear of primary building.</p>
MAKERS DISTRICT		 <p>Max. Front Setback: 25 Ft.</p> <p>Min. Front Setback: 10 Ft.</p> <p>Parking Setback: 10 Ft.</p>	 <p>Max. Front Setback: 15 Ft.</p> <p>Min. Front Setback: 15 Ft.</p> <p>Parking Setback: 10 Ft.</p>
WAREHOUSE DISTRICT			
NEIGHBORHOOD CONVENIENCE DISTRICT			
NEIGHBORHOOD DISTRICT			

INTENT	PRIMARY FUNCTION
<p>Promote pedestrian-oriented streets that encourage a mix of uses, providing goods, services, and urban housing to the neighborhood. Create a dynamic public realm that fosters retail vitality.</p>	<p>Urban Residential Housing Retail Goods/Services Office Uses</p>
<p>Support retail, office and service needs for the local and surrounding communities. Support enhanced transit opportunities & increased pedestrian comfort.</p>	<p>Multi-Unit Residential Housing Lodging Retail Goods/Services Office Uses Civic Uses Civil Support Uses</p>
<p>Foster entrepreneurship by incubating small scale and craft manufacturing, specialty repair, artisans, and other startup businesses. Support business retention and expansion, through flexible form standards.</p>	<p>Small-Scale/Craft Manufacturing Specialty Repair Shops Artisans Retail Goods/Services Multi-Unit Residential Housing Office Uses</p>
<p>Support redevelopment for employment-related businesses & industries through limited form standards, while also offering opportunities to recruit & retain businesses that may experience incremental growth in response to the market.</p>	<p>Manufacturing Warehousing Repair Shops Office Uses Civil Support Uses</p>
<p>Support a mix of housing types and the reuse/retrofitting/construction of scattered neighborhood shop fronts that respect the existing residential scale and reinforce walkability & transportation alternatives.</p>	<p>Residential Housing Neighborhood-Scaled Retail Goods/Services Neighborhood-Scaled Office Uses</p>
<p>Support Infill development that complements the existing development pattern and characteristics, while supporting additional density, a variety of housing types, & enhanced public spaces.</p>	<p>Residential Housing</p>

4.4.1 URBAN DISTRICT (U)

A. INTENT

The 'Urban District' promotes the design of pedestrian-oriented streets that encourage a mix of uses, providing goods, services, and urban housing to the neighborhood. Development within this district is characterized by mid-rise, street-oriented buildings with activated retail and public spaces served by convenient on-street parking, wider sidewalks with pedestrian amenities, and enhanced crosswalks; ultimately creating a dynamic public realm that fosters retail vitality.

B. SITING

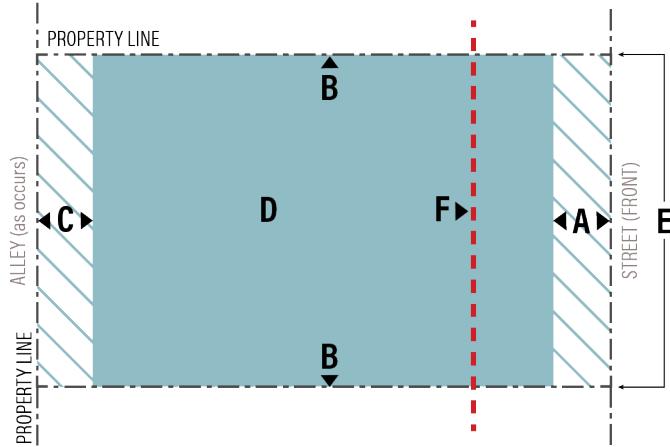


TABLE 4.3

REQUIREMENT	MIN.	MAX.
A Front Setback ¹	0 ft	10 ft
B Side Setback ²	-	-
C Rear Setback ³	10 ft	-
D Lot Coverage	-	80%
E Building Frontage	75%	-
F Parking Setback	30 ft	-

TABLE NOTES:

1. The maximum front setback may increase 5 feet to allow for an activated public space.
2. Refer to Section 4.2(B)(2), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
3. When an alley is present, the minimum rear/side setback shall be a minimum of 12 feet, measured from the centerline of the alley.

C. HEIGHT

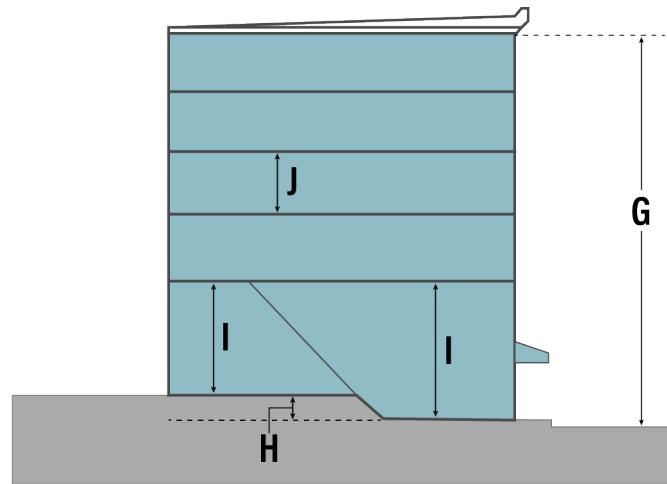


TABLE 4.4

REQUIREMENT	MIN.	MAX.
G Building Height ¹	2 stories	5 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance	14 ft	22 ft
J Upper Story(ies) Clearance	9 ft	12 ft

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

D. ELEMENTS

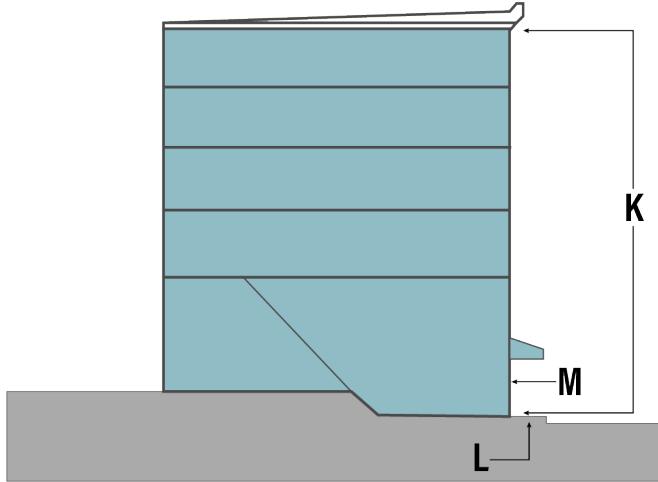


TABLE 4.5

REQUIREMENT					
K	Fenestration			MIN.	MAX.
		Ground Story ¹	Nonresidential Residential	60%	90%
		Upper Story(ies)	Any Use	30%	90%
L	Building Projections ^{2,3}	A front porch/stoop/overhang shall be provided for any ground story residential unit entry.			
M	Doors/Entries	A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.			

TABLE NOTES:

1. All ground story windows facing a public street, shall be a minimum of 8 feet in width.
2. Any building projection that extends into the public right-of-way shall require a right-of-way utilization permit.
3. Awnings, when provided, shall project from the building facade a minimum of 5 feet and shall maintain a 10 foot clearance over any sidewalk.

E. PRIVATE FRONTAGE TYPES

TABLE 4.6

FRONTAGE TYPES (REFER TO TABLE 4.1)

Common Yard	Not Permitted
Porch & Fence	Not Permitted
Dooryard	Permitted
Courtyard	Permitted
Stoop	Permitted
Shopfront	Permitted
Gallery	Permitted
Arcade	Permitted

F. USE CATEGORIES¹

- Residential²
- Lodging
- Office
- Retail
- Industrial²
- Civil Support
- Civic

NOTES:

1. Refer to Table 7.1: Permitted Use Table for full list of permitted uses within each use category listed.
2. Uses within this category are typically limited.

4.4.2 MERCANTILE DISTRICT (M)

A. INTENT

The 'Mercantile District' provides for the continued use, enhancement, and new development of retail, office and service needs for the local and surrounding communities. This District supports enhanced transit opportunities and increased pedestrian comfort. Development within this District is characterized by low to mid-rise buildings, screened parking with reduced/shared access points, and primary building entries with direct access to the street.

B. SITING

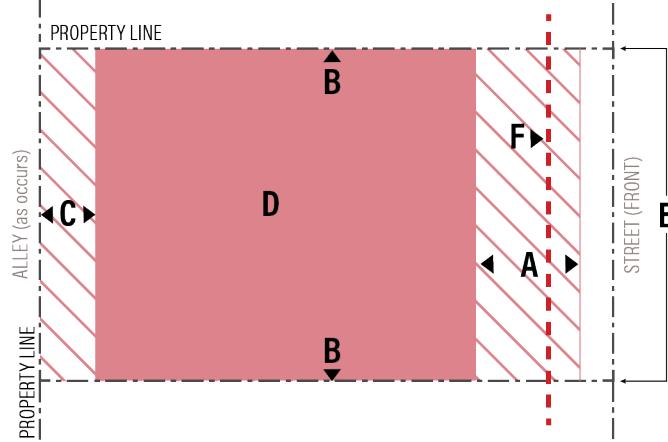


TABLE 4.7

REQUIREMENT	MIN.	MAX.
A Front Setback 49th Street	5 ft 5 ft	30 ft 15 ft
B Side Setback ¹	-	-
C Rear Setback ²	10 ft	-
D Lot Coverage	-	70%
E Building Frontage ³ 49th Street	40% 75%	-
F Parking Setback 49th Street	10 ft 20 ft	-

TABLE NOTES:

1. Refer to Section 4.2(B)(2), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
2. When an alley is present, the minimum rear/side setback shall be a minimum of 12 feet, measured from the centerline of the alley.
3. A maximum of 50% of the minimum Building Frontage may be comprised of an architecturally compatible wall.

C. HEIGHT

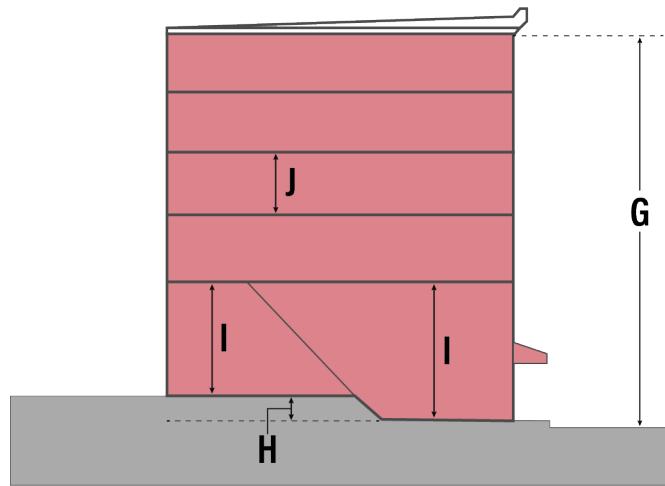


TABLE 4.8

REQUIREMENT	MIN.	MAX.
G Building Height ¹	1 story	5 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance	14 ft	22 ft
J Upper Story Clearance	9 ft	12 ft

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

D. ELEMENTS

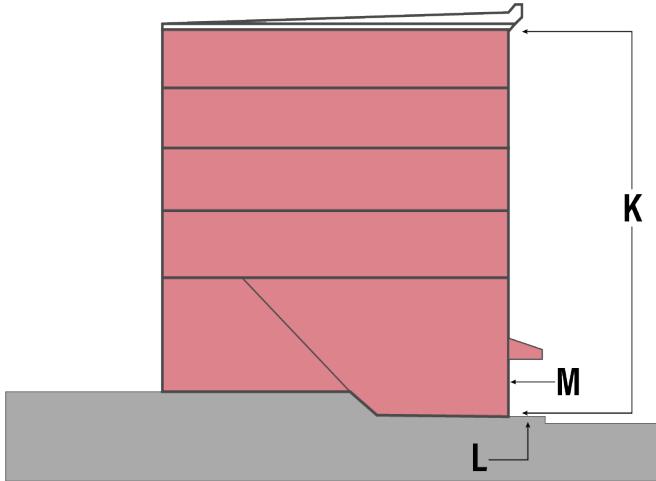


TABLE 4.9

REQUIREMENT					
K	Fenestration			MIN.	MAX.
		Ground Story ¹	Nonresidential Residential	60%	90%
		Upper Story(ies)	Any Use	30%	90%
M	Doors/Entries	A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.			

TABLE NOTES:

1. All ground story windows facing a public street, shall be a minimum of 8 feet in width.
2. Any building projection that extends into the public right-of-way shall require a right-of-way utilization permit.
3. Awnings, when provided, shall project from the building facade a minimum of 5 feet and shall maintain a 10 foot clearance over any sidewalk.

E. PRIVATE FRONTAGE TYPES

TABLE 4.10

FRONTAGE TYPES (REFER TO TABLE 4.1)

Common Yard	Not Permitted
Porch & Fence	Not Permitted
Dooryard	Not Permitted
Courtyard	Permitted
Stoop	Permitted
Shopfront	Permitted
Gallery	Permitted
Arcade	Not Permitted

F. USE CATEGORIES¹

- Residential²
- Lodging
- Office
- Retail
- Automotive
- Industrial²
- Civil Support
- Civic

NOTES:

1. Refer to Table 7.1: Permitted Use Table for full list of permitted uses within each use category listed.
2. Uses within this category are typically limited.

4.4.3 MAKERS DISTRICT (MKR)

A. INTENT

The 'Makers District' fosters entrepreneurship by incubating small scale and craft manufacturing, specialty repair, artisans, and other startup businesses. This District aims to attract, retain, and cultivate talent, while fostering a collective culture. The district standards allow for a mix of building frontages, visual variation and the adaptive reuse of existing structures. The 'Makers District' supports business retention and expansion through these flexible form standards.

B. SITING

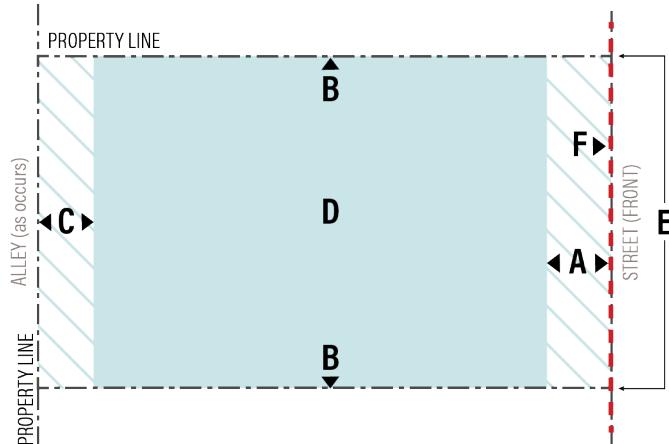


TABLE 4.11

REQUIREMENT	MIN.	MAX.
A Front Setback	0 ft	10 ft
B Side Setback ¹	-	-
C Rear Setback ²	10 ft	-
D Lot Coverage	-	70%
E Building Frontage	60%	-
F Parking Setback ³	-	-

TABLE NOTES:

1. Refer to Section 4.2(B)(2), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
2. When an alley is present, the minimum rear/side setback shall be a minimum of 12 feet, measured from the centerline of the alley.
3. All parking shall be located at or behind the front facade of the building(s).

C. HEIGHT

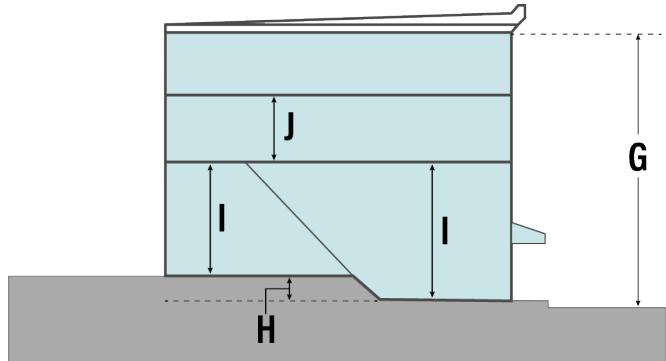


TABLE 4.12

REQUIREMENT	MIN.	MAX.
G Building Height ¹	1 story	3 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance	14 ft	22 ft
J Upper Story Clearance	9 ft	12 ft

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

D. ELEMENTS

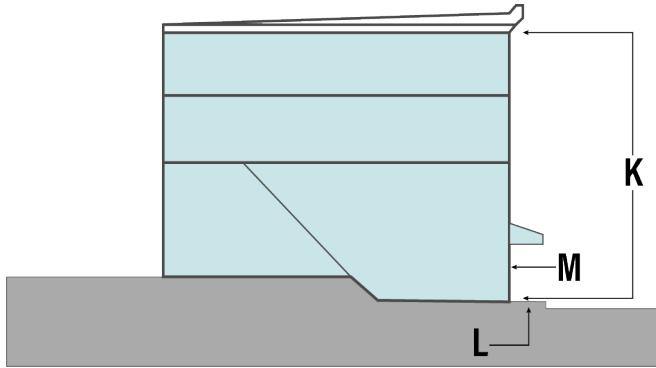


TABLE 4.13

REQUIREMENT				
		MIN.	MAX.	
K Fenestration	Ground Story	20%	90%	
	Upper Story(ies)	15%	90%	
L Building Projections ^{1,2}	A front stoop/overhang shall be provided for any ground story residential unit entry.			
M Doors/Entries	A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.			

TABLE NOTES:

1. Any building projection that extends into the public right-of-way shall require a right-of-way utilization permit.
2. Awnings, when provided, shall project from the building facade a minimum of 5 feet and shall maintain a 10 foot clearance over any sidewalk.

E. PRIVATE FRONTAGE TYPES

TABLE 4.14

FRONTAGE TYPES (REFER TO TABLE 4.1)

Common Yard	Not Permitted
Porch & Fence	Not Permitted
Dooryard	Permitted
Courtyard	Permitted
Stoop	Permitted
Shopfront	Permitted
Gallery	Permitted
Arcade	Permitted

F. USE CATEGORIES¹

- Residential²
- Lodging
- Office
- Retail
- Automotive²
- Industrial²
- Civil Support
- Civic

NOTES:

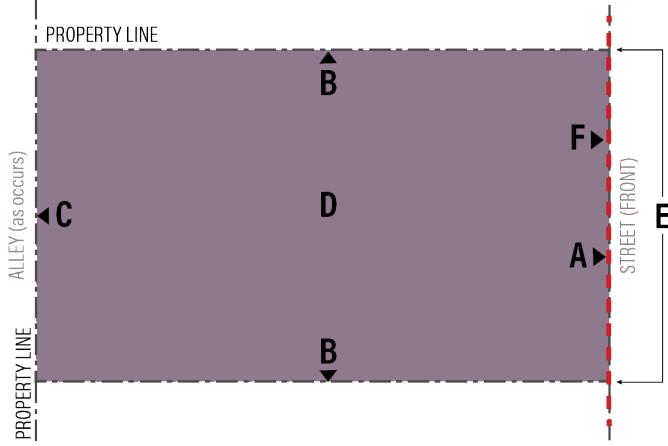
1. Refer to Table 7.1: Permitted Use Table for full list of permitted uses within each use category listed.
2. Uses within this category are typically limited.

4.4.4 WAREHOUSE DISTRICT (W)

A. INTENT

The 'Special District - Warehouse' is applied to areas with redevelopment potential for employment-related businesses and industries. This District employs very limited form standards, instead, the provisions focus on minimizing visual and noise impacts to adjacent residential uses. The minimal form standards offer opportunities to recruit and retain businesses which may experience incremental growth in response to the market.

B. SITING



C. HEIGHT

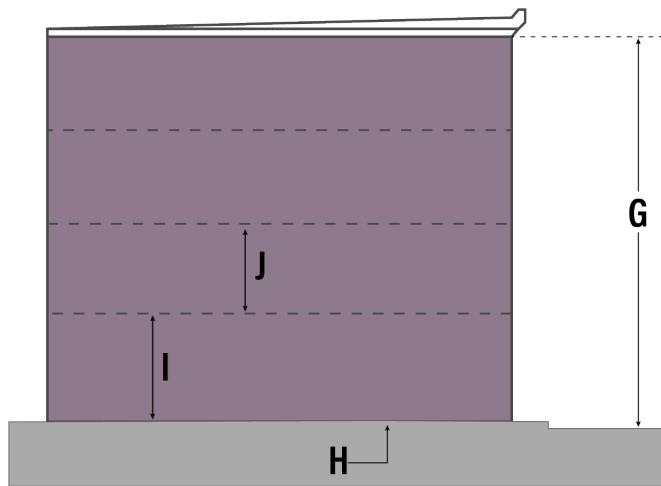


TABLE 4.15

REQUIREMENT	MIN.	MAX.
A Front Setback	-	-
B Side Setback ¹	-	-
C Rear Setback ¹	-	-
D Lot Coverage	-	-
E Building Frontage	-	-
F Parking Setback ²	-	-

TABLE NOTES:

1. None; except when the side/rear lot abuts a residential lot, there shall be a 10 foot setback for the lot portions that directly abut the residential lot.
2. None, however, all commercial vehicles shall be parked/stored to the side or rear of the primary building, and shall be setback a minimum 30 feet from any adjacent residential property.

TABLE 4.16

REQUIREMENT	MIN.	MAX.
G Building Height ¹	-	75 ft
H Ground Floor Elevation (Residential Uses)	N/A	N/A
I Ground Story Clearance	-	-
J Upper Story Clearance	-	-

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

D. ELEMENTS

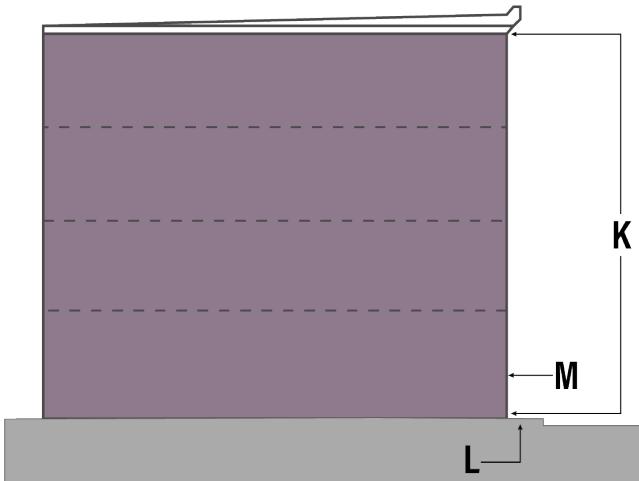


TABLE 4.17

REQUIREMENT			
		MIN.	MAX.
K Fenestration	Ground Story	-	-
	Upper Story(ies)	-	-
L Building Projections ^{1,2}	-		
M Doors/Entries	A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s).		

TABLE NOTES:

1. Any building projection that extends into the public right-of-way shall require a right-of-way utilization permit.
2. Awnings, when provided, shall project from the building facade a minimum of 5 feet and shall maintain a 10 foot clearance over any sidewalk.

E. PRIVATE FRONTAGE TYPES

Due to the development characteristics, variable lot sizes and shapes, and overall variety found throughout this District, **Table 4.1: Permitted Private Frontage Types** does not apply in the Warehouse District.

F. USE CATEGORIES¹

- Office²
- Retail²
- Automotive²
- Industrial
- Civil Support
- Civic²

NOTES:

1. Refer to **Table 7.1: Permitted Use Table** for full list of permitted uses within each use category listed.
2. Uses within this category are typically limited.

4.4.5 NEIGHBORHOOD CONVENIENCE DISTRICT (NC)

A. INTENT

The 'Neighborhood Convenience District' is predominately residential in function. This District supports a mix of small to medium building types including houses, townhomes, and small apartments, as well as, corner or scattered neighborhood shopfronts. District standards support the reuse/retrofitting of existing structures and new construction that respects the existing residential scale, while reinforcing walkability and transportation alternatives.

B. SITING

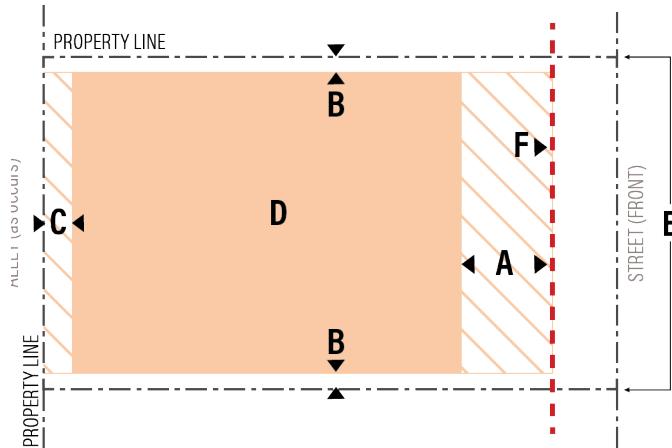


TABLE 4.18

REQUIREMENT	MIN.	MAX.
A Front Setback	10 ft	25 ft
B Side Setback ¹	3 ft	-
C Rear Setback ²	5 ft	-
D Lot Coverage	-	70%
E Building Frontage	-	-
F Parking Setback	10 ft	-

TABLE NOTES:

1. Refer to Section 4.2(B)(2), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
2. When an alley is present, the minimum rear/side setback shall be a minimum of 12 feet, measured from the centerline of the alley.

C. HEIGHT

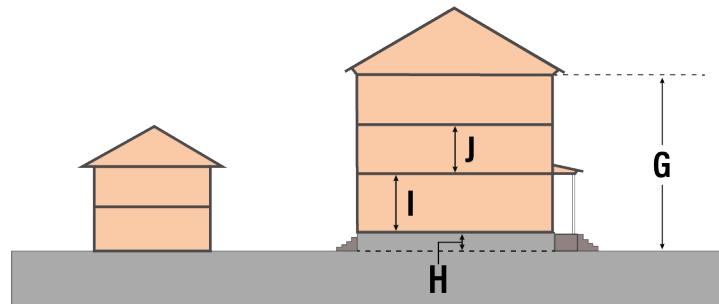


TABLE 4.19

REQUIREMENT	MIN.	MAX.
G Building Height ¹	1 story	3 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance ²	-	14 ft
J Upper Story Clearance	-	14 ft

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
2. Nonresidential ground story uses are permitted a maximum Ground Story Clearance height of 22 feet.

D. ELEMENTS

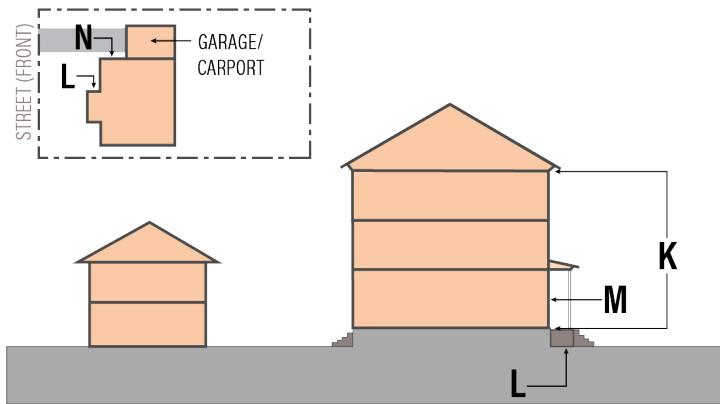


TABLE 4.20

REQUIREMENT			
		MIN.	MAX.
K Fenestration	All Stories	30%	90%
L Building Projections	A front porch/stoop/overhang shall be provided for any ground story residential unit entry.		
M Doors/Entries	A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.		
N Garage/Carport Setback	Garages/carports where the vehicle entry faces a public street shall be setback a minimum of 10 feet from the front facade of the primary structure.		

E. PRIVATE FRONTAGE TYPES

TABLE 4.21

FRONTAGE TYPES (REFER TO TABLE 4.1)

Common Yard	Permitted
Porch & Fence	Permitted
Dooryard	Permitted
Courtyard	Permitted
Stoop	Permitted
Shopfront	Permitted
Gallery	Not Permitted
Arcade	Not Permitted

F. USE CATEGORIES^{1,3}

- Residential
- Lodging²
- Office
- Retail²
- Civic²

NOTES:

1. Refer to Table 7.1: Permitted Use Table for full list of permitted uses within each use category listed.
2. Uses within this category are typically limited.
3. Refer to Section 7.4: Specific Use Standards, for additional limitations for nonresidential land uses located within the Neighborhood Convenience District.

4.4.6 NEIGHBORHOOD DISTRICT (ND)

A. INTENT

The 'Neighborhood District' is comprised of established residential areas. Infill development within this District aims to complement the existing development pattern and characteristics, while supporting additional density, a variety of housing types, and an enhanced relationship between the public and private spaces.

B. SITING

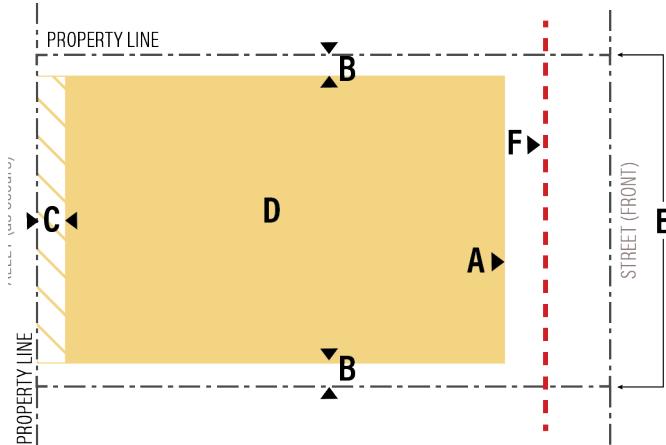


TABLE 4.22

REQUIREMENT	MIN.	MAX.
A Front Setback	15 ft	-
B Side Setback ²	5 ft	-
C Rear Setback ¹	5 ft	-
D Lot Coverage	-	70%
E Building Frontage	-	-
F Parking Setback	10 ft	-

TABLE NOTES:

1. Refer to Section 4.2(B)(2), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
2. When an alley is present, the minimum rear/side setback shall be a minimum of 12 feet, measured from the centerline of the alley.

C. HEIGHT

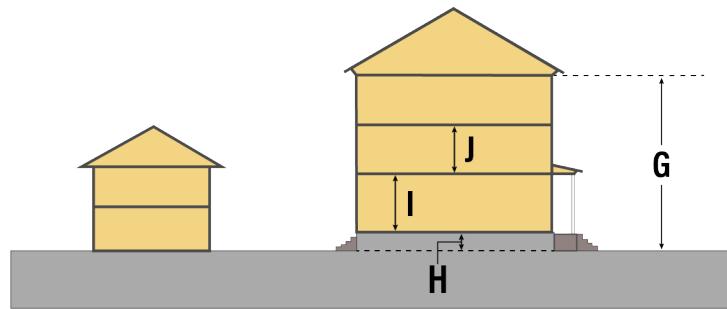


TABLE 4.23

REQUIREMENT	MIN.	MAX.
G Building Height	1 story	3 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance	-	14 ft
J Upper Story Clearance	-	14 ft

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

D. ELEMENTS

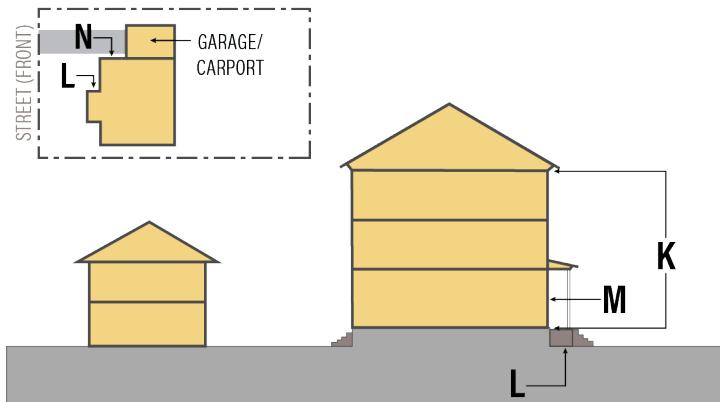


TABLE 4.24

REQUIREMENT			
		MIN.	MAX.
K Fenestration	All Stories	15%	90%
L Building Projections	A front porch/stoop/overhang shall be provided for any ground story residential unit entry.		
M Doors/Entries	A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.		
N Garage/Carport Setback	Garages/carports where the vehicle entry faces a public street shall be setback a minimum of 10 feet from the front facade of the primary structure.		

E. PRIVATE FRONTAGE TYPES

TABLE 4.25

FRONTAGE TYPES (REFER TO TABLE 4.1)

Common Yard	Permitted
Porch & Fence	Permitted
Dooryard	Not Permitted
Courtyard	Permitted
Stoop	Not Permitted
Shopfront	Not Permitted
Gallery	Not Permitted
Arcade	Not Permitted

F. USE CATEGORIES^{1,3}

- Residential
- Lodging²
- Office²
- Retail²
- Civic²

NOTES:

1. Refer to [Table 7.1: Permitted Use Table](#) for full list of permitted uses within each use category listed.
2. Uses within this category are typically limited.
3. Refer to [Section 7.4: Specific Use Standards](#), for additional limitations for nonresidential land uses located within the Neighborhood District.

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PART 5

STREET TYPE STANDARDS

SECTION 5.1 Intent

SECTION 5.2 Street Types

SECTION 5.3 Design Elements & Dimensional Standards

SECTION 5.4 Construction Standards

PART 5: STREET TYPE STANDARDS

5.1 INTENT

- A. The Street Type Standards are intended to establish standards for streets and other transportation facilities that promote a multimodal transportation system that serves a variety of users, including pedestrians, bicyclists, transit, and motorists.
- B. The Street Type Map identifies the functional classifications of all roadways within the Lealman Form-Based District.
- C. The Street Type Standards establish design and dimensional standards for the construction of new streets, retrofit of existing streets, and/or pedestrian and bicycle facilities required with the redevelopment/development of properties within Lealman.

5.2 STREET TYPES

A. CLASSIFICATION

The Street Type Map (Figure 5.1) identifies streets within Lealman as one of the following functional classifications.

1. *Urban Arterial*. A route providing service to an urban area that is relatively continuous and of higher traffic volume. Urban arterials are characterized by slower traffic speeds with transit and pedestrian infrastructure, such as sidewalks and multi-modal paths.
2. *Arterial*. A route providing service which is relatively continuous and of relatively high traffic volume, long average trip length, and high mobility importance, and transit.
3. *Collector*. A route providing service which is of relatively moderate traffic volume and trip length. Collector roadways also collect and distribute traffic between local and arterial roads and serve as a linkage between land access and mobility needs.
4. *Local*. A route providing service which is relatively low traffic volume, short average trip length, and high land access for abutting properties. Local roadways are further classified as major or minor.
 - a. *Major Local*. Major locals provide basic access in higher density residential neighborhoods and commercial and industrial areas.
 - b. *Minor Local*. Minor locals provide basic access in lower density residential neighborhoods and commercial and industrial areas.
5. *Alleys*. A route that provides service access behind/along-side individual properties; alleys provide very short access between the property and higher classified roadways. Alleys serve as an important access to private property, parking, utilities, and trash collection.

B. HIERARCHY

Street Type classifications shall be ordered in the following hierarchy: Urban Arterial; Arterial; Collector; Major Local; Minor Local.

5.3 DESIGN ELEMENTS & DIMENSIONAL STANDARDS

All street design elements shall meet with the standards in **Table 5.1: Street Design Elements & Dimensional Standards**.

TABLE 5.1: STREET DESIGN ELEMENTS & DIMENSIONAL STANDARDS

DESIGN ELEMENTS	STREET TYPE CLASSIFICATION					
	URBAN ARTERIAL	ARTERIAL	COLLECTOR	MAJOR LOCAL	MINOR LOCAL	ALLEY
TRAVEL LANES	REQUIRED	REQUIRED	REQUIRED	REQUIRED	REQUIRED	REQUIRED
Minimum Width	11 ft	11 ft	11 ft	10 ft	10 ft	12 ft
Maximum Width	11 ft	12 ft	-	-	-	20'
Number of Travel Lanes	2 - 4	2 - 6	2 - 4	2	2	1 - 2
STREET PARKING	REQUIRED	OPTIONAL	OPTIONAL	OPTIONAL	OPTIONAL	-
Parallel - Minimum Width	8 ft	8 ft	8 ft	8 ft	8 ft	-
Angled / 90° - Minimum Width	19 ft	19 ft	19 ft	19 ft	19 ft	-
CURBS	REQUIRED	REQUIRED	Required where sidewalks abut travel lanes.			
Design Standards	Based on Pinellas County Standard Detail Manual requirements.					
PLANTER STRIP	OPTIONAL ¹	OPTIONAL ¹	OPTIONAL ¹	REQUIRED ¹	REQUIRED ¹	OPTIONAL ¹
Minimum Width	5 ft	5 ft	5 ft	5 ft	5 ft	5 ft
STREET TREES	REQUIRED ²	OPTIONAL ²	OPTIONAL ²	REQUIRED ²	REQUIRED ²	-
Design Standards	All Street Trees shall comply with Section _____ of the Landscape Design Standards.					
SIDEWALK	REQUIRED ³	REQUIRED ³	REQUIRED ³	REQUIRED ³	REQUIRED ³	OPTIONAL ³
Preferred Width	10 ft	8 ft	8 ft	6 ft	6 ft	-
Minimum Width	6 ft	6 ft	6 ft	5 ft	5 ft	-
MULTIMODAL TRAILS & PATHWAYS	OPTIONAL	OPTIONAL	OPTIONAL	OPTIONAL	OPTIONAL	-
Preferred Width	15 ft	15 ft	15 ft	15 ft	15 ft	-
Minimum Width	8 ft	8 ft	8 ft	8 ft	8 ft	-
DESIGNATED BICYCLE FACILITIES	REQUIRED ⁴	REQUIRED ⁴	REQUIRED ⁴	OPTIONAL ⁴	OPTIONAL ⁴	OPTIONAL ¹

NOTES:

3. The planter strip shall be placed between the edge of pavement and the public sidewalk. The planter strip may be replaced with additional sidewalk area. The planter strip may be omitted at intersections. Planter strips may be provided as Low Impact Development (LID) stormwater management features.
4. Street trees may be planted within a planter strip between the edge of pavement and the public sidewalk or within planters within a sidewalk.
5. Sidewalks may not be required on the side of the street where a multimodal trail or pathway is present.
6. Physical separation of bicycle facilities is required for streets with posted speeds above 35 MPH.

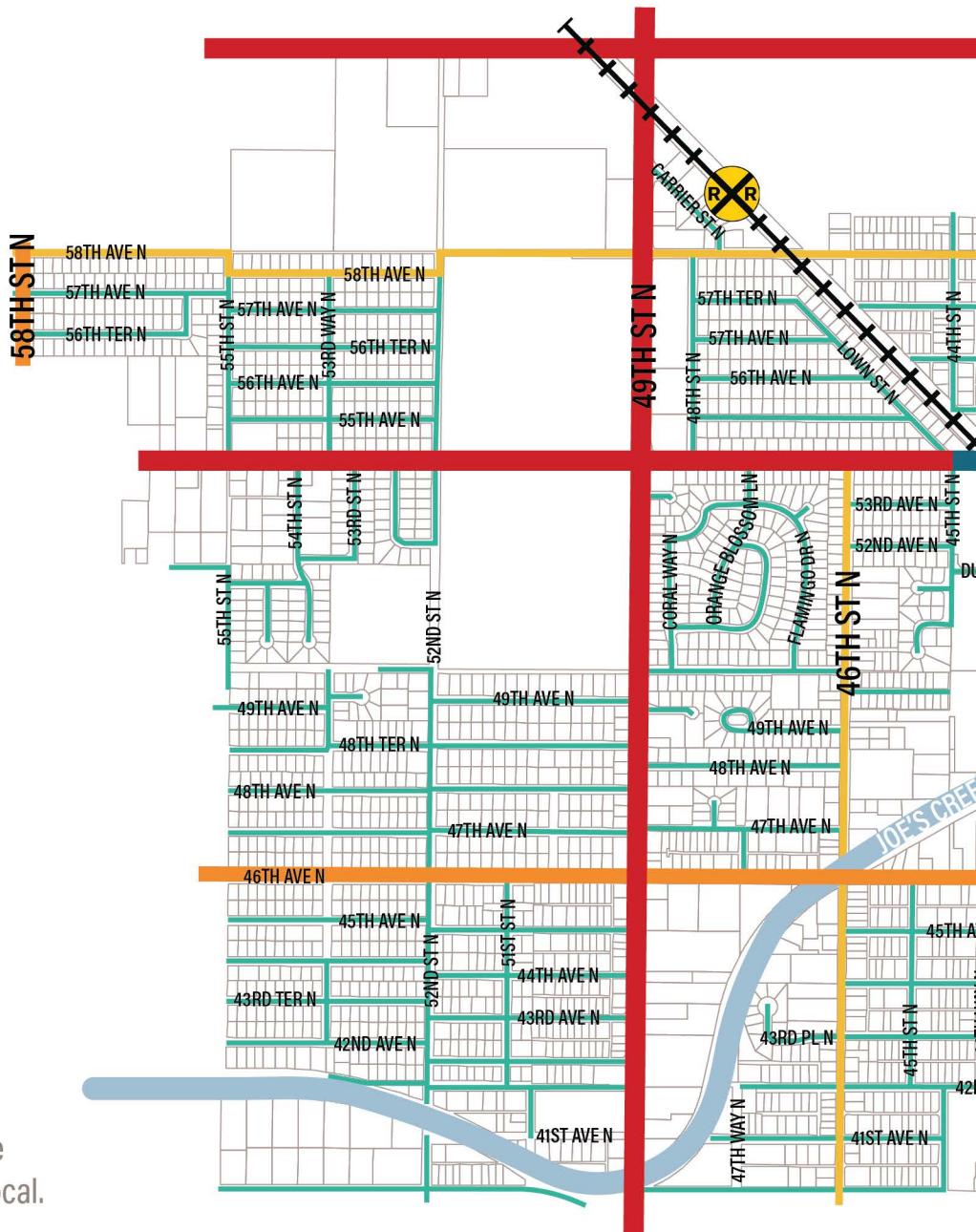
5.4 CONSTRUCTION STANDARDS

All new streets and sidewalks shall comply with the construction standards set forth in **Chapter 154, Article III, Division 3 of the Pinellas County Land Development Code**.

FIGURE 5.1: STREET TYPE MAP

LEALMAN FIBC STREET TYPES

- URBAN ARTERIAL
- ARTERIAL
- COLLECTOR
- MAJOR LOCAL
- MINOR LOCAL*





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PART 6

DEVELOPMENT DESIGN STANDARDS

SECTION 6.1 Intent

SECTION 6.2 Site Design Standards

SECTION 6.3 Building Design Standards

SECTION 6.4 Landscape Design Standards

SECTION 6.5 Sign Design Standards

PART 6: DEVELOPMENT DESIGN STANDARDS

6.1 INTENT

- A. The Development Design Standards establish site, building, landscaping, and signage standards for the development/redevelopment of properties within the Districts.
- B. These standards are intended to preserve and build on the existing development pattern in order to promote a walkable, pedestrian-focused community.
- C. The Development Design Standards are further intended to provide a safe, functional, and attractive built environment and circulation pattern for all users and transportation modes.

6.2 SITE DESIGN STANDARDS

The following 'Site Design Standards' apply to all new development and the redevelopment of properties within Lealman. These provisions also include expansions and remodels, per [Section 2.4: Applicability](#).

A. GENERAL

1. *Existing Street Preservation.* The vacating of public streets and alleys shall be discouraged in order to preserve the existing street network, unless new public streets and alleys are constructed that serve the function of those vacated.
2. *New Streets.* The construction of any new public streets shall align with and follow the existing gridded street network. Cul-de-sacs shall be avoided where possible, as determined by the Code Administrator.
3. *Blocks & Lots.*
 - a. All lots shall front on at least one public street.
 - b. All lots and/or contiguous lots that are situated between 2 parallel public streets shall be considered a block. No block shall have a length greater than 600 feet without providing pedestrian through-access to another public street, pedestrian pathway, or public space/facility. (See [Figure 6.1](#))
4. *Alleys.*
 - a. In situations where an existing alleyway is unimproved, the alley shall be cleared and/or improved up to the access point(s) of the development. The alley width shall be consistent with the existing alley (if applicable) up to 20 feet, or consistent with [Table 5.1: Street Type Standards](#).
 - b. The development/redevelopment of a lot or combination of contiguous lots, with a minimum dimension of 600 feet by 600 feet, shall incorporate the use of dedicated alley(s) into the development design, where possible as determined by the Code Administrator. Where there is an existing alley network, the construction of any new alley shall align with that existing network pattern. (See [Figure 6.2](#))
5. *Outdoor Pedestrian Areas.* Structures, landscaping, and/or another method shall be provided around outdoor pedestrian use areas, such as outdoor dining areas, to provide shade and reduce heat island effects.
6. *Service & Loading.* All service areas and loading docks shall be located behind the front facade line of the primary structure they are intended to serve and shall

Figure 6.1 Block Length

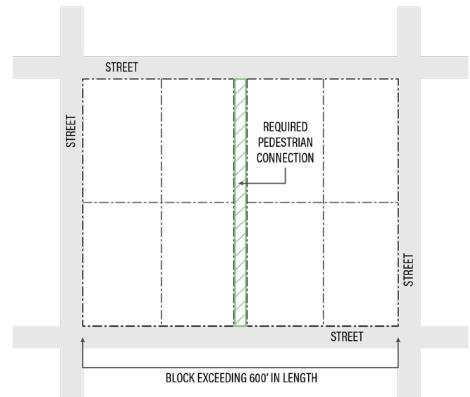
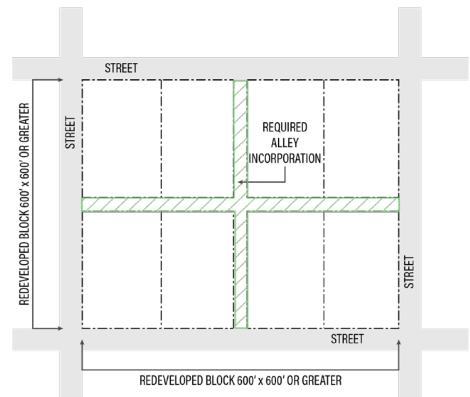


Figure 6.2 Alley Incorporation



be screened, per [Section 6.4\(D\)](#), from adjacent streets and properties.

7. *Dumpster Enclosure.* All dumpsters, recycling, and other similar containers shall be screened from view of all public streets and adjacent properties. The screening shall be a fence/wall that is a minimum of 6 feet in height and 100% opaque. The fence/wall shall be constructed of wood, stone, masonry, or of a similar material. Chain link fence with interwoven plastic strips or other similar fencing is not permitted.
8. *Stormwater Management.*
 - a. All development shall comply with the Pinellas County Stormwater Manual of current adoption.
 - b. Underground exfiltration trenches, open-bottomed underground storage, below-building detention vaults, and retention systems, or Low Impact Development stormwater management systems, such as rain gardens, vegetation swales, or pervious pavers are permitted to be located anywhere on site. Traditional stormwater facilities, such as dry/wet retention/detention ponds are not permitted to be located in front of the primary building on the property. These types of facilities shall be located to the rear and side of buildings.
9. *Fence/Wall Standards.*
 - a. *Height.* The maximum height for any fence/wall located within the front yard is 3 feet and 8 feet in any side or rear yard. Pool enclosures must meet minimum height requirements per the Florida Building Code.
 - b. *Location.* Fences may be constructed up to the property lines, except when there is a sight visibility conflict, per [Section 6.2\(B\)\(5\)](#).
 - c. *Material.*
 - i. Front yard fences/walls facing a public street shall be constructed of decorative materials, such as wood or aluminum pickets, masonry, wrought iron, or of a similar material. Chain link fencing and chain link fencing with interwoven slats shall be prohibited along street frontages.
 - ii. Structural elements of the fence/wall shall face inward to the subject property.
 - iii. Materials such as, or similar to, barbed wire, electric, razor, or chicken wire shall be prohibited.

B. ACCESS

1. *Pedestrian Access.*
 - a. Where public sidewalks are required along a roadway, per [Table 5.1: Street Design Elements & Dimensional Standards](#), but do not exist along a property's frontage(s), sidewalks shall be constructed within the public right-of-way or dedicated easement at the time of site development/redevelopment. Sidewalk widths and design features shall be consistent with [Part 5](#) of this Code.

- b. Pedestrian walkways shall be provided for access from public sidewalks to building entries, parking lots/structures behind or to the side of structures, and to connect to walkways on adjacent properties in order to create a continuous pedestrian network.
- c. Any pedestrian walkway that crosses a parking or vehicular area, including nonresidential driveways, shall be clearly delineated with striping, contrasting pavement materials, textured or raised pavement, or of a similar treatment.
- d. Where properties are adjacent to existing/future trails or transit stops, pedestrian and/or bicycle connections shall be incorporated into the development/redevelopment project.

2. *Primary Vehicular Access.*

- a. All vehicular access shall be provided from a public alley, where alleys are present or when constructed as part of a new development/redevelopment.
- b. When alley access is not available, vehicular access shall be provided from the lowest classified street type, per [Figure 5.1: Street Type Map](#), subject to final review and determination by the Code Administrator.

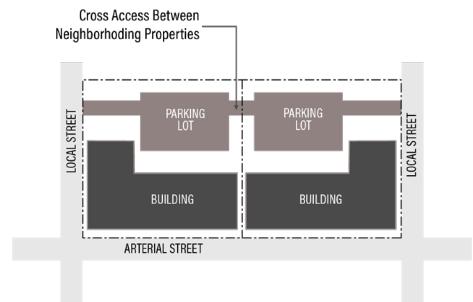
3. *Access & Drive Consolidation.* In the interest of providing unified access and circulation systems, the following shall apply:

- a. Where surface parking areas on adjacent sites lie within 50 feet of one another, a request shall be made of the neighboring property as part of the application process to create connecting drive aisles at the common lot line, provided a mutual access easement has been executed. This agreement may also be included with a shared parking agreement. (See [Figure 6.3](#))
- b. Development sites under the same ownership or sites consolidated for the purposes of development, shall utilize a shared circulation system that minimizes curb cuts and is designed to provide safe maneuvering between parking areas.
- c. If a property gains vehicular access from an existing shared driveway, access shall continue to be shared or further consolidated in the event of redevelopment of the subject property.
- d. Wherever possible, curb cuts and driveways shall be consolidated and located in a way to minimize pedestrian conflicts with vehicular movement.

4. *New Curb Cuts & Driveways.*

- a. New curb cuts and driveways shall be aligned with existing or planned entrances on the opposite side of the street, where possible.
- b. No access point from a property to a public street shall exceed the following widths:
 - i. Mercantile and Warehouse Districts: No entrance shall exceed 20 feet in width per lane.

Figure 6.3 Cross Access Drive

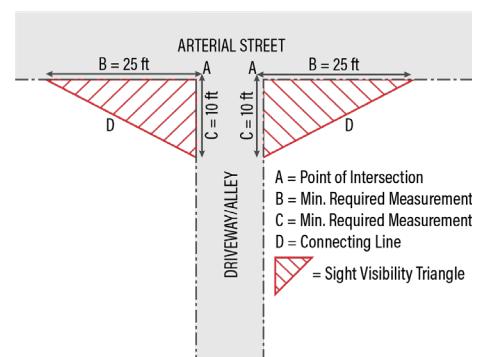


- ii. All other Districts: No entrance shall exceed 24 feet total in width.

5. *Intersection Sight Visibility.*

- a. Whenever a driveway/alley intersects with an arterial street, sight visibility triangles shall be provided on all corners of the intersection that meet the following standards:
 - i. The sight visibility triangle is formed with 2 sides, being 25 feet in length along the arterial street rights-of-way lines ("B") and 10 feet along the driveway/alley rights-of-way ("C"), measured from their point of intersection ("A"), and the third side being a line connecting the ends of the other 2 sides ("D"). (See [Figure 6.4](#))
 - ii. Within required sight visibility triangle(s), unobstructed sight lines and cross visibility shall be maintained between a height of 3 feet and 8 feet above pavement.
 - iii. *Exemptions:*
 - 1. Where permitted, transparent fences including chain link, wrought iron, and similar styles may be exempt so long as visibility is maintained through the fence.
 - 2. Governmental signage and sign posts in the right-of-way.
 - 3. Fire hydrants, benches, and traffic control devices in the right-of-way.
 - 4. Utility poles and one utility transmission or control device in the right-of-way.
 - b. For all other intersections, design or engineering methods that ensure clear visibility and safety shall be required. This shall be reviewed as part of the site plan review.

Figure 6.4 Sight Visibility Triangle



6.3 BUILDING DESIGN STANDARDS

A. BUILDING TYPES

Appropriate and scaled Building Types are identified for each District. Each Building Type includes a general description with typical features, allowable private frontage types, and permitted Districts. The Building Types are intended to provide more predictability of an area's built environment, while also appropriately scaling new development/redevelopment of properties within the established neighborhoods of Lealman.

The typical features outlined in this section are intended to generally describe the range in scale and components of each building type. The District Standards and intents established in [Part 4](#) of this Code further define the allowable scale for each building type (i.e. maximum height).

[Table 6.1](#): Building Types Summary Table provides an overview of the allowed Building Types and identifies which District each type is permitted.

TABLE 6.1: BUILDING TYPES SUMMARY TABLE

BUILDING TYPE	GENERAL DESCRIPTION	DISTRICTS
CARRIAGE HOUSE / ADU	 <p>A secondary structure that is detached from a single-unit dwelling, typically located at the rear of a lot. This structure provides habitable living space for a small residential unit. This structure may be stand-alone or located above a garage or workshop behind the primary residence on the property. This is an important building type for providing affordable housing opportunities and options within neighborhoods.</p>	     
SINGLE-UNIT HOUSE, VILLAGE	 <p>A medium sized, detached structure located on a medium sized lot that incorporates one dwelling unit. This building type typically is located within primarily single-unit residential neighborhoods or near a neighborhood main street.</p>	     
SINGLE-UNIT HOUSE, COTTAGE	 <p>A small, detached structure on a small lot that incorporates one dwelling unit. This building type typically is located within primarily single-unit residential neighborhoods or near a neighborhood main street. This type enables appropriately scaled higher densities and is important for providing a wide choice of housing types.</p>	     
BUNGALOW COURT	 <p>A series of small, detached structures, providing multiple dwelling units (one unit per building) that are arranged around a shared court that is typically perpendicular to the street. This building type is appropriately scaled to locate within single-unit residential neighborhoods and is important for providing a wide choice of housing types.</p>	     
DUPLEX	 <p>A small to medium sized structure that consists of two dwelling units that are either side-by-side or stacked within a single building. This type has the appearance of a medium to large single-unit home and is scaled to fit within primarily single-unit neighborhoods or medium density neighborhoods. This is an important building type to provide for a wide variety of housing choices.</p>	     
TOWNHOME / ROWHOUSE	 <p>A small to medium sized structure that typically consists of 2 - 8 rowhouses placed side-by-side. This building type is typically located in medium density neighborhoods or can serve as a transition from a single-unit neighborhood into a neighborhood main street. This building type enables appropriately scaled housing and is important for providing a variety of housing choices.</p>	     
MULTI-PLEX, SMALL	 <p>A medium sized structure that accommodates 3 - 6 side-by-side or stacked dwelling units, typically with one shared entry. This building type typically has the appearance of a medium sized Family home and is appropriately scaled to be located within single-unit neighborhoods. This building type is important for providing a wide variety of housing choices.</p>	     
MULTI-PLEX, LARGE	 <p>A medium to large sized structure that accommodates 7 - 12 side-by-side or stacked dwelling units, typically with one shared entry. This building type is typically located within medium density neighborhoods and provides additional density and housing variety within an appropriately scaled structure.</p>	     
COURTYARD BUILDING	 <p>A medium to large sized structure that accommodates multiple side-by-side or stacked dwelling units that are provided access from a shared courtyard. Each dwelling unit may have its own individual entry or there may be a common entry for multiple units. This building type is typically located within single-unit and medium density neighborhoods. This building type is appropriately scaled for a neighborhood setting, while allowing for additional density and housing variety.</p>	     

BUILDING TYPE	GENERAL DESCRIPTION	DISTRICTS
PARK MODEL	 <p>A small detached structure that contains one dwelling unit located either stand alone on a single lot or within a larger development of similar building types. This building type shall be built/placed on a foundation. This building type is intended to only be permitted where there is an existing mobile home or within an existing mobile home/RV park. This building type enables deteriorating mobile home structures to be replaced with safe and affordable homes.</p>	<i>Only permitted on an existing lot with a mobile home or within an existing mobile home/RV park.</i>
WORK / LIVE BUILDING	 <p>A small to medium, attached or detached structure that contains one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, retail, office, or industrial uses. Typically both the flex space and dwelling unit are owned by one entity. This type is typically located in medium density neighborhoods or can serve as a transition to a commercial street. This is an important type to incubate neighborhood-serving retail and services and to allow neighborhood main streets to expand to respond to market demands.</p>	
MAIN STREET BUILDING	 <p>A small to medium sized structure that is typically attached and intended to provide a vertical mix of uses with ground-floor retail or office uses and upper story office or residential uses. This building type is typically the primary component of a neighborhood main street and is an important building type to encourage walkability.</p>	
CORNER STORE	 <p>A small structure that is situated on a corner lot with shopfronts along the sidewalk built at street level. If more than one story in height, this building type may be used with either office or residential on the upper story(ies). This building type is appropriately scaled to compliment primarily residential neighborhoods and is important for providing neighborhood-serving businesses to nearby residences.</p>	
FLEX BUILDING	 <p>A medium to large-sized structure, 1-3 stories in height that can accommodate a range of users, including industrial, retail, office, or mixed use with residential where appropriate. This building type can apply to existing buildings in industrial and commercial areas that can be retrofitted or utilized for adaptive reuse. This building type is typically located in industrial areas and urban neighborhoods and is important for providing a mix of buildings in developed neighborhoods.</p>	
MID-RISE BUILDING	 <p>A medium to large sized structure, 3-5 stories tall, built on a large lot and typically incorporates structured parking. This building type provides for vertical mixed use with ground floor retail or office uses and upper floor retail, office, or residential uses; or this type may be single-use, typically service or residential when ground floor retail is not appropriate. This building type provides for higher density and is a primary component of an urban downtown.</p>	
PARK-UNDER / LINER BUILDING	 <p>A medium to large sized structure designed to mask a parking lot from streets. Parking is contained at ground level with access from the rear of the structure. This type must contain habitable space, typically residential or office, on all upper stories. Retail shopfronts can be located on the ground story, depending on structure layout. This type can be appropriately scaled for medium density neighborhoods, as well as, serve as a transition to commercial streets. This type provides for variety in both housing and commercial building types.</p>	
LARGE FOOTPRINT BUILDING	 <p>A large sized structure that is typically devoted to a single use. This building type is typically located along arterial street or within industrial areas. Large footprint buildings are required to provide habitable frontages along street-facing facades or public spaces.</p>	
CONTAINER / PRE-FAB	 <p>A non-traditional structure/building that has been partially or fully constructed off-site and may utilize adaptive reuse construction, such as a shipping container repurposed as a dwelling or cafe space. This building type can be innovatively integrated and appropriately scaled to compliment both urban and neighborhood areas. This type can be stand-alone or integrated into a mixed-use redevelopment that may include various building types. This type widens both housing and commercial building type choices and affordability.</p>	

6.3.1 CARRIAGE HOUSE / ACCESSORY DWELLING UNIT (ADU)



Alley-loading garage with small living unit above.



Detached ADU with complimentary architectural style.



Detached ADU located behind primary residence.

A. DESCRIPTION

A secondary structure that is detached from a single-unit dwelling, typically located at the rear of a lot. This structure provides habitable living space for a small residential unit. This structure may be stand-alone or located above a garage or workshop behind the primary residence on the property. This is an important Building Type for providing affordable housing opportunities and options within neighborhoods.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: 1
- BUILDINGS PER LOT: 1
- HEIGHT: 1-2 Stories
- USES: Residential

Refer to Section 7.4(A)(3) for specific ADU use standards.

D. PRIVATE FRONTAGE TYPES:

- N/A

General Note: Photos on this page are illustrative, not regulatory.

6.3.2 SINGLE-UNIT HOUSE, VILLAGE



A. DESCRIPTION

A medium-sized, detached structure located on a medium-sized lot that incorporates one dwelling unit. This Building Type typically is located within primarily single-unit residential neighborhoods or near a neighborhood main street.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: 1
- BUILDINGS PER LOT: 1
- HEIGHT: 1-3 Stories
- USES: Residential

D. PRIVATE FRONTAGE TYPES:

- Common Yard
- Porch & Fence

General Note: Photos on this page are illustrative, not regulatory.

6.3.3 SINGLE-UNIT HOUSE, COTTAGE



Small-sized home with a front porch.



Small-sized home with a recessed front stoop.



Small-sized, stucco home with front stoop.

A. DESCRIPTION

A small, detached structure on a small lot that incorporates one dwelling unit. This Building Type typically is located within primarily single-unit neighborhoods or near a neighborhood main street. This type enables appropriately scaled higher densities and is important for providing a wide choice of housing types.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

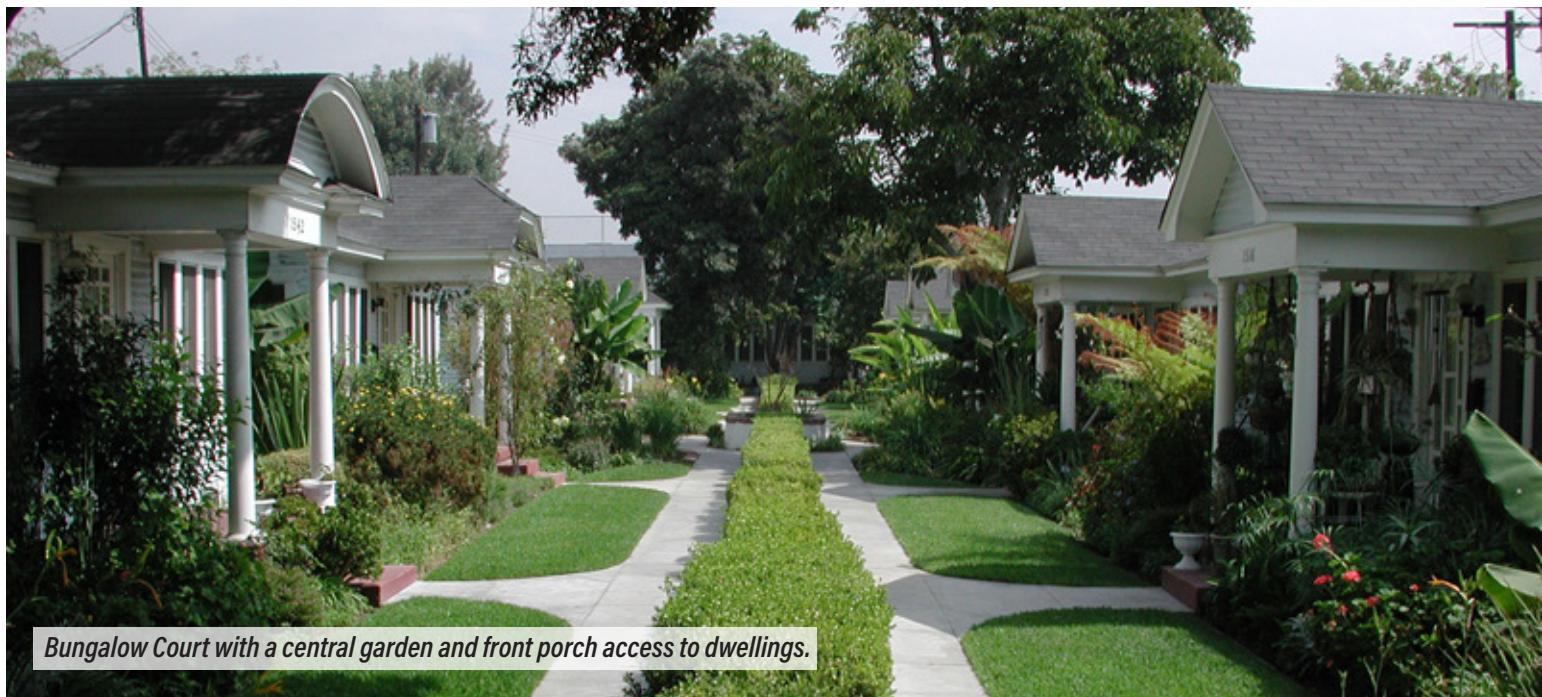
- UNITS: 1
- BUILDINGS PER LOT: 1
- HEIGHT: 1-3 Stories
- USES: Residential

D. PRIVATE FRONTAGE TYPES:

- Common Yard
- Porch & Fence

General Note: Photos on this page are illustrative, not regulatory.

6.3.4 BUNGALOW COURT



A. DESCRIPTION

A series of small, detached structures, providing multiple dwelling units (one per building) that are arranged around a shared court that is typically perpendicular to the street. This building type is appropriately scaled to locate within single-unit residential neighborhoods and is important for providing a wide choice of housing types.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: 1 per Building
- BUILDINGS PER LOT: 3-10
- HEIGHT: 1-2 Stories
- USES: Residential

D. PRIVATE FRONTAGE TYPES:

- Common Yard
- Porch & Fence

RESIDENTIAL BUILDING TYPE

General Note: Photos on this page are illustrative, not regulatory.

6.3.5 DUPLEX



Example of a side-by-side, two story duplex.



Example of a stacked duplex.



Example of a modern, side-by-side duplex.

A. DESCRIPTION

A small to medium structure that consists of two dwelling units that are either side-by-side or stacked within a single building. This type has the appearance of a medium to large single-unit home and is scaled to fit within primarily single-unit neighborhoods or medium density neighborhoods. This is an important building type to provide a wide variety of housing choices.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: 2
- BUILDINGS PER LOT: 1
- HEIGHT: 1-3 Stories
- USES: Residential

D. PRIVATE FRONTAGE TYPES:

- Common Yard
- Porch & Fence
- Dooryard

General Note: Photos on this page are illustrative, not regulatory.

6.3.6 TOWNHOUSE / ROWHOUSE



Example of a 2-story townhome with direct street-space access.



Example of rowhouses with a dooryard frontage.



Example of 3-Story Townhomes with stoops.

A. DESCRIPTION

A small to medium sized structure that typically consists of 2-8 rowhouses placed side-by-side. This building type is typically located in medium density neighborhoods or can serve as a transition from a single-unit neighborhood into a neighborhood main street. This building type enables appropriately scaled housing and is important for providing a variety of housing choices.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: 1 per Rowhouse or 1 per Floor
- BUILDINGS PER LOT: 1
- HEIGHT: 2-5 Stories
- USES: Residential

D. PRIVATE FRONTAGE TYPES:

- Dooryard
- Stoop

General Note: Photos on this page are illustrative, not regulatory.

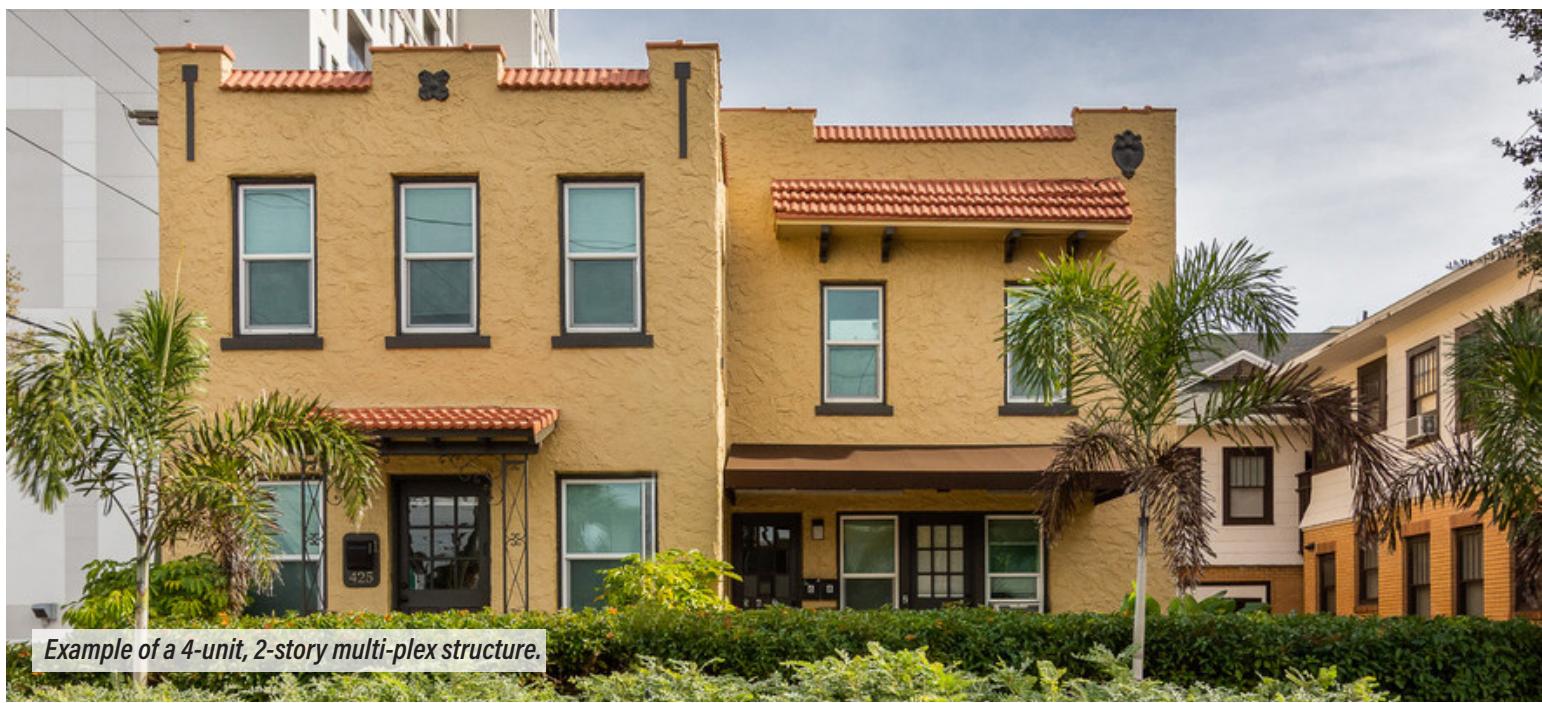
6.3.7 MULTI-PLEX, SMALL



Example of a small multi-plex structure.



A 2-story multi-plex, small structure.



Example of a 4-unit, 2-story multi-plex structure.

A. DESCRIPTION

A medium sized structure that accommodates 3-6 side-by-side or stacked dwelling units, typically with one shared entry. This building type typically has the appearance of a medium sized family home and is appropriately scaled to be located within single-unit neighborhoods. This building type is important for providing a wide variety of housing choices.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: 3-6
- BUILDINGS PER LOT: 1
- HEIGHT: 1-3 Stories
- USES: Residential

D. PRIVATE FRONTAGE TYPES:

- Common Yard
- Porch & Fence

General Note: Photos on this page are illustrative, not regulatory.

6.3.8 MULTI-PLEX, LARGE



A. DESCRIPTION

A medium to large sized structure that accommodates 7 – 12 side-by-side or stacked dwelling units, typically with one shared entry. This building type is typically located within medium density neighborhoods and provides additional density and housing variety within an appropriately scaled structure.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: 7-12
- BUILDINGS PER LOT: 1
- HEIGHT: 2-5 Stories
- USES: Residential

D. PRIVATE FRONTAGE TYPES:

- Dooryard
- Stoop

RESIDENTIAL BUILDING TYPE

General Note: Photos on this page are illustrative, not regulatory.

6.3.9 COURTYARD BUILDING



Courtyard Apartments with individual unit access.



Large, multi-story courtyard building.

A. DESCRIPTION

A medium to large sized structure that accommodates multiple side-by-side or stacked dwelling units that are provided access from a shared courtyard. Each dwelling unit may have its own individual entry or there may be a common entry for multiple units. This building type is typically located within single-unit and medium density neighborhoods. This building type is appropriately scaled for a neighborhood setting, while allowing for additional density and housing variety.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: 4-24
- BUILDINGS PER LOT: N/A
- HEIGHT: 1-5 Stories
- USES: Residential

D. PRIVATE FRONTAGE TYPES:

- Courtyard

RESIDENTIAL BUILDING TYPE

General Note: Photos on this page are illustrative, not regulatory.



Example of small courtyard units.

6.3.10 PARK MODEL



A. DESCRIPTION

A small detached structure that contains one dwelling unit located either stand alone on a single lot or within a larger development of similar building types. This building type shall be built/placed on a foundation. This building type is intended to only be permitted where there is an existing mobile home or within an existing mobile home. This building type enables deteriorating mobile home structures to be replaced with safe and affordable homes.

B. PERMITTED DISTRICTS

Only permitted on an existing lot with a mobile home or within an existing mobile home.

C. TYPICAL FEATURES

- UNITS: 1
- BUILDINGS PER LOT: Variable
- HEIGHT: 1-2 Stories
- USES: Residential

Refer to Section 38-100 of the Pinellas County Code.

D. PRIVATE FRONTAGE TYPES:

- Common Yard
- Porch & Fence

General Note: Photos on this page are illustrative, not regulatory.

6.3.11 WORK / LIVE BUILDING



A smaller-scale, 2-story work/live building.



Example of a 3-story work-live building.

A. DESCRIPTION

A small to medium attached or detached structure that contains one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, retail, office, or industrial uses. Typically, both the flex space and dwelling unit are owned by one entity. This type is typically located in medium density neighborhoods or can serve as a transition to a commercial street. This is an important building type to incubate neighborhood-serving retail and services and to allow neighborhood main streets to expand to respond to market demands.

B. PERMITTED DISTRICTS



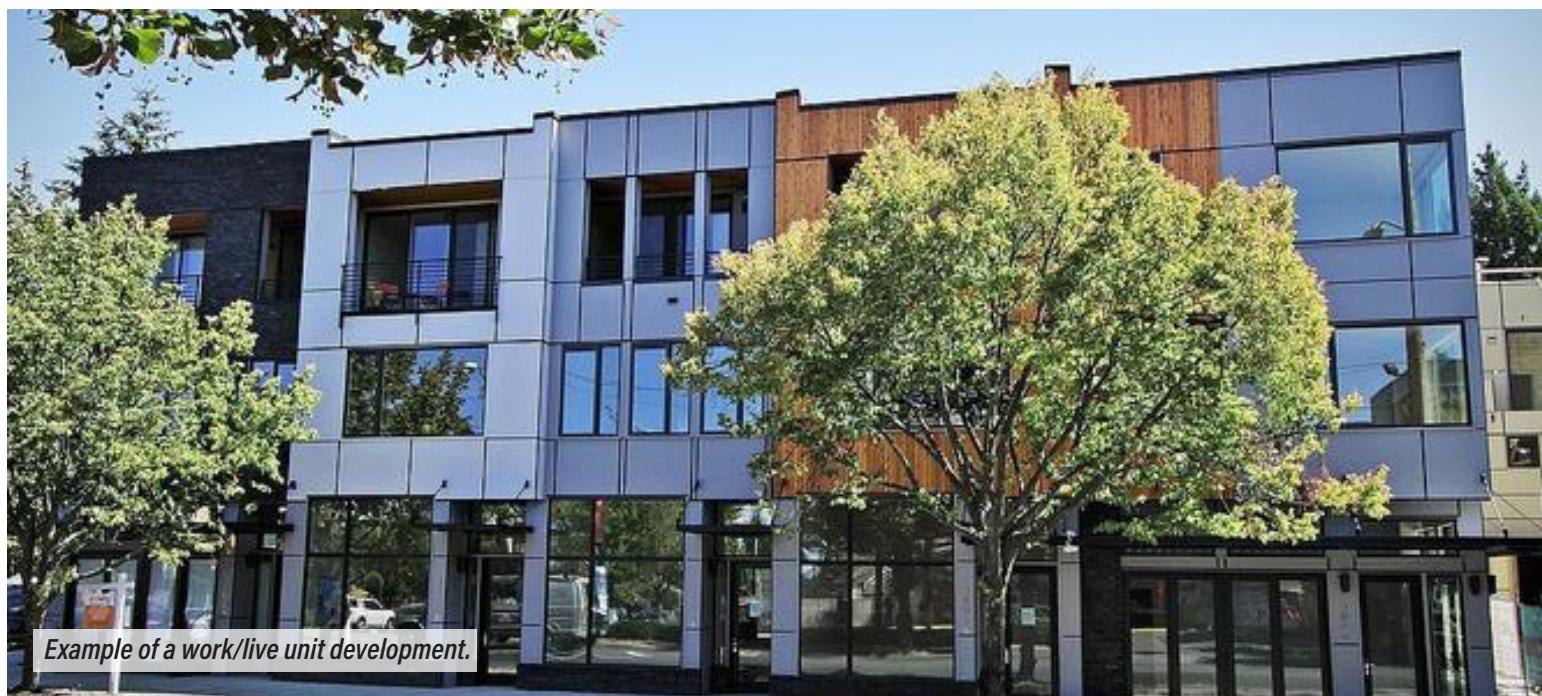
C. TYPICAL FEATURES

- UNITS: 1-2
- BUILDINGS PER LOT: 1-2
- HEIGHT: 1-5 Stories
- USES: Flexible Retail, Office, or Industrial on Ground Story; Residential

D. PRIVATE FRONTAGE TYPES:

- Stoop
- Shopfront
- Gallery / Arcade

General Note: Photos on this page are illustrative, not regulatory.



Example of a work/live unit development.

6.3.12 MAIN STREET BUILDING



A traditional main street downtown building scape.



Example of contemporary main street buildings.



Example of traditional main street style buildings.

A. DESCRIPTION

A small to medium sized structure that is typically attached and intended to provide a vertical mix of uses with ground-floor retail or office uses and upper story office or residential uses. This building type is typically the primary component of a neighborhood main street and is an important building type to encourage walkability.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: Variable
- HEIGHT: 2-3 Stories
- USES: Retail or Office on Ground Story; Residential or Office on Upper Stories

D. PRIVATE FRONTAGE TYPES:

• Dooryard	• Shopfront
• Courtyard	• Gallery / Arcade
• Stoop	

General Note: Photos on this page are illustrative, not regulatory.

6.3.13 CORNER STORE



A. DESCRIPTION

A small structure that is situated on a corner lot with shopfronts along the sidewalk built at street level. If more than one story in height, this building type may be mixed-use with either office or residential on the upper story(ies). This building type is appropriately scaled to compliment primarily residential neighborhoods and is important for providing neighborhood-serving businesses to nearby residences.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: 1-4
- HEIGHT: 1-3 Stories
- USES: Retail or Office on Ground Story; Residential or Office on Upper Stories

D. PRIVATE FRONTAGE TYPES:

- Courtyard
- Shopfront

General Note: Photos on this page are illustrative, not regulatory.

6.3.14 FLEX BUILDING



A. DESCRIPTION

A medium to large sized structure, 1-3 stories in height that can accommodate a range of users, including industrial, retail, office, or mixed use with residential where appropriate. This building type can apply to existing buildings in industrial and commercial areas that can be retrofitted or utilized for adaptive reuse. This building type is typically located in industrial areas and urban neighborhoods and is important for providing a mix of buildings in developed neighborhoods.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: Variable
- HEIGHT: 1-3 Stories
- USES: Industrial; Retail; Office; Automotive; Recreation; Residential

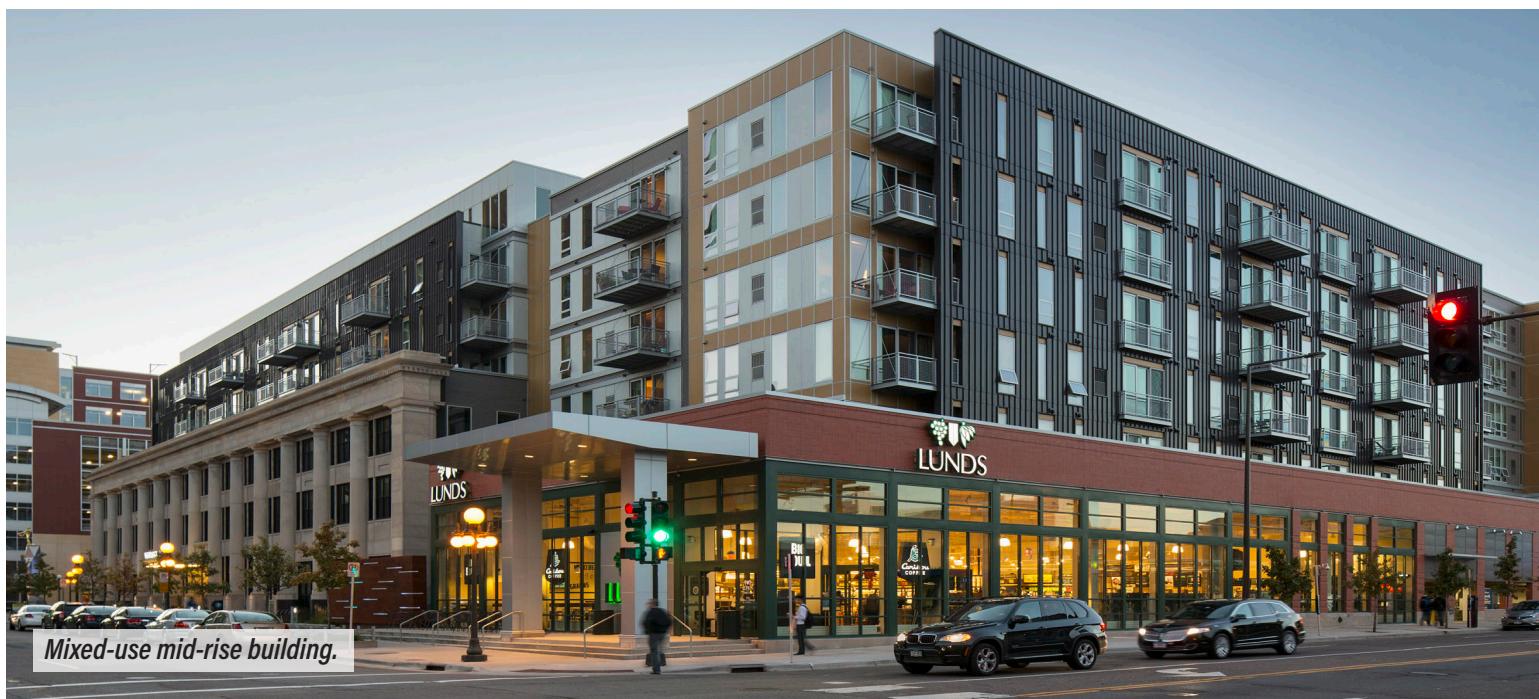
D. PRIVATE FRONTAGE TYPES:

- Dooryard
- Courtyard
- Stoop
- Shopfront

General Note: Photos on this page are illustrative, not regulatory.



6.3.15 MID-RISE BUILDING



A. DESCRIPTION

A medium to large sized structure, 3-5 stories tall, built on a large lot and typically incorporates structured parking. This building type provides for vertical mixed use with ground floor retail or office uses and upper floor retail, office or residential uses; or this type may be single-use, typically service or residential when ground floor retail is not appropriate. This building type provides for higher density and is a primary component of an urban downtown.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: Variable
- HEIGHT: 3-5 Stories
- USES: Retail; Office; Residential

D. PRIVATE FRONTAGE TYPES:

• Dooryard	• Shopfront
• Courtyard	• Gallery / Arcade
• Stoop	

General Note: Photos on this page are illustrative, not regulatory.

6.3.16 PARK-UNDER / LINER BUILDING



Residential park-under building.



Multiple park-under buildings.

A. DESCRIPTION

A medium to large sized structure design to mask a parking lot from streets. Parking is contained at ground level with access from the rear of the structure. This type must contain habitable space, typically residential or office, on all upper stories. Retail shopfronts can be located on the ground story, depending on structure layout. This type can be appropriately scaled for medium density neighborhoods, as well as, serve as a transition to commercial streets. This type provides for variety in both housing and commercial building types.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: Variable
- HEIGHT: 2-5 Stories
- USES: Office; Retail; Residential

Ground story parking counts towards the total number of stories.

D. PRIVATE FRONTAGE TYPES:

- Dooryard
- Courtyard
- Stoop
- Shopfront

General Note: Photos on this page are illustrative, not regulatory.



A mixed-use liner building constructed around an existing parking garage.

6.3.17 LARGE FOOTPRINT BUILDING



A. DESCRIPTION

A large sized structure that is typically devoted to a single use. This building type is typically located along arterial streets or within industrial areas. Large footprint buildings are required to provide habitable frontages along street-facing facades or public spaces.

B. PERMITTED DISTRICTS



C. TYPICAL FEATURES

- UNITS: Variable
- HEIGHT: 1-3 Stories
- USES: Retail; Office; Residential

D. PRIVATE FRONTAGE TYPES:

• Dooryard	• Stoop
• Courtyard	• Shopfront

General Note: Photos on this page are illustrative, not regulatory.

6.3.18 CONTAINER BUILDING / PRE-FAB



Example of an infill container home in a single-unit neighborhood.



Example of a mixed-use structure constructed of shipping containers.



Example of a holistic, nonresidential shipping container development.

A. DESCRIPTION

A non-traditional structure/building that has been partially or fully constructed off-site and may utilize adaptive reuse construction, such as a shipping container repurposed as a dwelling or cafe space. This building type can be innovatively integrated and appropriately scaled to compliment both urban and neighborhood areas. This type can be stand-alone or integrated into a mixed-use redevelopment that may include various building types. This type widens both housing and commercial building type choices and affordability.

B. PERMITTED DISTRICTS



A proposed non traditional building type/development shall meet the overall intent of the District in which it is located.

C. TYPICAL FEATURES

- UNITS: Variable
- BUILDINGS PER LOT: Variable
- HEIGHT: 1-5 Stories
- USES: Residential; Retail; Office; Recreation

1. *No more than four (4) shipping containers shall be used for the construction of a single-unit residence.*
2. *Multiple shipping containers that are stacked and arranged to create several dwelling units or nonresidential spaces shall be a part of a holistic site plan that meets the overall intent of the District in which the development is located.*
3. *When located in the NC and ND Districts, the Building Element Standards apply, per Section 4.4.*

General Note: Photos on this page are illustrative, not regulatory.

B. BUILDING ARTICULATION

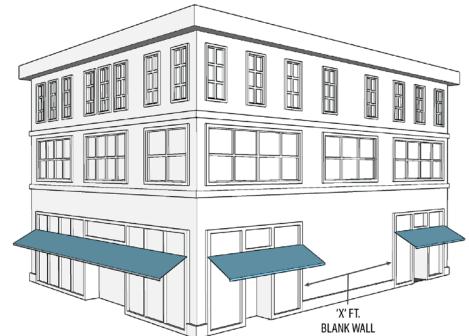
Blank sections of ground story building facades fronting public streets and public spaces shall not exceed 15 feet in length in the Urban District, and 20 feet in length in all other Districts. Elements such as windows, functional doors, changes in materials, murals, reliefs/breaks in the wall or other architectural details that provide visual interest shall be used to break up blank sections of wall. This requirement does not apply to the Warehouse, Neighborhood Convenience, or Neighborhood Districts. (See [Figure 6.5](#))

C. MECHANICAL EQUIPMENT

All mechanical equipment and utility functions (e.g. electrical conduits, meters, HVAC equipment) shall be located behind the front facade line of the primary structure.

Mechanical equipment that could otherwise be visible from a street shall be screened with a material that is compatible with the architecture of the primary structure and integrated into the building form where possible. This requirement does not apply to the Neighborhood Convenience or Neighborhood Districts.

Figure 6.5 Building Articulation



6.4 LANDSCAPE DESIGN STANDARDS

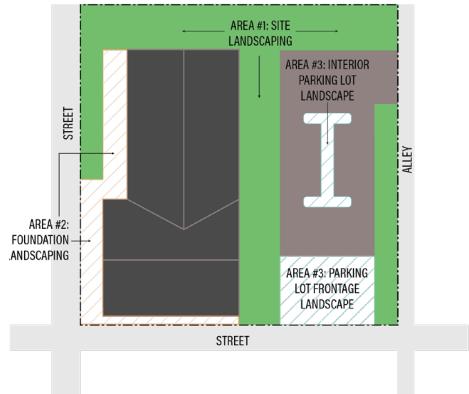
A. LANDSCAPE AREAS

Landscaping shall be required within the three (3) areas described below (See [Figure 6.6](#)). Landscape material may be planted anywhere within each of the landscape areas, as long as the minimum required amount is met within each area. All required plant material shall comply with [Table 6.3: Minimum Plant Specification Requirements](#).

When units or measurements determining the minimum amount of required landscaping result in a fractional amount, then such fraction equal to or greater than one-half shall be rounded up to the next whole number.

1. *Area #1 - Site Landscaping.* A minimum of 1 shade tree, or 2 accent or palm trees, shall be planted for every 1,000 square feet of lot area, up to 50% of the total lot area (excluding any wetlands or easements), in all Districts, with the exception of the Urban, Neighborhood, and Warehouse Special Districts.
2. *Area #2 - Foundation Landscaping.*
 - a. A minimum of 1 accent tree and 10 shrubs/ornamental grasses shall be planted per 50 linear feet along the base of street-facing facades. This standard applies to all non-residential and multi-unit residential uses. This standard does not apply in the Urban District.
 - b. Planting areas shall be a minimum of 5 feet in width.
 - c. Structures that sit closer than 5 feet to the front property lines are exempt from this requirement.
3. *Area #3 - Parking Lot Landscaping.*
 - a. *Parking Lot Frontage Landscaping.* Any parking areas adjacent to or visible from a public street shall be screened by one of the following methods (See [Figure 6.7](#)):

Figure 6.6 Landscape Areas



- i. A continuous semi-opaque/opaque wall that complements the building's design and style and is a minimum of 3 feet in height; or
- ii. A hedge row meeting the 'buffer plantings' standards established in **Table 6.2**; or,
- iii. A combination of shade trees and shrubs that are evenly distributed along the parking lot frontage. Trees shall not exceed 35 feet on center; or,
- iv. Other methods may be allowed provided that the resulting situation adequately screens the parking area, as determined by the Code Administrator.

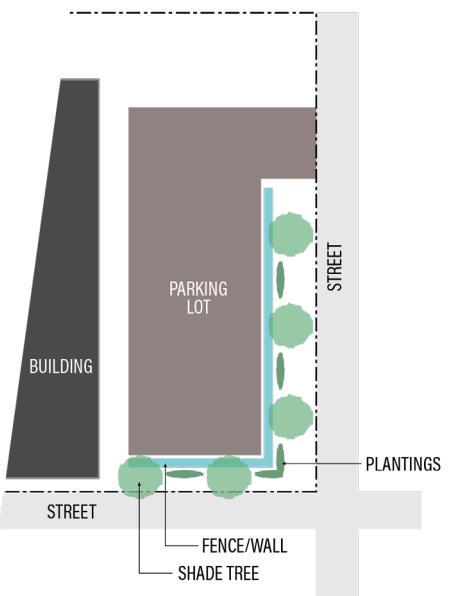
b. *Interior Parking Lot Landscaping.* Interior landscape islands must be provided within parking lots containing more than 25 parking spaces.

- i. Landscape islands with a surface area equal to 5% of the area of the entire parking surface shall be provided.
- ii. All required landscaped islands must be a minimum of 300 square feet in area, and shall a minimum of one (1) shade tree shall be planted per island.

B. EXISTING TREE PRESERVATION

1. Existing non-invasive trees and native palms shall be protected, when determined to be healthy by the applicable County staff or a certified arborist, or replaced. Any impacts to protected trees shall include mitigating actions such as replacement or relocation. Protected trees may count towards the minimum Site Landscaping requirements. Protected trees shall include:
 - a. Any existing healthy tree with a diameter breast height (DBH) of 4 inches or larger, measured at a height of 4.5 feet above the ground (undesirable tree species are exempt);
 - b. All healthy Sabal/Cabbage Palms 6 feet in height or larger;
 - c. All Buttonwoods;
 - d. All Mangroves.
2. The tree removal/replacement standards established in Section 138-3654(a)(2 through 5) and Table 138.3654a of the Pinellas County Land Development Code shall apply.
3. When replanting or relocation is not possible due to planned site improvements, as an alternative, the applicant may contribute to the County tree bank as described in Chapter 166-57 of the Land Development Code. Such alternative may be reviewed and approved at the discretion of the Code Administrator.

Figure 6.7 Parking Lot Frontage Landscaping Example



C. STREET TREES

Street trees shall be a required improvement with any development/redevelopment of a properties along an Urban Arterial, Arterial, or Collector street, as established on [Figure 5.1: Street Type Map](#), as determined practical by the street right-of-way owner.

Street trees shall be limited to the species listed in [Table 6.2: Acceptable Street Tree Species](#), and shall comply with the following:

1. In general, street trees shall be of consistent size, spacing, and like species, in order to achieve a "tree-lined boulevard" appearance.
2. The planting area shall be a minimum of 5 feet in width, however 8 feet is preferred. Alternatively, street trees may be planted within appropriately sized tree wells in sidewalks.
3. Street trees shall be shade trees. Where site conditions render shade trees impractical, accent or palm trees may be allowed.
4. Spacing for street trees shall be 30 feet on center. If there are site constraints, such as underground utilities or existing access points, no two trees may be spaced more than 40 on center to accommodate such constraints.
5. For sites with street frontages less than 80 feet in width, a minimum of 2 street trees shall be provided.
6. Owners of private property are responsible for the maintenance of trees planted in or extending into the abutting rights-of-way.
7. Street trees may count towards the minimum Site, Foundation, or Parking Lot Frontage Landscaping requirements, where applicable.
8. Street trees within a sight visibility triangle, per [Section 6.2\(B\)\(5\)](#), shall be limbed a minimum of 6 feet from the ground.

TABLE 6.2: ACCEPTABLE STREET TREE SPECIES

TREE SHAPE	ACCEPTABLE SPECIES	
PALM 	<ul style="list-style-type: none"> • Cabbage Palm (<i>Sabal palmetto</i>) • Florida Royal Palm (<i>Roystonea elata</i>) • Keys Thatch Pal (<i>Thrinax morrisii</i>) • Paurotis Palm (<i>Acoelorraphe wrightii</i>) 	<ul style="list-style-type: none"> • Sargent's Palm, Buccaneer Palm (<i>Pseudophoenix sargentii</i>) • Silver Palm (<i>Coccothrinax argentata</i>) • Thatch Palm (<i>Thrinax radiata</i>)
OVAL 	<ul style="list-style-type: none"> • Dahoon Holly (<i>Ilex cassine</i>) • Fringe Tree (<i>Chionanthus virginicus</i>) • Jamaica Caper (<i>Capparis cynophallophora</i>) • Live Oak var. highrise (<i>Quercus virginiana</i> var. <i>highrise</i>) • Magnolia Sweet-Bay (<i>Magnolia virginiana</i>) 	<ul style="list-style-type: none"> • Red Maple (<i>Acer rubrum</i>) • Satinleaf (<i>Chrysophyllum oliviforme</i>) • Southern Magnolia (<i>Magnolia grandiflora</i>) • Wild Mastic (<i>Sideroxylon foetidissimum</i>) • Yaupon Holly (<i>Ilex vomitoria</i> var. <i>pendula</i>)

TABLE 6.2: ACCEPTABLE STREET TREE SPECIES

TREE SHAPE	ACCEPTABLE SPECIES
ROUNDED 	<ul style="list-style-type: none"> Black Ironwood (<i>Krugiodendron ferreum</i>) Buttonwood (<i>Conocarpus erectus</i>) Gumbo Limbo (<i>Bursera simaruba</i>) Live Oak (<i>Quercus virginiana</i>) Mahogany (<i>Swietenia mahagoni</i>) Orange Geiger Tree (<i>Cordia sebestena</i>) Red Bay (<i>Persea borbonia</i>) Red Maple (<i>Acer rubrum</i> Aceraceae) Southern Magnolia (<i>Magnolia grandiflora</i>) Sugarberry (<i>Celtis laevigata</i>)
CONICAL 	<ul style="list-style-type: none"> Bald Cypress (<i>Taxodium distichum</i>) East Palatka Holly (<i>Ilex attenuata</i>) Pond Cypress (<i>Taxodium ascendens</i>) Southern Cedar (<i>Juniperus silicicola</i>) Yaupon Holly (<i>Ilex vomitoria</i> var. <i>Will Fleming</i>)
UMBRELLA 	<ul style="list-style-type: none"> Buttonwood (<i>Conocarpus erectus</i>) Florida Elm (<i>Ulmus americana</i> var. <i>floridana</i>) Hog-plum (<i>Ximenia americana</i>) Lancewood (<i>Ocotea coriacea</i>) Live Oak (<i>Quercus virginiana</i>) Paradise Tree (<i>Simarouba glauca</i>) Persimmon (<i>Diospyros Virginiana</i>) Red Mulberry (<i>Morus Rubra</i>) Sand Live Oak (<i>Quercus geminata</i>) Seagrape (<i>Coccoloba uvifera</i>) Wild Tamarind (<i>Lysiloma latisiliquum</i>) Winged Elm (<i>Ulmus alata</i>)
VASE 	<ul style="list-style-type: none"> Bald Cypress (<i>Taxodium distichum</i>) Slash Pine (<i>Pinus Elliottii</i>) South Florida Slash Pine (<i>Pinus Elliottii</i> var. <i>densa</i>) Loblolly Pine (<i>Pinus taeda</i>) Loblolly Pine (<i>Pinus palustris</i>)

D. BUFFERS

When buffering is required, per this Code, the property that triggers the requirement shall provide one of the following methods along the shared property line. Ingress/egress drives are permitted to intersect the buffer area.

1. A 6 foot high opaque fence or wall constructed of wood, aluminum, masonry, or of a similar decorative material; or
2. A 15 foot wide buffer yard area that contains continuous plantings meeting the "Buffer Plantings" standards of Table 6.2: Minimum Plant Specification Requirements; or
3. Other buffering methods, including a combination of the above options, may be allowed, as determined by the Code Administrator.

E. PLANT SPECIFICATIONS

1. *Size.* All required plant material shall meet the minimum size specifications at the time of planting, as specified in **Table 6.2: Minimum Plant Specification Requirements**.
2. *Undesirable Species.* The undesired plant species list, as established in Section 138-3653 of the Pinellas County Land Development Code, shall apply to all properties within the form-based district.
3. *Approved Plant List.* The approved plant list, as established in Section 138-3664 of the Pinellas County Land Development Code, shall apply to all properties within the form-based district.

TABLE 6.3: MINIMUM PLANT SPECIFICATION REQUIREMENTS

PLANT	SIZE (AT INSTALLATION)	ADDITIONAL STANDARDS
Shade Tree	2.0" Caliper	<ul style="list-style-type: none"> Species diversity is preferred over monoculture. Must be planted a minimum of 5 feet from any impervious area, unless located within a tree well.
Accent Tree	1.5" Caliper per Stem and 8' in Height	<ul style="list-style-type: none"> No more than 25% of required trees may be accent trees.
Palm Tree	12' Clear Trunk Height	<ul style="list-style-type: none"> No more than 25% of required trees may be palm trees.
Shrubs	3-Gallon and 15" in Height	<ul style="list-style-type: none"> Species diversity is preferred over monoculture. Maintained at a minimum of 36" in height.
Ornamental Grasses	1-Gallon	N/A
Buffer Plantings	Min. 24" in Height	<ul style="list-style-type: none"> Shrubs shall be planted a maximum of 24" on center and maintained so as to form a continuous, unbroken, solid visual screen. Plantings shall be at least 48" in height within a maximum of 2 years of planting.

6.5 SIGN DESIGN STANDARDS

The following 'Sign Design Standards' apply to all signage for all Districts within Lealman.

A. PERMITTED SIGNS

Table 6.4: Permitted Signs Table, identifies the allowable sign types and requirements for each District designation.

TABLE 6.4: PERMITTED SIGNS TABLE

SIGN TYPE & REQUIREMENT		DISTRICTS						ADDITIONAL STANDARDS
		U	M	MKR	W	NC	ND	
Freestanding Signs (Review Type)		1A	1A	1A	1A	1B	1B	NC & ND Districts: Only allowed for non-residential and multi-unit residential uses.
Maximum Number (Per Public Street Frontage)		1	1	1	1	1	1	U District: Only 1 freestanding sign is permitted per lot, regardless of multiple frontages.
Maximum Area (Square Feet Per Sign Face)		30	75	35	50	35	25	M District: The maximum area shall be limited to 50 square feet for properties along 49th Street N.
Maximum Height (Feet)		12	20	12	20	12	6	
Attached Signs * (Review Type)		1A	1A	1A	1A	1A	1B	Attached signs include all wall, canopy, awning, projecting signs.
Maximum Total Area for all Attached Signs (Whichever is Less)	Building Frontage (Square Feet per Linear Foot)	1.5	1.75	1.5	1.75	1.5	1.5	NC & ND Districts: Only allowed for non-residential and multi-unit residential uses.
	Sign Area (Square Feet)	50	100	50	50	35	25	M District: The maximum sign area shall be limited to 75 square feet for properties along 49th Street N.
Sandwich Boards (Review Type)		1A	1A	1A	1A	1A	1B	NC & ND Districts: Only allowed for non-residential uses.
Maximum Number (Per Tenant)		1	1	1	1	1	1	
Maximum Area (Square Feet Per Sign Face)		8	8	8	8	8	8	
Maximum Height (Feet)		3.5	3.5	3.5	3.5	3.5	3.5	
Temporary Signs - <i>Temporary signs are permitted within all Districts and are not subject to permitting as long as the signs meet the provisions listed below. Temporary signs are permitted to be displayed for a maximum of 30 calendar days at a time.</i>								
Maximum Number (Per Lot)		2	2	2	2	2	2	
Maximum Area (Square Feet per Sign)		16	32	16	32	16	16	
Maximum Height (Feet)		5	5	5	5	5	5	

B. GENERAL PROVISIONS

1. *Sign Style.* Signage shall be scaled and designed for a pedestrian-oriented area and not for high speed automobile traffic. This provision does not apply to properties located on the 34th Street/US 19 street frontage or located within 2,000 feet of the I-275 interchange (measured from the center of the interchange).
2. *Sign Setback.* The leading edge of a sign shall be setback from any public right-of-way a minimum of 3 feet for any sign equal to or less than 75 square feet in area, and a minimum of 10 feet for any sign greater than 75 square feet in area. No freestanding sign shall be placed closer than 5 feet to any side or rear property line.
3. *Sign Measurement.*
 - a. *Area.*
 - i. The area of a sign shall be the smallest square, circle, rectangle, or other geometric figure, or combination thereof, that will encompass the extreme limits of the writing, representation, emblem, or other display, together with any material, color forming an integral part of the display or used to differentiate the sign from the backdrop or structure against which it is placed. The computation of a sign area does not include any framework, bracing, fence or wall that is reasonably necessary to support the sign. (See [Figure 6.8](#))
 - ii. The area of a sign shall be computed on a per sign face basis and all requirements with respect to sign area reference the area of a single face of a sign. A double-faced sign shall be permitted to have the allowed area for a single-faced sign on each of the two faces of the double-faced sign.
 - b. *Height.* The height of a freestanding sign shall be the vertical distance from the base of the sign at ground level to the highest point of the sign structure. In cases where the ground level cannot reasonably be determined, sign height shall be derived on the assumption that the elevation of the ground at the base of the sign is equal to the average elevation at the front property line. (See [Figure 6.9](#))
4. *Sign Illumination.*
 - a. The light from any illuminated sign shall be shaded, shielded, or directed from adjoining parcels.
 - b. No sign shall have blinking, flashing, or fluttering lights or other illumination devices which have a changing light intensity, brightness, color, or direction.
 - c. No colored lights shall be used at any location or in any manner so as to be confused with, construed as, or interfere with traffic control devices.

Figure 6.8 Sign Area Measurement

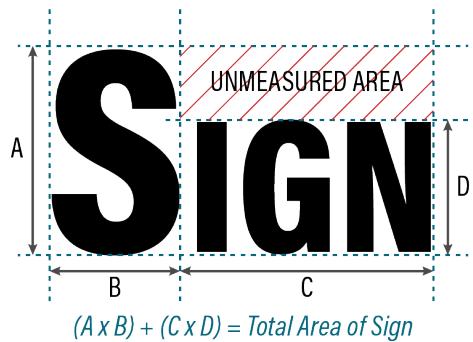
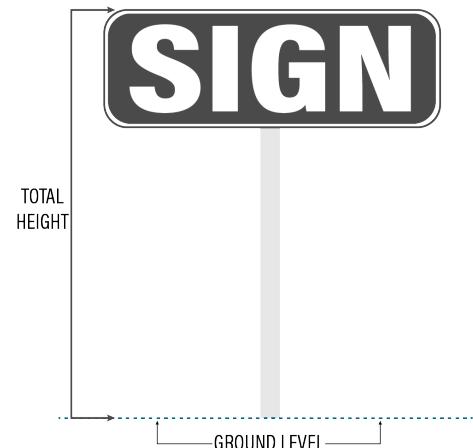


Figure 6.9 Sign Height Measurement



Similarly, no electronic changeable message sign shall be permitted if it may be confused with, construed as, or interfere with traffic control devices.

- d. Neither the direct nor the reflected light from primary light sources shall create a traffic hazard to operators of motor vehicles on public thoroughfares.
- 5. *Electronic Changeable Message Signs.* Electronic changeable message signs can be used in all Districts for non-residential uses, with the exception of the Urban Districts, and shall meet the following:
 - a. The use of an electronic changeable message sign shall count towards the allowable freestanding/attached sign square footages (based on where the electronic message sign is located) as specified for each District.
 - b. Messages/images shall be displayed for a minimum of 1 minute before transitioning to another message/image.
 - c. The maximum transition time between messages or images shall be no more than one-half second, and shall not include any change of color, flash, fade, rotation, or other similar action.
 - d. Message scrolling is prohibited.
 - e. The sign must be equipped with brightness controls which shall be used to reduce the intensity of the light based on outside light levels.
- 6. *Sign Location.* Signs shall not be located on a property that is separate and distinct from the commercial establishment, product, merchandise, service or entertainment to which they are intended to draw attention. In no instance shall this be interpreted as prohibiting a non-commercial message from being displayed on any property.

C. EXEMPT SIGNS

The following types of signs are exempt from the permitting process and other provisions within this section, except relating to construction, illumination, and safety:

- 1. Address Numbers.
- 2. Real Estate Signs.
- 3. Artwork, which includes drawings, pictures, symbols, paintings or sculptures which in no way identify a product or business and which are not displayed in conjunction with a commercial, for-profit or nonprofit enterprise.
- 4. Government and public signs, including but not limited to, community identity and entrance signs, signs for special community events, commemorative and historic signs, and coordinated countywide trail-blazing signs that provide direction to places of interest.
- 5. A maximum of 3 noncommercial flags are permitted on each lot.
- 6. On-site directional signs. No individual sign shall exceed 4 square feet in area.

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PART 7

USE STANDARDS

SECTION 7.1 Intent

SECTION 7.2 Permitted Uses

SECTION 7.3 Use Determination

SECTION 7.4 Specific Use Standards

SECTION 7.5 Use Definitions

PART 7: USE STANDARDS

7.1 INTENT

- A. The Use Standards are intended to describe provisions for specific land uses. These standards are further intended to be simplistic, while still acknowledging the relationship between neighboring land uses.
- B. Allowable land uses are identified for each District, as described in [Table 7.1: Permitted Land Uses](#).

7.2 PERMITTED USES

Land use categories have been established in order to sort land uses based on similar characteristics, such as type and amount of activity, type of customers or residents, how goods and services are delivered, site conditions, and impact on surrounding areas. The categories include the following: Residential, Lodging, Office, Retail, Automotive, Industrial, Civil Support and Civic.

A. PRIMARY USES

1. A lot may contain more than one primary use.
2. Permitted primary uses are listed in the Permitted Land Uses ([Table 7.1](#)) organized by District.

B. ACCESSORY USES

Accessory uses are allowed in conjunction with a permitted primary use, if the accessory use:

1. Is subordinate to and services the primary use;
2. Is subordinate in area, extent, and purpose to the primary use;
3. Contributes to the comfort, convenience or necessities of the users or occupants of the primary use; and
4. Is located on the same lot as the primary use, provided such use is in keeping with the purpose and intent of the district in which it is located.

C. TEMPORARY USES

Temporary uses established in combination or separately independent of any permanent use, are permitted in any District, provided that the proposed use is a permitted use.

Temporary uses shall not be permitted within the Neighborhood Convenience or Neighborhood Districts unless the use will be located on the site of an existing non-residential establishment. All temporary uses are subject to the following standards:

1. No parcel shall be occupied by a temporary use for more than 60 days in any calendar year.
2. No zoning clearance is required for a temporary use, unless a structure is located on the property.

3. Nothing herein shall relieve an operator of a temporary use from complying with other applicable codes, ordinances, and regulations; such as electricity or plumbing permits.

7.3 USE DETERMINATION

A. ADMINISTRATOR RESPONSIBILITY

The Code Administrator is responsible for categorizing all land uses. If a proposed use is not listed within a use category, but is similar in character and function to another listed use, the Code Administrator shall treat the proposed use under that use's category. If a proposed use is not listed in a use category, and is not similar to any other listed use, the use shall be prohibited.

B. UNLISTED LAND USES

When determining whether a proposed use is similar to another listed use, the Code Administrator shall consider the following criteria:

1. The characteristics of the proposed use in comparison to other permitted uses.
2. The potential impact on surrounding properties.
3. The overall intent of the District in which it is located.

TABLE 7.1: PERMITTED LAND USES

USE CATEGORY	DISTRICTS						ADDITIONAL STANDARDS
	U	M	MKR	W	NC	ND	
RESIDENTIAL							
Single-Unit Residential, Attached	1A	1B	1A		1A	1A	See Section 7.4(A)(1)
Single-Unit Residential, Detached					1A	1A	
Duplex/Semi-Detached Unit		1B	1B		1A	1A	
Multi-Unit Residential	1A	1A	1A		1A	1A	See Sections 7.4(A)(1) & 7.4(A)(2)
Accessory Dwelling Unit (ADU)	1A	1A	1A		1A	1A	See Section 7.4(A)(3)
Group Living		1A			1B	1B	See Section 7.4(A)(4)
Affordable Housing Development	1A	1A	1A		1A	1B	See Section 7.4(A)(5)
Missing Middle Housing					1A	1B	See Section 7.4(A)(6)
LODGING							
Bed & Breakfast (Up to 15 Rooms)			1A		1A	1B	
Inn (Up to 15 Rooms)	1A	1A	1A		1B		
Hotel (No Room Limit)	1B	1A	1A				
Short-Term Vacation Rentals	1A	1A	1A	1A	1A	1A	See Section 7.4(B)(1)
OFFICE							
Office Building	1A	1A	1A	1B	1A		See Section 7.4(C)(1)
Live/Work	1A	1A	1A	1B	1A	1A	See Section 7.4(C)(2)
Work/Live	1A	1A	1A	1B	1B	1B	See Section 7.4(C)(3)
RETAIL							
Retail Building	1A	1A	1A	1B	1A		See Section 7.4(D)(1)
Food/Drink Establishment (<20 Seats)	1A	1A	1A	1A	1A	1B	See Section 7.4(D)(2)
Food/Drink Establishment (>20 Seats)	1A	1A	1A	1B	1B	2	See Section 7.4(D)(2)
Neighborhood Market	1A	1A	1A		1A	1B	See Section 7.4(D)(3)
Grocery	1B	1A	1B				
Microbrewery/Winery/Distillery	1A	1A	1A	1A	1B	2	
Greenhouse/Urban Farming	1A		1A	1A	1A	1A	
Medical Clinic		1A	1A				
Vet Clinic (No Outdoor Kennel)		1A	1A	1B	1B		
Kennel		1A	2	1B			
AUTOMOTIVE							
Automobile Service/Repair		1A	1A	1B			See Section 7.4(E)(1)
Fuel Station		1A	1B	1B			See Section 7.4(E)(3)
Truck Maintenance/Fueling		1A* / 2		1B			See Section 7.4(E)(4) *Only within 2,000 feet of the center of the I-275 Interchange
Drive-Thru Facility		1A					See Section 7.4(E)(5)
Automobile Sales/Rental		1A* / 2					See Section 7.4(E)(2) *Only along 34th Street/US19
Parking, Structure	1A	1A			1B	2	
Parking, Surface Lot	1B	1A	1A	1B	1B	2	
INDUSTRIAL							
Alternative Energy Facility				1A			
Workshop/Arts	1A	1A	1A	1A	2		
Warehouse		2	2	1A			
Manufacturing/Production, Light		1A	1A	1A			
Manufacturing/Production, Heavy				2			
Laboratory		2	2	1A			

1A = Permitted By Right / Type 1A Review 1B = Permitted By Warrant / Type 1B Review 2 = Permitted by Warrant / Type 2 Review Blank = Use Not Permitted

TABLE 7.1: PERMITTED LAND USES

USE CATEGORY	DISTRICTS						ADDITIONAL STANDARDS
	U	M	MKR	W	NC	ND	
CIVIL SUPPORT							
Public Safety/Government Facility	1A	1A	1A	1A	1B	1B	
Cemetery	2	1A	2	2	2	2	See Section 7.4(F)(1)
Hospital		1A					See Section 7.4(F)(2)
CIVIC							
Recreation/Fitness, Indoor	1A	1A	1A	1A			See Section 7.4(G)(1)
Recreation/Fitness, Outdoor		1B	2	1B			See Section 7.4(G)(1)
Playground	1A	1A	1A		1A	1A	
Daycare (Adult/Child)	1B	1A	1B	1B	1B	1B	
School (Preschool - 12)	1B	1A	1B		1B	1B	
School (Trade/College)	1B	1A	1A				
Library/Museum	1A	1A	1A	1B	1A		
Passenger Terminal	1B	1A	1A	1A			
Live Theater/Cinema	1A	1A	1A				
Assembly	1B	1A	1A		1B	1B	
Utility, Plant/Substation	2	2	2	2	2	2	
Wireless Communications Tower	2	2	2	2			See Section 7.4(G)(2)

1A = Permitted By Right / Type 1A Review 1B = Permitted By Warrant / Type 1B Review 2 = Permitted by Warrant / Type 2 Review Blank = Use Not Permitted

7.4 SPECIFIC USE STANDARDS

The specific use standards listed within each use category are intended to ensure such uses are consistent with the overall intent of this Code, while also being compatible with the surrounding neighborhoods in which they are located.

A. VERTICAL INTEGRATED MIXED-USE PROJECTS

In accordance with the Mixed-Use Density/Intensity Bonuses established in [Section 4.2.3 of the Countywide Plan](#), within the Urban, Mercantile, Maker's, and Neighborhood Convenience Districts a vertically integrated mixed-use development may be allocated the full residential density and full nonresidential intensity allowances to be used. For example, a property located in the CG (Commercial General) Future Land Use category may take advantage of both the 24 dwelling units per acre and 0.5 Floor Area Ratio for a vertically integrated mixed-use project.

B. RESIDENTIAL

1. *Single-unit attached and multi-unit residential developments* with ground story residential units may fulfill the Doors/Entries Element requirement with a shared internal courtyard that provides the direct access to the primary frontage(s), as opposed to individual access from the street to each individual dwelling unit.
2. *Multi-Unit Residential Developments* shall provide a minimum of 10 percent of the site area to be reserved and/or improved as usable open space. Required common open space shall be usable for parks, recreation, and/or retained for natural resource protection. Rooftop decks, balconies, porches or similar outdoor spaces, including spaces for a nonresidential use for mixed-use developments, may count towards this requirement.

3. *Accessory Dwelling Units (ADUs)*, are intended to provide additional housing that is incidental to a primary dwelling while ensuring that the intended district character is protected. ADUs include, but are not limited to, guest housing, security residence, and/or affordable housing options. ADUs, shall be subject to the following:
 - a. Accessory dwelling units shall not exceed 750 square feet in area.
 - b. Only one ADU per parcel of ownership is permitted.
 - c. Either the primary dwelling or the ADU must be owner-occupied.
 - d. All applicable district regulations pertaining to setbacks and lot coverage provisions shall be met.
 - e. Separate metered utility connections for the ADU may be permitted.
 - f. Mobile homes and recreational vehicles shall not be used as ADUs.
 - g. Any ADU must meet the minimum requirements for a dwelling unit in accordance with the Florida Building Code.
4. *Group Living Facilities*, such as an Assisted Living Facility, Group Home, or Congregate Care Facilities, provide a living environment where various levels of services are provided to assist in an individual's daily needs. Group living facilities are subject to the following:
 - a. Facilities shall be developed with at least 10 percent of the site area to be reserved and/or improved as common open space. Required common open space shall be usable for parks, recreation, and/or retained for natural resource protection. Rooftop decks, balconies, porches or similar outdoor spaces may count towards this requirement.
 - b. Group living facilities may be constructed/established as a variety of housing types.
 - c. Group living facilities are not permitted within a designated Coastal High Hazard Storm Area.
5. *Affordable Housing Development*. Section 138-3211 of the Pinellas County Land Development Code shall apply in its entirety for all Affordable Housing Developments.
6. *Missing Middle Housing*. Missing Middle Housing shall include the following Building Types, as described in **Section 6.3(A)**: Bungalow Courts, Courtyard Buildings, Townhouses/Rowhouses, and Work/Live Buildings. Additionally, the following applies:
 - a. Missing Middle Housing may be granted a density bonus up to a 50 percent of the allowable density as determined by the Pinellas County Future Land Use Map.
 - b. The living area for Missing Middle Housing shall be consistent with **Table 7.2: Missing Middle Housing Size Limitations**.

TABLE 7.2: MISSING MIDDLE HOUSING SIZE LIMITATIONS

BUILDING TYPE	MINIMUM LIVING AREA	MAXIMUM LIVING AREA
Bungalow Court	550 sqft per unit	800 sqft per unit
Courtyard Building	550 sqft per unit	800 sqft per unit
Townhouse/Rowhouse	800 sqft per unit	1,100 sqft per unit
Work/Live Building	800 sqft per unit	1,100 sqft per unit

B. LODGING

1. *Short Term Vacation Rentals*, are intended to allow for an individual dwelling unit to be rented to an individual or party while protecting the immediate vicinity from associated negative impacts relating to traffic, noise, safety, and maintenance. Short Term Vacation Rentals generally occur in residential units and typically within residential neighborhoods. The following standards shall apply to Short Term Vacation Rentals:
 - a. *Time Limit*. Short Term Vacation Rentals shall be limited to lease terms for 30 consecutive days or less, and no more than 3 times per calendar year.
 - b. *Maximum Occupancy* shall be no more than 2 persons per bedroom plus two persons in one common area, not to exceed more than ten persons total per unit, whichever is less.
 - c. *Parking*. A minimum of one off-street parking space shall be provided for every three occupants. Garage spaces count towards minimum requirement if available to the occupant(s). Front lawn parking does not count towards the minimum requirement.
 - d. *Noise*. Quiet hours are to be observed between 10:00 p.m. and 9:00 a.m. daily or as superseded by any county noise regulation.
 - e. *Responsible Party*. The property owner or designee shall be available in a timely manner to respond to inspections, complaints, or other problems related to the short-term vacation rental property. The duties of the short-term vacation responsible party are to:
 - i. Be available by telephone at the posted phone number to handle any issues arising from the short term vacation rental use;
 - ii. Be willing and able to come to the short term vacation rental unit following notification from an occupant, owner, law enforcement, or county official to address issues related to the short-term vacation rental;
 - iii. Be authorized to receive service of any legal notice on behalf of the owner for violations of this section; and
 - iv. Otherwise regularly monitor the short-term vacation rental unit to assure compliance with the requirements of this section.

- f. *Posting Short-Term Vacation Rental Information.* On the back of, or next to, the main entrance door or on the refrigerator, there shall be provided as a single page the following information:
 - i. The name, address, and phone number of the short term rental vacation rental responsible party;
 - ii. The maximum occupancy of the unit, per **Section 7.4(B)(1)(b)**, above;
 - iii. The maximum number of vehicles that can be parked at the unit, per **Section 7.4(B)(1)(c)**, above; along with a sketch of the location of the off-street parking spaces;
 - iv. Noise standards, per **Section 7.4(B)(1)(d)**, above;
 - v. The days of trash pickup and recycling; and
 - vi. The location of the nearest hospital.
- g. *Fines.* Any person convicted of violating any provisions of **Section 7.4(B)(1)** may be punishable by a fine of up to \$300.00, per violation, per day.

C. OFFICE

- 1. *Office Buildings.* When permitted, office buildings shall have a maximum gross floor area of 5,000 square feet within the Neighborhood Convenience and Neighborhood Districts.
- 2. *Live/Work.*
 - a. The residential and commercial space must be occupied by the same tenant, and no portion of the live/work unit may be rented or sold separately.
 - b. The commercial component of live/work units are intended for use by the following occupations: accountants; architects; artists and artisans; attorneys; computer software and multimedia related professionals; consultants; engineers; fashion, graphic, interior and other designers; hair stylists; home-based office workers; insurance, real estate and travel agents; one-on-one instructors; photographers, and similar occupation, as determined by the Code Administrator.
 - c. The commercial component shall not detract from, or otherwise be a nuisance to, the residential character or appearance of the dwelling units.
 - d. The commercial component shall be restricted inside the primary building or within an accessory structure on-site. There shall be no exterior storage of products, equipment, employee vehicles, or materials related to the commercial use.
 - e. Traffic generated by onsite customers, vendors, or delivery services for the commercial use shall not generate vehicular traffic in excess of normal residential traffic.

- f. A maximum of 2 business vehicles associated with the commercial use are permitted to be parked on-site. These vehicles are limited to standard sized commercial trucks, vans, or other similar vehicles and may not be parked within the front yard, unless they are on a driveway.
- g. The commercial use shall not require increased exterior lighting that would detract from the residential character.
- h. The commercial use shall not generate external noise, odor, glare, vibration or electrical interference detectable to the normal sensory perception by adjacent neighbors.
- i. No explosive, toxic, combustible or flammable materials in excess of what would be allowed incidental to normal residential use shall be stored or used on the premises.

3. Work/Live.

- a. Residential areas are permitted above the commercial component, to the side or in back of the business component, provided there is internal access between the residential and commercial space.
- b. The external access for the commercial component shall be oriented to the street and should have at least one external entrance/exit separate from the living space. The entrance to the commercial component shall be located on the ground level.
- c. The commercial component's use shall be permitted within the District in which the property is located, per [Table 7.1](#). Additionally, the following commercial activities are permitted for a work/live unit: accountants; architects; artists and artisans; attorneys; computer software and multimedia related professionals; consultants; engineers; fashion, graphic, interior and other designers; hair stylists; home-based office workers; insurance, real estate and travel agents; one-on-one instructors; photographers, and similar occupation, as determined by the Code Administrator.
- d. The work/live unit shall be required to provide parking in accordance with [Table 8.1](#).

D. RETAIL

1. *Retail Buildings.* When permitted, retail buildings shall have a maximum gross floor area of 5,000 square feet within the Neighborhood Convenience and Neighborhood Districts.
2. *Food/Drink Establishments*, may be permitted outside dining/seating areas subject to the following standards:
 - a. Seating areas shall be delineated and designated on an approved site plan.
 - b. Seating areas may only occupy a public sidewalk when a right-of-way permit or equivalent thereof is obtained from the applicable governing body/authority.

- c. When outdoor seating/dining areas are permitted on the public sidewalk, a minimum 5 foot wide walkway clearance area shall be provided.
- 3. *Neighborhood Market.* When permitted, neighborhood markets shall have a maximum gross floor area of 20,000 square feet.

E. AUTOMOTIVE

- 1. *Automobile Service/Repair Uses.*
 - a. All service and repair activities shall be located within fully enclosed buildings.
 - b. The outdoor storage of parts and/or vehicles shall be allowed only in the rear and side yards, and shall be a minimum of 5 feet from a residential property.
 - c. The outdoor storage or parking of any disabled, wrecked or partially dismantled vehicle shall not exceed 30 days during any 60-day period.
- 2. *Automobile Sales/Rental.*
 - a. The gross floor area of the enclosed building shall be a minimum of 7,000 square feet.
 - b. Vehicle display lots shall be located in the side and rear yard of the primary building, except is the site is located along 34th Street/US 19.
- 3. *Fuel Station.*
 - a. All fuel canopies and pumps shall be located behind the primary building on the property. This provision does not apply to properties located within 2,000 feet of the I-275 interchange (measured from the center of the interchange).
 - b. All fueling pump islands, fuel storage apparatus, and canopy elements shall be set back at least 30-feet from an existing residential use.
- 4. *Truck Maintenance/Fueling.* Uses intended to serve multi-axle trucks, such as truck maintenance and fuel stations, shall be limited properties located within 2,000 feet of the I-275 interchange (measured from the center of the interchange).
- 5. *Drive-Thru Facilities.*
 - a. Drive-thru service windows shall be located to the rear of the primary building on the property.
 - b. Minimum Stacking Spaces:
 - i. Food/Drink Establishments = 5 spaces
 - ii. All Other Facilities = 3 spaces

- c. Stacking lanes shall be configured to ensure queuing vehicles do not block driveways, access to parking, pedestrian walkways/crossings, or extend into the public right-of-way.
- d. Stacking lanes adjacent to pedestrian walkways shall be screened by landscaping and/or a decorative wall, with a height of 24 to 36 inches.
- e. Drive-thru speakers shall be directed away from adjacent residential uses.

F. CIVIL SUPPORT

- 1. *Cemeteries.*
 - a. Cemeteries may include ancillary and accessory uses and structures. These structures must meet the Siting Requirements of the respective District in which the cemetery is located.
 - b. Graves and/or burial crypts shall be located at least 50 feet from an adjacent parcel.
 - c. Any crematory shall be located at least 200 feet from an abutting parcel and shall be buffered from view from adjacent residential lands by fencing or landscaping as deemed appropriate by the reviewing body.
- 2. *Hospitals*, shall be subject to the following specific standards. In the event these differ from the established District Standards for which the hospital is located, the least restrictive standards shall apply.
 - a. *Siting*
 - i. Front Setback: Minimum = 5 feet; Maximum = 50 feet
 - ii. Side/Rear Setback: None required; except when the side/rear of a lot abuts an existing single-unit detached lot, there shall be a 20 foot setback for the lot portions that directly abut the residential lot.
 - iii. The Building Facade and Parking Setback requirement shall not apply to a hospital use.
 - b. *Height*
 - i. Maximum Height: None, except that when the subject property shares a property line with an existing single-unit detached lot, the maximum height shall not exceed 45 feet. This limitation only applies to the portions of the structure within 50 feet of the detached residential structure.
 - ii. The Ground Story Elevation, Ground Story Clearance, and Front Yard Fence requirements shall not apply to a hospital use.
 - c. No building element standards apply to a hospital use.

G. CIVIC

1. *Recreation/Fitness (Indoor or Outdoor).*
 - a. Within the Warehouse District, recreation/fitness uses shall be less than 20,000 square feet in size.
 - b. No outdoor activity area may encroach into the required district setbacks, with the exception of trails and pathways.
 - c. Outdoor activity areas, with the exception of passive outdoor areas, shall be set back at least 30 feet from any adjacent residential property.
 - d. Outdoor lighting shall be designed such that direct sources of illumination are not visible beyond the property lines. Lights shall be directed away from adjacent residential uses.
2. *Wireless Communications Tower.* The establishment of any new wireless communications tower shall comply with Section 138-3313 of the Pinellas County Land Development Code.

7.5 USE DEFINITIONS

A. RESIDENTIAL

1. *Accessory Dwelling Unit.* An independently functioning dwelling unit which is an accessory use to the principal use on the same lot and which has a separate kitchen with a cooking stove. These uses are sometimes referred to as "garage apartments," "Mother-in-Law Apartments," and/or "carriage houses."
2. *Affordable Housing Development.* A single-unit, detached residential housing development in which at least 20 percent of the units are affordable at 80 percent of median family income, or a multi-unit development in which at least 20 percent of the units are affordable to households at 60 percent of median family income.
3. *Duplex/Semi-Detached Unit.* A building that contains two dwelling units on a lot that shares a portion of common walls or common floor/ceiling.
4. *Group Living (includes Assisted Living Facilities, Group Homes, Congregate Care Facilities).* Any building or buildings, section or distinct part of a building, private home, boarding home, home for the aged, or other residential facility, regardless of whether operated for profit, which through its ownership or management provides housing, meals, and one or more personal services for a period exceeding 24 hours to one or more adults who are not relatives of the owner or administrator.
5. *Missing Middle Housing.* Housing that addresses affordable and workforce housing that can encompass a range of smaller footprint, multi-unit or clustered housing types (such as shotgun, courtyard apartment, bungalow court, townhouse, and live/work units), which are compatible in scale and design with single-family homes, and are designed to encourage walking, biking, and transit use.

6. *Multi-Unit Residential.* Three or more dwelling units, attached to each other by a stacking arrangement and with common vertical and horizontal walls, where primary access to those units is shared.
7. *Single-Unit Residential, Attached.* A dwelling unit on a single lot or on multiple lots with zero lot lines, attached to one or more single-unit dwellings by a common vertical wall, where individual primary access is provided to each unit.
8. *Single-Unit Residential, Detached.* A dwelling unit in a single structure, on a single lot, not attached to any other dwelling by any means.

B. LODGING

1. *Bed and Breakfast.* A residential structure, with no more than 15 sleeping rooms, which has been modified to serve as a transient public lodging establishment, which provides the accommodation and meal services generally offered by a bed and breakfast inn, and which is recognized as a bed and breakfast inn in the community in which it is situated or by the hospitality industry.
2. *Hotel.* A building or group of buildings containing lodging units intended primarily for rental or lease to short-term visitors by the day or week, and which may provide accessory services such as restaurants, meeting rooms and recreation facilities. Does not include condo hotels.
3. *Inn.* A structure, with no more than 15 sleeping rooms, providing temporary, short-term lodging accommodations. Individual rooms shall not contain any kitchen facilities, and must be accessed through a central internal lobby, foyer, or office.
4. *Short-Term Vacation Rentals.* An individual dwelling unit that is rented to an individual or party at a lease term that is no more than 30 consecutive days, and no more than 3 times in a calendar year.

C. OFFICE

1. *Live/Work.* A residential building used jointly for residential and commercial purposes where the commercial use of the space is secondary or accessory to the residential space. The integrated workspace is intended to be used by one of the residents.
2. *Office Building.* A building or group of buildings utilized for typical office uses, such as administrative, executive, professional, research, doctor, dental, or other similar entities.
3. *Work/Live.* A building or spaces within a building used jointly for commercial and residential purposes where the residential use of the space is secondary or accessory to the primary use as a place of work.

D. RETAIL

1. *Food/Drink Establishment.* An establishment serving food and/or beverages prepared on the premises, which are generally intended for immediate consumption.

2. *Greenhouse/Urban Farming.* A structure, primarily of glass, in which temperature and humidity can be controlled for the cultivation or protection of plants that is used for urban farming, which is the growing, processing, and distribution of food and other products.
3. *Grocery.* Large-scale retailers of food and grocery supplies, typically also including flower shops, pharmacies, bakeries, branch banks, and other complementary and incidental uses.
4. *Kennel.* Any property where 5 or more dogs, cats, or other similar animals over the age of 4 months are kept, raised, cared for, trained, sold, bred, boarded, treated, or groomed for commercial purposes.
5. *Neighborhood Market.* A smaller-scaled facility specializing in the retail sales of food, typically specializing in fresh produce and/or meat products. A neighborhood grocery/market is distinguished from a grocery store in that they typically do not include accessory flower shops, pharmacies, bakeries, branch banks, etc.
6. *Medical Clinic.* A facility engaged in the examination, diagnosis, and treatment of medical related conditions. Medical clinics can offer urgent/immediate care services, but do not include overnight facilities for patients.
7. *Microbrewery/Winery/Distillery.* A facility used for the production and packaging of malt beverages, wine, and/or spirits for the distribution, retail, or wholesale, on or off-premise, with a capacity of not more than 60,000 barrels of beer/cider; 100,000 gallons of wine; or 15,000 gallons of spirits per year. The development may include other uses such as a restaurant, tasting room, or live entertainment.
8. *Retail Building.* A building or group of buildings in which business activities customarily provide retail convenience goods and the sale of merchandise to end users.
9. *Vet Clinic.* A place designed or prepared to provide medical attention to or care for dogs, cats, and other pets in return for compensation, but do not contain any outdoor kennels for boarding animal containment.

E. AUTOMOTIVE

1. *Automobile Sales/Rental.* Any building and premises which displays, demonstrates, sells, rents, or leases automobiles, motorcycles, pickup trucks, or other similar vehicles which includes a showroom enclosed within a building and open display area.
2. *Automobile Service/Repair.* Any modification, reconditioning, restructuring, rebuilding, or routine service of a motor vehicle or a motor vehicle component.
3. *Drive-Thru Facility.* An establishment, such as a fast food restaurant or bank, designed to enable customers in parked vehicles to transact business with persons inside of the principal building.

4. *Fuel Station.* A structure, building, or premise or any portion thereof where a flammable fluid is stored, housed, and sold for supply to motor vehicles; and does not include any accessory motor vehicle servicing.
5. *Parking.* Surface or structured parking areas that are a primary use on a lot or parcel.
6. *Truck Maintenance/Fueling.* A facility designed and used to provide services to the trucking industry including, but not limited to, fuel stations, repair shops, truck washes, restaurants, convenience stores, weight scales, and shower facilities, all as part of a unified facility.

F. INDUSTRIAL

1. *Alternative Energy Facilities.* Public/private facilities that provide energy services that are alternative to fossil fuel, such as hydroelectric, wind, geothermal, or solar power.
2. *Laboratory.* A place providing the opportunity for experimentation, observation, or practice in a field of study.
3. *Manufacturing/Production, Heavy.* A use engaged in the base processing and manufacturing of materials or products predominately from extracted raw materials, or a use engaged in storage of, or manufacturing processes using flammable or explosive materials, or storage or manufacturing processes that potentially involve hazardous or commonly recognized offensive conditions.
4. *Manufacturing/Production, Light.* Establishments engaged in the manufacturing, compounding, processing, packaging, storage, assembly, production, and/or treatment of finished or semi-finished products from previously prepared materials. Fabrication, assembly, processing, finishing work, or packaging, employing only electric or other substantially noiseless and inoffensive motor power, utilizing hand labor or quiet machinery and processes, and free from neighborhood disturbing agents such as odors, gas, fumes, smoke, cinders, refuse matter, electromagnetic radiation, heat or vibration; and with no outside storage of materials or finished goods.
5. *Warehouse.* Establishments that ship, store, and distribute, but do not sell, goods within completely enclosed structures. Warehouse uses may provide a range of services related to the distribution of goods, such as labeling, breaking bulk, inventory control and management, light assembly, order entry and fulfillment, packaging, pick and pack, price marking and ticketing, and transportation arrangement. Bonded warehousing and storage services are included in this category.
6. *Workshop/Arts.* Establishments that typically produce high-quality or distinctive products generally in small quantities, usually by hand or using traditional methods. Examples include, but are not limited to, glass blowing, jewelry making, woodworking, baking and traditional food product making.

G. CIVIL SUPPORT

1. *Cemetery*. Land used or intended to be used for the permanent interment of human or pet remains. A cemetery may contain land or earth internment; mausoleum, vault, or crypt internment; a columbarium, ossuary, scattering garden, or other structure or place used or intended to be used for the internment or disposition of cremated human or pet remains; or any combination of one or more of such structures or places, as defined by Florida law.
2. *Hospital*. An establishment, typically operating 24 hours a day, providing medical, diagnostic, and treatment services including physician, nursing, specialized accommodations, emergency medical services, and other health services to in-patients.
3. *Public Safety/Government Facility*. Facilities that provide government services, safety and emergency services, such as police stations, fire departments, or ambulance stations.

H. CIVIC

1. *Assembly*. Facilities that provide shelter for public gathering and communal activities, including places of worship, or other assembly structures, including community halls, reception halls, wedding halls and other similar facilities that provide a gathering place for community functions.
2. *Day Care (Adult/Child)*. Any children's center, day nursery, nursery school, kindergarten, or family day care home as defined by Florida law.
3. *Library/Museum*. A civic building utilized for the reading, referencing, or lending of literary and artistic materials and/or devoted to the acquisition, conservation, study exhibition, and educational interpretation of objects having scientific, historical, or artistic value.
4. *Live Theater/Cinema*. A building, room, or outdoor structure used for the presentation of live plays, films, or other dramatic performances and/or an establishment used for showing movies or motion pictures.
5. *Passenger Terminal*. Premises used by an establishment for the boarding or discharge of people being transported by bus, train, or boat. This does not include individual transit shelters, such as a typical bus stop.
6. *Playground*. An open space, generally less than 1 acre, designed and equipped for the play of children. A playground is usually fenced and may include an open shelter.
7. *Recreation/Fitness (Indoor)*. Privately owned indoor facilities focused on offering amusement, recreation, personal instruction, and/or equipment or facilities for exercising and improving physical fitness; such as schools of dance, gymnastics, martial arts, athletic courts, skating rinks, batting cages, or other similar indoor activities and establishments.

8. *Recreation/Fitness (Outdoor).* Privately owned outdoor facilities focused on offering amusement, recreation, personal instruction, and/or equipment or facilities for exercising, public gathering, and/or improving physical fitness; such as outdoor swimming pools, skateboard parks, arenas, plazas or other similar activities and establishments.
9. *School (PreK-12).* An institution for pre-kindergarten, kindergarten, elementary, middle, and high school education.
10. *School (Trade/College).* An institution of higher education and/or for vocational or professional training for trades. Trade/Colleges also include related facilities, such as classroom buildings, libraries, laboratories, dormitories, administration, and dining halls that are incorporated into a unified campus.
11. *Government Facility.* Offices and other facilities such as city halls, courts, and similar buildings and structures used for administrative, legislative and judicial governmental functions.
12. *Utility Plant/Substation.* A building, structure, or property used for the distribution or transmission of utilities such as water, gas, electricity, or sewer.

LIVING LEALMAN FBC

PART 8

PARKING STANDARDS

SECTION 8.1 Intent

SECTION 8.2 Minimum Parking

SECTION 8.3 Parking Reductions

SECTION 8.4 Specific Parking Standards

SECTION 8.5 Off-Street Loading

PART 8: PARKING STANDARDS

8.1 INTENT

- A. The Parking Standards establish the amount, type, and design elements for vehicle and bicycle parking, as well as off-street loading areas.
- B. These standards are intended to encourage compact development patterns, to accommodate redevelopment, and recognize alternative methods of parking and modes of transportation that in turn can reduce the abundance of vehicular parking.

8.2 MINIMUM PARKING

A. OFF-STREET PARKING

The minimum number of off-street vehicle parking spaces is listed in [Table 8.1: Parking Standards](#), based on land use. For sites located within the Urban, Mercantile, or Makers Districts, a professional parking study may be submitted for consideration by the Code Administrator to allow for a reduced minimum parking requirement.

B. BICYCLE PARKING

The minimum number of bicycle parking spaces is listed in [Table 8.1: Parking Standards](#), based on land use. Whenever the table indicates two numerical standards, the larger resulting quantity shall apply.

TABLE 8.1: PARKING STANDARDS

USE CATEGORY	MIN. VEHICLE SPACES	MIN. BICYCLE SPACES
RESIDENTIAL		
Single-Unit Residential, Attached	1.5 per unit	N/A
Group Living	0.25 per unit	N/A
Accessory Dwelling Unit (ADU)	N/A	N/A
Affordable/Missing Middle Housing	1.0 per unit	2, or 1 per 20 units
All Other Residential Uses	1.25 per unit	2, or 1 per 20 units (Multi-Unit Residential Only)
LODGING		
Short-Term Vacation Rentals	Subject to applicable residential parking requirement.	N/A
All Other Lodging Uses	0.75 per room	2, or 1 per 20 rooms
OFFICE		
Office Building	2.25 per 1,000 sqft of UFA	2, or 1 per 10,000sqft
Live/Work	1.5 per unit, plus 1 space per 500 sqft non-residential area	N/A
Work/Live	1 per unit, plus 2.25 per 1,000 sqft of non-residential area	2, or 1 per 10,000sqft of non-residential area
RETAIL		
Food/Drink Establishment	7.5 per 1,000 sqft of UFA	2, or 1 per 5,000 sqft
Microbrewery/Winery/Distillery	5 per 1,000 sqft of UFA	2, or 1 per 5,000 sqft
Medical Clinic	2.25 per 1,000 sqft of UFA	2, or 1 per 10,000 sqft
Vet Clinic (No Outdoor Kennel)	1.25 per 1,000 sqft of UFA	2, or 1 per 10,000 sqft
Kennel	1.25 per 1,000 sqft of UFA	2, or 1 per 10,000 sqft
All Other Retail Uses	3.0 per 1,000 sqft of UFA	2, or 1 per 5,000 sqft
AUTOMOTIVE		
Drive-Thru Facility	6.0 per 1,000 sqft of UFA	2, or 1 per 5,000 sqft
All Other Automotive Uses	3.0 per 1,000 sqft of UFA	2, or 1 per 10,000 sqft

TABLE 8.1: PARKING STANDARDS

INDUSTRIAL		
Warehouse	0.5 per 1,000 sqft of UFA	2, or 1 per 40,000sqft
Laboratory	2.0 per 1,000 sqft of UFA	2, or 1 per 15,000 sqft
All Other Industrial Uses	0.75 per 1,000 sqft of UFA	2, or 1 per 15,000 sqft
CIVIL SUPPORT		
Public Safety Facility	3.0 per 1,000 sqft of UFA	2, or 1 per 10,000 sqft
Cemetery	3.0 per 1,000 sqft of UFA (if applicable)	2, or 1 per 10,000 sqft of building area (if applicable)
Hospital	2.5 per bed (based on building capacity)	2, or 1 per 15,000 sqft
CIVIC		
Recreation/Fitness (Indoor/Outdoor)	4.5 per 1,000 sqft of UFA	2, or 1 per 5,000 sqft
Playground	3 per acre	2 per acre
Daycare (Adult/Child)	2.25 per 1,000 sqft of UFA	2, or 1 per 10,000 sqft
School (Preschool - 12)	0.15 per student (based on building capacity)	5 per classroom
School (Trade/College)	0.5 per student (based on building capacity)	5 per classroom
Library/Museum	2.0 per 1,000 sqft of UFA	2, or 1 per 5,000 sqft
Passenger Terminal	N/A	N/A
Live Theater/Cinema	1.5 per seat	2, or 1 per 5,000 sqft
Assembly	6.5 per 1,000 sqft of UFA	2, or 1 per 10,000 sqft

C. ACCESSIBLE PARKING

The use/development shall provide motor vehicle parking quantities as listed in **Table 8.2: Accessible Parking Spaces**. The number of accessible spaces shall be a part of required parking for the use/development, not in addition to. Marked on-street parking spaces designed and designated as accessible spaces located directly adjacent to a subject property line may be included in the calculations of required accessible spaces.

TABLE 8.2: ACCESSIBLE PARKING SPACES

TOTAL SPACES IN LOT	MINIMUM ACCESSIBLE SPACES
Up to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total
Over 1,000	20 plus 1 for each 100 spaces over 1,000

GENERAL NOTES:

A minimum of 4 accessible spaces for the disabled shall be provided at a hospital or physical rehabilitation center.

D. CALCULATIONS

1. When computing vehicle/bicycle parking spaces based on usable floor area (UFA), the use areas located inside all building or similar structures shall be included in the required parking calculation. UFA excludes any floor area used for incidental service, storage, mechanical equipment rooms, restrooms, motor vehicle parking (e.g. garages) and other similar areas. Where these areas are not yet defined, UFA shall be considered to be 85% of the gross floor area (GFA).
2. Any activated, usable outdoor spaces, such as outdoor dining areas, greater than 400 square feet in area shall be calculated towards the minimum required on-site parking. Activated outdoor spaces located within the Build-to Area shall not require any additional parking.
3. The minimum of required vehicle/bicycle parking spaces is based on the primary uses on a site. When there are two or more primary uses on a site, the required vehicle/bicycle parking for the site is the sum of the required spaces for each. Accessory uses are exempt from minimum parking requirements.
4. When units or measurements determining the number of required off-street parking spaces result in a fractional space, then such fraction equal to or greater than one-half shall require a full off-street parking space.

8.3 PARKING REDUCTIONS

The minimum vehicle parking space quantity required for each site may be permitted a reduced parking amount (up to a maximum 75% total reduction) with the utilization of one or more of the following:

A. MIXED-USE SHARED PARKING

When any parking area is used for two or more uses, the minimum total number of required off-street parking spaces is permitted a reduced total amount of required parking spaces based on the following methodology:

1. Determine the minimum parking quantities, per use, in accordance with [Table 8.1: Parking Standards](#) to get the total minimum parking quantity required.
2. Take the total minimum parking quantity required and divide it by the number that intersects with the two applicable, corresponding use functions in [Table 8.3: Mixed Use Shared Parking Matrix](#).
3. Use this number as the required minimum number of motor vehicle parking spaces that shall be provided at any given time (See [Table 8.4](#) for an example of a mixed-use shared parking calculation scenario). When uses are located on separate lots/parcels from where the parking is located, a legal instrument shall be provided to ensure long term legal use of the parking facility by the subject users (e.g. parking agreement, easement or the like). The legal instrument must be approved by the County attorney.
4. If there are more than 2 primary uses on site, the 2 uses with the highest parking requirement shall be used when calculating the mixed-use shared parking reduction.

TABLE 8.3: MIXED-USE SHARED PARKING MATRIX

USE FUNCTION	with	USE FUNCTION
RESIDENTIAL		RESIDENTIAL
LODGING		LODGING
OFFICE		OFFICE
RETAIL/AUTOMOTIVE		RETAIL/AUTOMOTIVE
INDUSTRIAL		INDUSTRIAL
CIVIL SUPPORT/CIVIC		CIVIL SUPPORT/CIVIC
	1	
	1.1	1.1
	1.4	1.4
	1.2	1.2
	1.3	1.3
	1.2	1.2
	1.3	1.3
	1.2	1.2
	1.4	1.4
	1.2	1.2
	1.3	1.3
	1.2	1.2
	1.2	1.2
	1	
	1.2	1.2
	1.2	1.2
	1.2	1.2
	1.2	1.2
	1.2	1.2
	1	

TABLE 8.4: MIXED-USE SHARED PARKING EXAMPLE

USE		AREA/DWELLING UNITS	CODE REQUIREMENT	TOTAL SPACES REQUIRED PER USE
1	Retail	2,000 sqft.	3 spaces per 1,000 sqft.	6
2	Residential	6 Dwelling Units	1.25 spaces per unit	7.5

Mixed-Use Shared Parking Equation:

$(\text{Use 1 Required Parking Spaces} \div \text{Matrix Ratio}) + (\text{Use 2 Required Parking Spaces} \div \text{Ratio}) = \text{Reduced Total Parking}$

USE		REQUIRED SPACES	MATRIX RATIO	TOTAL SPACES REQUIRED BOTH USES
1	Retail	6	1.2	11 Spaces
2	Residential	7.5	1.2	

B. LOCATION

1. *District Reductions.* Properties located within the Urban or Warehouse Districts are permitted a 15% reduction. Refer to [Section 8.2\(A\)](#) for consideration of a parking study.
2. *Transit.* Properties located within $\frac{1}{4}$ mile of a regularly-scheduled public transit line, with headways 30 minutes or less during AM/PM peak times, may be permitted a 15% reduction.

C. ON-STREET AND/OR PUBLIC PARKING

1. Any provided on-street parking that abuts a property may be counted towards satisfying the minimum vehicle parking standard. Adjacent on-street parking spaces shall remain public and may not be solely dedicated to a specific business. Any on-street parking space that abuts multiple properties, shall only be counted for the property where the majority of the space abuts.
2. Properties, with the exception of single-unit residential properties, are permitted to count 20% of any public spaces located within 600 feet toward meeting the minimum number of required parking spaces. Public spaces include on-street parking not adjacent to the subject property and/or public parking lots/structures.

D. VALET PARKING

For sites with designated on-site valet parking services provided, a reduction of 5 vehicle parking spaces is provided.

E. RIDESHARE/DROPOFF SPACE

For each designated on-site rideshare/drop-off space that is provided, a reduction of 5 vehicle parking spaces is permitted.

F. TREE PRESERVATION

Where healthy trees and/or tree stands exist and are preserved within a proposed parking area, the use/development may be permitted up to a 15% reduction.

8.4 SPECIFIC PARKING STANDARDS

A. ON-STREET PARKING

On-street parking is encouraged and may be provided along the abutting street(s) when permissible by the roadway facility owner (i.e. local government, developer, or property owners) and subject to the following:

1. Street parking that abuts the site may count towards satisfying the minimum parking requirement, in addition to 20% of any public spaces within 600 feet.
2. Street parking spaces shall remain available to the general public.
3. Certain roadway improvements may be required to accommodate street parking.
4. Due to physical constraints and/or roadway classifications, some roadways may not allow, or be suited for, street parking.

B. OFF-STREET PARKING

1. *Location.*
 - a. All off-street parking areas shall be located at or behind any required parking setback line, as established in [Part 4: District Standards](#), except for residential driveways.

- b. All or portions of the required vehicle parking may be provided on a separate site located generally within 600 feet. The off-site location shall be either under the same ownership or allowed to be used by a lease agreement or other legal instruments. The off-site location shall be readily accessible by walking, transit, and/or shuttle service.
- c. The required number of accessible parking spaces shall be provided on-site or as designated on-street spaces that are adjacent to the site.

2. Size. The minimum dimensional requirements for parking spaces and drive aisles are listed in the following table, **Table 8.5: Dimensional Requirements**.

TABLE 8.5: DIMENSIONAL REQUIREMENTS

Parking Space Type				
	Minimum Width	Minimum Depth		
Parallel	9 feet	23 feet		
45, 60, or 90 Degree	9 feet	18 feet		
Compact Space ¹	8 feet	16 feet		
Tandem Space	9 feet	34 feet		
Interior Drive Aisles				
	Minimum Width			
One-Way Traffic	12 feet			
Two-Way Traffic	20 feet			
GENERAL NOTES:				
3. Compact spaces may be used to satisfy up to 20 percent of the minimum required spaces for a site.				

4. *Construction Requirements.*

- a. *Surface Material.*
 - i. Pervious surfaces approved by the County, such as grid pavers, grass, gravel, or crushed shell, are encouraged for surface parking lots.
 - ii. Non-paved surfaces of parking areas and associated drives shall be stabilized and provided with appropriate dust control.
 - iii. All accessible parking spaces and accessways shall be paved with asphalt, concrete or similar hard-surface material approved by the County.
- b. *Back-out Area.* All parking aisles shall include a back-out area that extends the width of the aisle and is 5 feet in depth.
- c. *Side/Rear Setback.* All parking spaces and driveways shall maintain a minimum setback of 5 feet from all side and rear property lines. A setback is not required along alleys or for shared parking lots with cross access between separate properties.

- d. *Wheel Stops.* All landscape areas and pedestrian walkways which are perpendicular to parked vehicles shall be protected with wheel stops within each space to prevent vehicles from overhanging the landscaped area or walkway.
- e. *Curbing.* Curb shall be provided for all parking areas, as specified below:
 - i. All entrances accessing a public street shall be curbed such that the curbing extends around the perimeter of any landscape area adjacent to the entrance. This provision does not apply to entrances from alleys.
 - ii. All landscape islands which are bordered on at least two (2) sides by parking areas shall be curbed.
 - iii. Breaks in curbing or other alternate designs to allow for drainage are permitted, provided that the required landscape areas remain protected from vehicles.

C. RESIDENTIAL PARKING

- 1. *Tandem Parking.*
 - a. Tandem parking shall be permitted to be used for single-unit residential and multi-unit residential projects.
 - b. For multi-unit projects, up to 75% of the total off-street parking spaces provided may incorporate tandem parking. A tandem space shall be assigned to only one dwelling unit.
- 2. *Residential Driveway/Garage Parking.* When permitted to access a public street, a residential driveway shall comply with the following:
 - a. The portions of the driveway that connect to the public right-of-way may not exceed 20 feet in width.
 - b. Driveways that are used for parking shall provide at least 20 feet of depth, as measured from the adjacent street right-of-way, to prevent vehicles overhanging public sidewalks and/or streets.
 - c. The portion of the driveway located within the right-of-way shall be constructed of materials approved by the County.

D. ACCESSIBLE PARKING

All accessible parking spaces shall be designed and constructed in compliance with the following:

- 1. *Minimum Size (Diagonal or Perpendicular Spaces).* 12 feet wide x 18 feet deep
- 2. *Access.*
 - a. All accessible spaces for the disabled shall be provided with a curb cut or curb ramp to a pathway, a minimum of 44 inches wide, to provide access to the building served. The stall shall be located so that users will not be compelled to maneuver behind parking vehicles. Two accessible parking spaces may share a common access aisle.

- b. All accessible spaces shall have an adjacent access aisle measuring at least 60 inches wide. Parking access aisles shall be part of the accessible route to the building or facility entrance.
- 3. *Location.* When considering all the parking on the site, the designated accessible spaces should be located closest to the primary building entrance. If there are multiple entrances or multiple retail stores, the accessible spaces must be dispersed to provide parking at the nearest building entrance.
- 4. *Surface Materials and Markings.*
 - a. All accessible spaces and accessways shall be paved with asphalt, concrete or similar hard-surface material approved by the County.
 - b. Accessible parking spaces shall be posted with a permanent above-grade sign bearing the international symbol of accessibility and the caption "parking by disable permit only."
 - c. Each such parking space must be prominently outlined in blue paint. The property owner shall be responsible to repaint the spaces as necessary.

E. BICYCLE PARKING

- 1. *Location.*
 - a. Bicycle parking shall be within 100 feet of a main entrance to the building.
 - b. For sites with more than one primary building, the bicycle parking shall be distributed evenly amongst the primary buildings and shall be within 100 feet of a main entrance.
- 2. *Bicycle Rack Design.*
 - a. Bicycle racks or similar features shall be provided with the primary purpose to allow bicycles to be securely attached to the apparatus. Sign poles, planters, and utility lines shall not be considered bicycle parking racks or used to satisfy the bicycle parking requirement.
 - b. Bicycle rack design shall accommodate a high security, U-shaped lock.
 - c. Bicycle racks shall be securely anchored to the ground, a building, or a paved surface.
 - d. Bicycle racks shall be constructed using decorative, durable finishes that are not damaged by the constant abrasion from bicycles.

8.5 OFF-STREET LOADING

- A. Loading facilities shall be located to the rear or side of buildings and buffered, per [Section 6.4\(D\)](#), from view of any public street or space.
- B. In no case shall the use of any loading space hinder the movement of vehicles and pedestrians on a street, alley, or sidewalk.

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PART 9

DEFINITIONS

PART 9: DEFINITIONS

A

Accent Tree. An understory tree planted primarily for its aesthetic value and as a landscape focal point, as opposed to its function of shading or screening even though it may perform all three functions.

Accessory Dwelling Unit (ADU). An independently functioning dwelling unit which is accessory to the primary use on the same lot and which has a separate kitchen with a cooking stove. These uses are sometimes referred to as "garage apartments," "Mother-in-Law Apartments," and/or "carriage houses."

Accessory. The term applied to a building, structure, or use which:

1. Is subordinate to and serves a primary building or primary use;
2. Is subordinate in area, extent, and purpose to the primary building or primary use served;
3. Contributes to the comfort, convenience or necessities of the users or occupants of the primary building or primary use; and
4. Is located on the same lot as the primary building or primary use and is in keeping with the purpose and intent of the District in which it is located.

Activated Public Space. An area located within the street-space that provides a place for active public interaction and activity, such as outdoor dining areas, plazas, or civic greens.

Adaptive Reuse. The renovation and reuse of pre-existing structures (such as a warehouse or residential home) for new purposes.

Affordable Housing Development. A single-unit, detached residential housing development in which at least 20 percent of the units are affordable at 80 percent of median family income, or a multi-unit development in which at least 20 percent of the units are affordable to households at 60 percent of median family income.

Alley. A route that provides service access behind/along-side individual properties and provides very short access between the property and higher classified roadways. Alleys serve as an important access to private property, parking, utilities, and trash collection.

Alternative Energy Facility. Public/private facilities that provide energy services that are alternative to fossil fuels, such as hydroelectric, wind, geothermal, or solar power.

Appurtenance. A minor element of a larger structure, such as a bay window, stairs, or light post.

Architecturally Compatible. Being constructed and/or designed to be complimentary to the architectural style and materials of a building.

Arterial Street. A route providing service to an urban area that is relatively continuous and of higher traffic volume, long average trip length, and high mobility importance.

Artwork. Drawings, pictures, symbols, paintings or sculptures which in no way identify a product or business and which are not displayed in conjunction with a commercial, for-profit or nonprofit enterprise.

Assembly Use. Facilities that provide shelter for public gathering and communal activities, including places of worship, or other assembly structures, including community halls, reception halls, wedding halls, and other similar facilities that provide a gathering place for community functions.

Attached. A building that is structurally connected to another building by a foundation, wall, or roof line.

Automobile Sales/Rental. Any building and premises which displays, demonstrates, sells, rents, or leases automobiles, motorcycles, pickup trucks, or other similar vehicles which includes a showroom enclosed within a building and open display area.

Automobile Service/Repair. Any modification, reconditioning, restructuring, rebuilding, or routine service of a motor vehicle or a motor vehicle component.

Awning. A roof-like covering, usually made of canvas or metal, and often adjustable, placed over a sidewalk, windows, or doors to provide protection from sun and rain.

B

Balcony. An exterior platform attached to the upper floors of the building facade.

Bed and Breakfast. A residential structure, with no more than 15 sleeping rooms, which has been modified to serve as a transient public lodging establishment, which provides the accommodation and meal service generally offered by a bed and breakfast inn, and which is recognized as a bed and breakfast inn in the community in which it is situated or by the hospitality industry.

Block. An increment of land comprised of lots, alleys, and tracts bounded and not traversed by streets (pedestrian pathways are permitted).

Buffer. A strip of land, a fence/wall, and/or area or landscaping between one land use and another design and intended to separate those uses.

Building. Any structure having a roof supported by columns or walls designed or built for the support, shelter, or protection of persons, animals or property of any kind. When separated by division walls from the ground up and without openings, each portion of such building may be deemed as separate buildings and/or uses.

Build-to Area. The area between the designated minimum and maximum front setback requirements of a property, in which the minimum Building Frontage requirement shall be met entirely.

Building Articulation. The fragmentation of building form and surface in order to break up large, otherwise featureless spaces, masses or volumes into more human scaled components.

Building Frontage. The length of the facade of a building along the front property line(s) located within the Build-to Area.

Building Projection. Any element that extends beyond the front facade of a building, such as a porch, stoop, or awning.

C

Cemetery. Land used or intended to be used for the permanent interment of human or pet remains. A cemetery may contain land or earth interment, mausoleum, vault, or crypt interment; a columbarium, ossuary, scattering garden, or other structure or place used or intended to be used for the interment or disposition of cremated human or pet remains; or any combination of one or more of such structures or places, as defined by Florida law.

Clearance. The area between the finished floor and the ceiling of each story.

Code Administrator. The individual or group responsible for the implementation and enforcement of this Form-Based Code.

Collector Street. A route providing service which is of relatively moderate traffic volume and trip length. Collector roadways also collect and distribute traffic between local and arterial roads and serve as a linkage between land access and mobility needs.

Common Lot Lines. Lot lines shared by adjacent private lots.

Corner Lot. A lot that fronts on two or more streets and is located at the intersection of those streets.

Courtyard. A central portion of a building's facade that is set back, creating an open area typically utilized as a common entrance to multiple business/residences and/or shared open space.

D

Daycare (Adult/Child). Any children's center, day nursery, nursery school, kindergarten, or family day care home as defined by Florida law.

Detached. A building that has no structural connection with another structure.

Development Standards. Regulations provided by this Code that provide specific conditions for the development/redevelopment and use of buildings and property. Development standards may also be referred to as development requirements.

District Map. The implementing site plan for the development/redevelopment of the Lealman Form-Based District that assigns a District designation to each property. Each designation then provides specific information for the disposition of buildings on a site and how it relates to the adjacent street-spaces, the overall district, and surrounding neighborhoods.

Drive-Thru Facility. An establishment, such as a fast food restaurant or bank, designed to enable customers in parked vehicles to transact business with persons inside of the primary building.

Duplex/Semi-Detached Unit. A building that contains two dwelling units on a lot that shares a portion of common walls or common floor/ceiling.

Dwelling Unit. Any structure or portion thereof designed for or used for residential purposes as a self-sufficient, individual unit, and having permanently installed sleeping, cooking, and sanitary facilities.

E

Easement. A grant by a property owner to specific persons, the general public, corporations, utilities, or others for the purpose of providing services or access to and/or across the property.

Eave. The part of a roof that meets or overhangs the walls of a building.

F

Facade. The building elevation facing a street. Building walls facing private interior courts, common lot lines, alleys, and common drives are not facades.

Fence. Any structure, solid or otherwise, which is a barrier and is used as a boundary or means of protection, confinement, or concealment.

Fence, Decorative. A fence that is made of PVC fence material, wrought iron, or aluminum pickets, or is a painted or stained shadow-box or board-on-board type fence.

Fenestration (Facade Transparency). Openings in the building wall, including windows and doors, allowing light and views between interior (private realm) and exterior (public realm). Fenestration is the measure of glass area (including mullions and similar window frame elements) and/or open area.

Floor Area Ratio (FAR). A ratio of square footage of gross building floor area to square footage of land area.

Food/Drink Establishment. An establishment serving food and/or beverages prepared on the premises, which are generally intended for immediate consumption.

Form-Based Code. A land development regulation that fosters predictable built results and a high-quality public realm by using physical form (rather than separation of uses) as the organizing principle for the code. A form-based code is a regulation, not a mere guideline.

Foundation. The supporting member of a wall or structure.

Freeboard. A factor of safety expressed in feet above a base flood elevation for purposes of floodplain management. "Freeboard" tends to compensate for the many unknown factors that could contribute to flood heights greater than the height calculated for a selected size flood and floodway conditions, such as wave action, bridge openings, and the hydrological effect of urbanization of the watershed. Freeboard results in significantly lower flood insurance rates due to lower flood risk.

Frontage. The location where a lot or other parcel abuts a street.

Front Setback. The horizontal distance between a structure's facade wall and the adjacent street right-of-way.

Front Yard. The horizontal space between the nearest wall of a building to the front lot line, extending to the side lines of the lot, and measured as the shortest distance from the wall to the front lot line.

Fuel Station. A structure, building, or premise or any portion thereof where a flammable fluid is stored, housed, and sold for supply to motor vehicles; and does not include any accessory motor vehicle servicing.

G

Greenhouse/Urban Farming. A structure, primarily of glass, in which temperature and humidity can be controlled for the cultivation or protection of plants that is used for urban farming, which is the growing, processing, and distribution of food and other products.

Government Facility. Offices and other facilities such as city halls, courts, and similar buildings and structures used for administration, legislative and judicial governmental functions.

Grocery. Large-scale retailers of food and grocery supplies, typically also including flower shops, pharmacies, bakeries, branch banks, and other complementary and incidental uses.

Ground Floor Elevation. The elevation of the ground level of a structure above the adjacent finished grade.

Group Living. Any building or buildings, section or distinct part of a building, private home, boarding home, home for the aged, or other residential facility, regardless of whether operated for profit, which through its ownership or management provides housing, meals, and one or more personal services for a period exceeding 24 hours to one or more adults who are not relatives of the owner or administrator. Group living includes assisted living facilities (ALFs), group homes, and congregate care facilities.

Gross Floor Area. The total square footage of all areas within a structure.

H

Hedge Row. A continuous arrangement of shrubs for the purpose of screening or dividing spaces which are planted and maintained to create an open space or provide a buffer.

Height, Building. The vertical distance measured up to the eave of the roof on a building from the adjacent grade level.

Home Occupation. An accessory use in a residential area consisting of an occupation or activity performed entirely within a dwelling or authorized accessory structure. The home occupation is to be clearly incidental and secondary to the use of the dwelling purposes and shall not change the residential character thereof.

Hospital. An establishment, typically operating 24 hours a day, providing medical, diagnostic, and treatment services including physician, nursing, specialized accommodations, emergency medical services, and other health services to in-patients.

Hotel. A building or group of buildings containing lodging units intended primarily for rental or lease to short-term visitors by the day or week, and which may provide accessory services such as restaurants, meeting rooms, and recreation facilities. Does not include condo hotels.

I

Impervious Surface. A surface that has been compacted or covered with a layer of material so that it is highly resistant or prevents infiltration by stormwater. It includes surfaces such as compacted sand, limerock, or clay as well as conventionally surfaced streets, sidewalks, parking lots, and other similar surfaces.

Infill. The development of vacant parcels/lots within previously built areas. These areas are already served by public infrastructure, such as transportation, water, wastewater, and other utilities.

Inn. A structure, with no more than 15 sleeping rooms, providing temporary short-term lodging accommodations. Individual rooms shall not contain any kitchen facilities, and must be accessed through a central internal lobby, foyer, or office.

J

K

Kennel. Any property where 5 or more dogs, cats, or other similar animals over the age of 4 months are kept, raised, cared for, trained, sold, bred, boarded, treated, or groomed for commercial purposes.

L

Laboratory. A place providing the opportunity for experimentation, observation, or practice in a field of study.

Landscape Island. A landscape area that is bordered on at least two (2) sides by a hard surface, such as asphalt, gravel, or pavement.

Library/Museum. A civic building utilized for the reading, referencing, or lending of literary and artistic materials and/or devoted to the acquisition, conservation, study exhibition, and educational interpretation of objects having scientific, historical, or artistic value.

Live Theater/Cinema. A building, room, or outdoor structure used for the presentation of live plays, films, or other dramatic performances and/or an establishment used for showing movies or motion pictures.

Live/Work. A structure or portion of a structure combining residential living space with an integrated workspace intended to be used by one of the residents.

Local Street. A route providing service which is of relatively low traffic volume, short average trip length, and high land access for abutting properties. Local roadways are further classified as major or minor.

Local Street, Major. Major locals provide basic access in higher density residential neighborhoods and commercial and industrial areas.

Local Street, Minor. Minor locals provide basic access in lower density residential neighborhoods and commercial and industrial areas.

Lot. An area of land designated on a recorded plat as an individual tract.

Lot, Corner. A lot that fronts on two or more streets and is located at the intersection of two or more streets.

Lot, Through. A lot that fronts on two or more streets, but not at the immediate intersection of those streets.

Lot, Multi-Frontage. A lot with more than one public street frontage, such as a corner or through lot.

Lot Coverage. The portion of any lot occupied by permanent structures and hard, impervious surfaces. Lot coverage does not include pervious surfaces, such as crushed shell, gravel, or grass pavers.

Low Impact Development (LID). Systems and practices that use or mimic natural processes that result in the infiltration, evapotranspiration or use of stormwater in order to protect water quality and associated aquatic habitat. LID systems include, but are not limited to, rain gardens, bioswales, vegetable swales, or pervious pavers.

M

Manufacturing/Production, Heavy. A use engaged in the base processing and manufacturing of materials or products predominately from extracted raw materials, or a use engaged in storage of, or manufacturing processes using flammable or explosive materials, or storage or manufacturing processes that potentially involve hazardous or commonly recognized offensive conditions.

Manufacturing/Production, Light. Establishments engaged in the manufacturing, compounding, processing, packaging, storage, assembly, production, and/or treatment of finished or semi-finished products from previously prepared materials. Fabrication, assembly, processing, finishing work, or packaging, employing only electric or other substantially noiseless and inoffensive motor power, utilizing hand labor or quiet machinery and processes, and free from neighborhood disturbing agents such as odors, gas, fumes, smoke, cinders, refuse matter, electromagnetic radiation, heat or vibration; and with no outside storage of materials or finished goods.

Medical Clinic. A facility engaged in the examination, diagnosis, and treatment of medical related conditions. Medical clinics can offer urgent/immediate care services, but do not include overnight facilities for patients.

Microbrewery/Winery/Distillery. A facility used for the production and packaging of malt beverages, wine, and/or spirits for the distribution, retail, or wholesale on or off-premise, with a capacity of not more than 60,000 barrels of beer/cider; 100,000 gallons of wine; or 15,000 gallons of spirits per year. The development may include other uses such as a restaurant, tasting room, or live entertainment.

Missing Middle Housing. Housing that addresses affordable and workforce housing that can encompass a range of smaller footprint, multi-unit or clustered housing types (such as shotgun, courtyard apartment, bungalow court, townhouse, and live/work units), which are compatible in scale and design with single-family homes, and are designed to encourage walking, biking, and transit use.

Mixed-Use. A combination of uses on a single property.

Multi-Frontage Lot. A lot with more than one public street frontage, such as a corner or through lot.

Multi-Unit Residential. Three or more dwelling units, attached to each other by a stacking arrangement and with common vertical and horizontal walls, where primary access to those units is shared.

Mural. Artwork that is executed directly on a wall of a building and are not displayed in conjunction with a commercial, for-profit or nonprofit enterprise.

N

Neighborhood Market. A smaller-scaled facility specializing in the retail sales of food, typically specializing in fresh produce and/or meat products. A neighborhood grocery/market is distinguished from a grocery store in that they typically do not include accessory flower shops, pharmacies, bakeries, branch banks, etc.

Non-Conforming. A use, structure, lot or parcel, or combination thereof, that was lawfully established according to the rules and regulations in force at the time of its establishment, but would be prohibited, restricted or further regulated under the terms of this code.

O

Office Building. A building or group of buildings utilized for typical office uses, such as administrative, executive, professional, research, doctor, dental, or other similar entities.

P

Parcel. Any individual tract of land under unified ownership.

Parking, Compact Space. A parking space dimensionally sized to accommodate a compact motor vehicle.

Parking, Rideshare/Drop-Off Space. A designated area and/or parking space(s) solely dedicated for pickup and drop-off of customers and employees.

Parking, Tandem Space. A single parking space designed to accommodate two motor vehicles parked back to back of one another.

Parking, Use. Surface or structured parking areas that are a primary use on a lot or parcel.

Parking Setback Line. The minimum setback for all on-site parking, as established for each District. No vehicles are permitted to be parked in front of the parking setback line on-site.

Passenger Terminal. Premises used by an establishment for the boarding or discharge of people being transported by bus, train, or boat. This does not include individual transit shelters, such as a typical bus stop.

Pedestrian-Oriented. Designed and scaled in a way to accommodate and increase the comfort and safety of pedestrians.

Pervious. A surface material that allows water to pass through, such as crushed shell, gravel, or grass pavers.

Playground. An open space, generally less than 1 acre, designed and equipped for the play of children. A playground is usually fenced and may include an open shelter.

Porch. A structure that extends along the outside of a building consisting of a floor that is typically raised above the finished horizontal elevation of the lot. The porch is unenclosed except for a balustrade and the flooring and may be roofed or open to the sky. When located within the front yard, the porch typically provides a primary access into the structure. When provided primary access, the design elements of the porch are typically consistent with those of the attached structure and include the finish materials of any exterior surface, stem wall materials and/or foundation skirting.

Primary. The most dominant use, building, or structure on a lot or parcel.

Primary Frontage. The street frontage of a lot with the highest Street Type Classification.

Public Realm. The public realm comprises the streets, sidewalks, squares, parks, green spaces and other outdoor places that require no key to access them and are available for everyone to use and enjoy.

Public Safety/ Government Facility. Facilities that provide government services, safety and emergency services, such as police stations, fire departments, or ambulance stations.

Q

R

Rear/ Side Yard. The horizontal space between the nearest wall of a building to the rear or side property line.

Recreation/Fitness (Indoor). Privately owned indoor facilities focused on offering amusement, recreation, personal instruction, and/or equipment or facilities for exercising, public gathering, and/or improving physical fitness; such as schools or dance, gymnastics, martial arts, athletic courts, skating rinks, batting cages, plazas or other similar indoor activities and establishments.

Recreation/Fitness (Outdoor). Privately owned outdoor facilities focused on offering amusement, recreation, personal instruction, and/or equipment or facilities for exercising and improving physical fitness; such as outdoor swimming pools, skateboard parks, arenas, or other similar activities and establishments.

Redevelopment. Includes the reconstruction, conversion, structural alteration, relocation or enlargement of an existing building on a previously developed property.

Retail Building. A building or group of buildings in which business activities customarily provide retail convenience goods and the sale of merchandise to end users.

Right-of-Way (ROW). The area of a highway, road, street, or way reserved for public use, whether established by prescription, dedication, gift, purchase, eminent domain, or any other legal means.

S

School, Pre-K - 12. An institution for pre-kindergarten, kindergarten, elementary, middle, and high school education.

School, Trade/College. An institution of higher education and/or for vocational or professional training for trades. Trade/Colleges also include related facilities, such as classroom buildings, libraries, laboratories, dormitories, administration, and dining halls that are incorporated into a unified campus.

Secondary Frontage. Any street frontage adjacent to a lot/parcel other than the primary frontage.

Setback. The horizontal distance between a structure and another structure, a property line, a right-of-way line, a body of water or other specific point.

Setback, Front. The horizontal distance between a structure's facade wall and the adjacent street right-of-way.

Setback, Side/Rear. The horizontal distance between a structure's walls and a rear or side property line.

Shade Tree. Typically a deciduous tree, but also may include coniferous trees with spreading canopies such as pine species native to Florida.

Short-Term Vacation Rental. An individual dwelling unit that is rented to an individual or party at a lease term that is no more than 30 consecutive days, and no more than 3 times in a calendar year.

Shrub. A woody plant that is smaller than a tree and has several main stems arising at or near the ground.

Side/Rear Yard. The horizontal space between the nearest wall of a building to the rear or side property line.

Sign. Any device, fixture, placard, or structure that uses any color, form, graphic, illumination, architectural style or design or writing to advertise, attract attention, announce the purpose of, or identify the purpose of a person or entity, or to communicate information of any kind to the public. "Sign" includes the sign structure.

Sign, Attached. Any sign attached to, on, or supported by any part of a building (e.g. walls, integral roof, awning, windows, projecting or canopy) which encloses or covers usable space.

Sign, Electronic Changeable Message. A sign or portion of a sign that displays electronic static images, static graphics, static pictures, or non-pictorial text information in which each alphanumeric character, graphic, or symbol is defined by a small number of metric elements using different combinations of light emitting diodes, fiber optics, light bulbs, liquid crystal or any other emerging illumination technology within the display area. Electronic changeable messages include computer programmable, microprocessor-controlled electronic displays. Electronic changeable messages include images or messages with these characteristics projected onto buildings or other objects. Electronic changeable message sign shall not include any sign that does not maintain a static image for a minimum dwell time of 60 seconds or such other minimum dwell time that is expressly permitted under this Code.

Sign, Freestanding. Any sign supported by structures or supports that are placed on or anchored in the ground and that are independent of any building or other structure.

Sign, Projecting. Any sign affixed perpendicularly to a building or wall in such a manner that its leading edge extends more than six inches beyond the surface of such building or wall.

Sign, Sandwich Board. A portable sign which is ordinarily in the shape of an "A" or some variation thereof.

Sign, Temporary. Any sign that is not a permanent sign and shall include a sign formerly or commonly associated with a temporary use or structure, a temporary election sign, a temporary political sign, a temporary free expression sign, a temporary real estate sign, a temporary directional sign, a temporary construction sign, a temporary grand opening sign, or any other temporary sign unless otherwise provided herein. The term "temporary sign" shall not include any substitution of message on an existing lawful sign or sign structure.

Sign Structure. Any structure which is design specifically for the purpose of supporting a sign, has supported or is capable of supporting a sign. This definition shall include any decorative covers, braces, wires, supports, or components attached to or placed around the sign structure.

Single-Unit Residential, Attached. A dwelling unit on a single lot or on multiple lots with zero lot lines, attached to one or more single-unit dwellings by a common vertical wall, where individual access is provided to each unit.

Single-Unit Residential, Detached. A dwelling unit in a single structure, on a single lot, not attached to any other dwelling by any means.

Stacking Space. The parking spaces within a drive-thru queue to accommodate waiting vehicles.

Stoop. An entry platform on the facade of a building. Stoops may be roofed but are not enclosed.

Stormwater. The flow of water which results from, and which occurs immediately following a rainfall event.

Story. That portion of a building (both habitable space and parking areas) included between the surface of any floor and the surface of the floor next above it, or if there is not floor above, the space between the floor and ceiling above it.

Street. A public right-of-way intended for the use of vehicular and pedestrian traffic.

Street-Space. All space between fronting buildings (streets, squares, plazas, pedestrian pathways, civic greens, sidewalks, quadrangles, parks) - including any transit service operator passenger platform - but not garage entries or alleys.

Street Tree. A planted tree that is an element of the street-space.

Structural Alteration. Any extension, reduction, enlargement or rebuilding of the structural components of a building or structure. This shall not include any routine plumbing, electrical, or mechanical repairs.

Structure. Any building or other object that is constructed or erected that requires location on or under the ground or is attached to something on the ground. Such term includes a movable structure, while it is located on land, which can be used for housing, business, commercial, agriculture, or office purposes, either temporarily or permanently, including all caging designed to contain livestock. This definition shall include all decks which exceed one foot in height. Fences a maximum of six feet high, sidewalks, patio slabs, driveways, containers (tanks) covered by other codes, and utility poles are not considered structures except for permit requirements.

T

Temporary. Established for a limited and fixed period of time with the intent to discontinue upon the expiration of the time period.

Through Lot. A lot that fronts on two or more streets, but not at the immediate intersection of those streets.

Tree. A woody plant with an expected mature height of 35 feet or more and possessing either a single trunk or multiple trunks. Trees are often described in subcategories by common attributes and the functions they serve, such as: accent tree or shade tree.

Tree, Accent. An understory tree planted primarily for its aesthetic value and as a landscape focal point, as opposed to its function of shading or screening even though it may perform all three functions.

Tree, Shade. Typically a deciduous tree, but also may include coniferous trees with spreading canopies such as pine species native to Florida.

Truck Maintenance/Fueling. A facility designed and used to provide services to the trucking industry including, but not limited to, fuel stations, repair shops, truck washes, restaurants, convenience stores, weight scales, and shower facilities, all as part of a unified facility.

U

Urban Arterial Street. A route providing service to an urban area that is relatively continuous and of higher traffic volume. Urban arterials are characterized by slower traffic speeds with pedestrian infrastructure, such as sidewalks and multimodal paths.

Urban Housing. Housing types typically found in urban areas, including, but not limited to upper story apartments, townhomes, rowhouses, mid-rise apartments, and multiplex buildings.

Usable Floor Area (UFA). All usable areas located within a structure, excluding any floor area used for incidental service, storage, mechanical equipment rooms, restrooms, parking areas (such as garages) and other similar areas. Where these areas have not yet been designated, UFA shall be considered to be 85% of the gross floor area.

Use, Accessory. The term applied to a use that:

1. Is subordinate to and serves a primary use;
2. Is subordinate in area, extent, and purpose to the primary use served;
3. Contributes to the comfort, convenience or necessities of the users or occupants of the primary use; and
4. Is located on the same lot as the primary use, provided such use is in keeping with the purpose and intent of the District in which it is located.

Use, Primary. The most dominant use on a lot or parcel.

Use, Temporary. A land use established for a limited and fixed period of time with the intent to discontinue such use upon the expiration of the time period.

Utility Plant/Substation. A building, structure, or property used for the distribution or transmission of utilities such as water, gas, electricity, or sewer.

V

Vertically Integrated Mixed-Use. A single building which accommodates multiple land uses, with more active uses (e.g., retail commercial) established at ground level and less active uses (e.g., residential, office) on higher floors.

Vet Clinic. A place designed or prepared to provide medical attention to or care for dogs, cats, and other pets in return for compensation, but do not contain any outdoor kennels for boarding animal containment.

W

Wall, Decorative. A wall that is made of masonry with a stucco finish; has a finish of natural materials, such as brick, stone, or glass block; or has a finish which is accepted of use in the industry.

Warehouse. Establishments that ship, store, and distribute, but do not sell goods within completely enclosed structures. Warehouse uses may provide a range of services related to the distribution of goods, such as labeling, breaking bulk, inventory control and management, light assembly, order entry and fulfillment, packaging, pick and pack, price marking and ticketing, and transportation arrangement. Bonded warehousing and storage services are included in this category.

Wireless Communications Tower. A monopole, guyed or a lattice type tower greater than 15 feet in height that is designated for the attachment of or as support for wireless communication antennas or other antennas.

Workshop/Arts. Establishments that typically produce high-quality or distinctive products generally in small quantities, usually by hand or using traditional methods. Examples include, but are not limited to, glass blowing, jewelry making, woodworking, baking and traditional food product making.

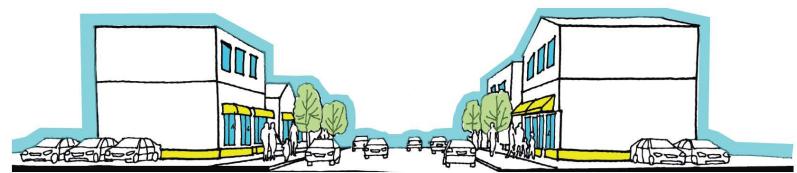
X

Y

Yard, Front. The horizontal space between the nearest wall of a building to the front lot line, extending to the side lines of the lot, and measured as the shortest distance from that wall to the front lot line.

Yard, Side/Rear. The horizontal space between the nearest wall of a building to the rear or side property line.

Z



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