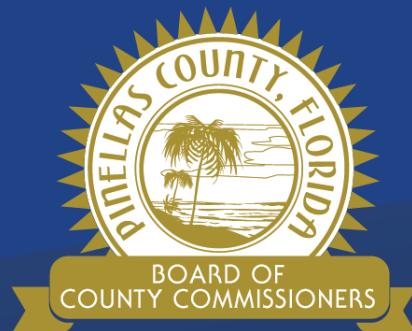


Neighborhood Planning Lealman & Downtown Palm Harbor Form-Based Codes



Planning Department
Allie Keen & Scott Swearengen



Our Vision: To Be the Standard for Public Service in America

Doing Things!
To Serve the Public



Why a Form Based Code?



Pinellas County Initiatives



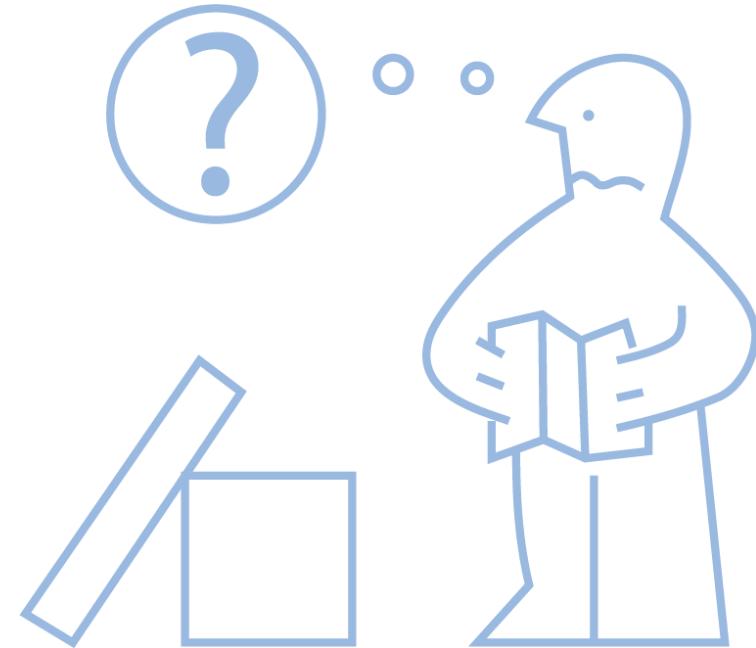
Housing Options



Targeted Job Growth



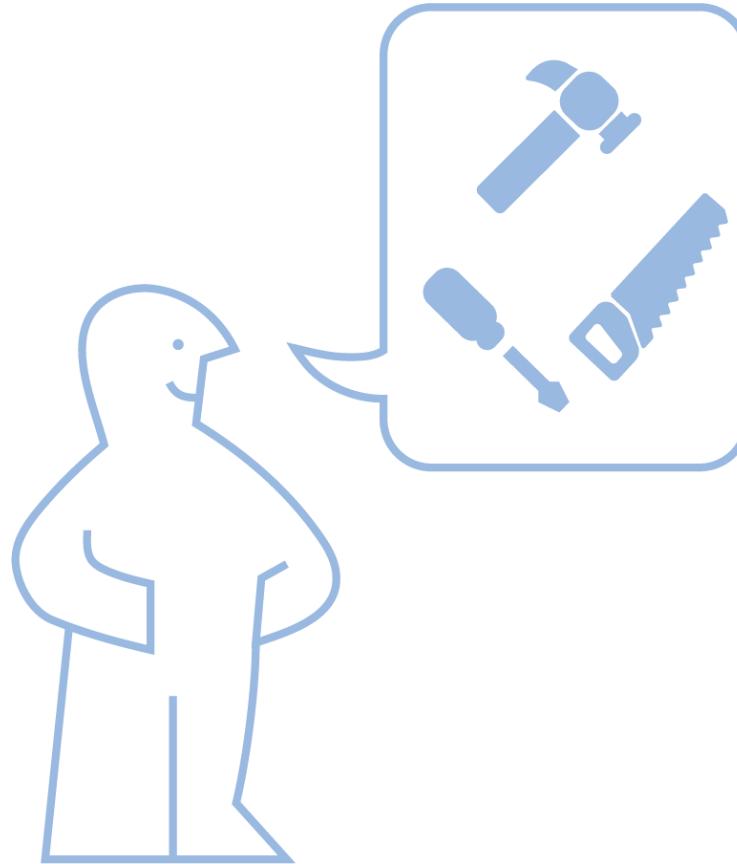
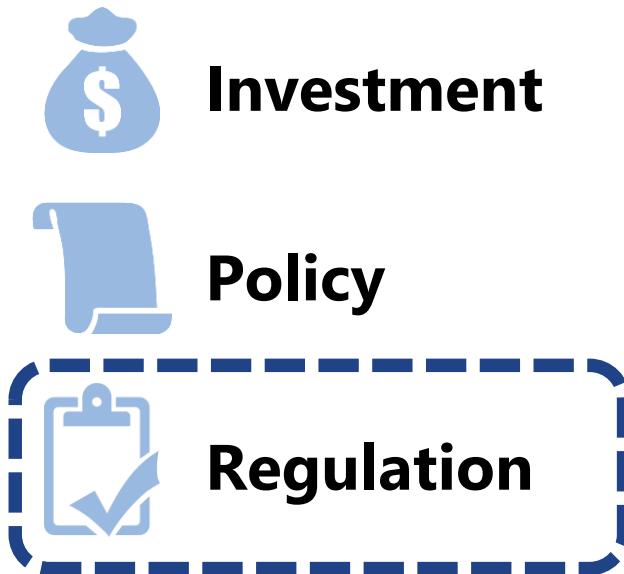
Access/Connections (Mobility)



Why a Form Based Code?



Tools to Advance Initiatives



Why a Form Based Code?

Regulatory Tool



-  **Permit and incentive a wider range of housing types for varied income levels and lifestyles.**
-  **Promote closer proximity between housing and jobs through mixed-use, neighborhood-scaled developments.**
-  **Establish a built environment conducive to successful mobility options, including transit.**

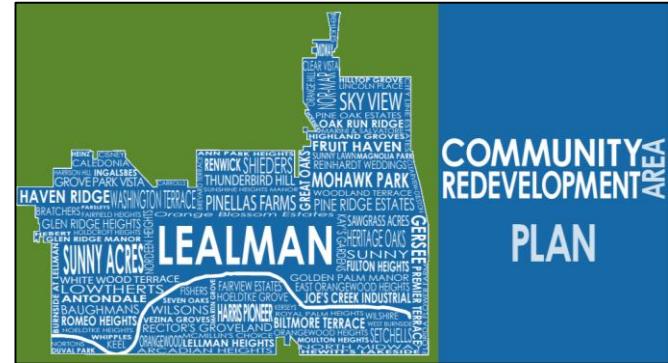
Why a Form Based Code?



Plan Implementation

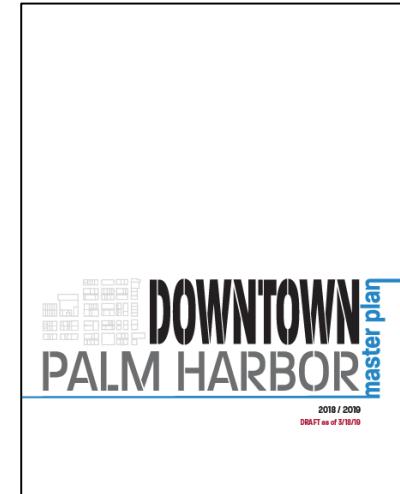
Lealman CRA Plan

- Adopted 2016
- Achieves Redevelopment Goals & Strategies



Downtown Palm Harbor Master Plan

- Concurrent Adoption with FBC
- Expansion of Activity Center FLUM Designation



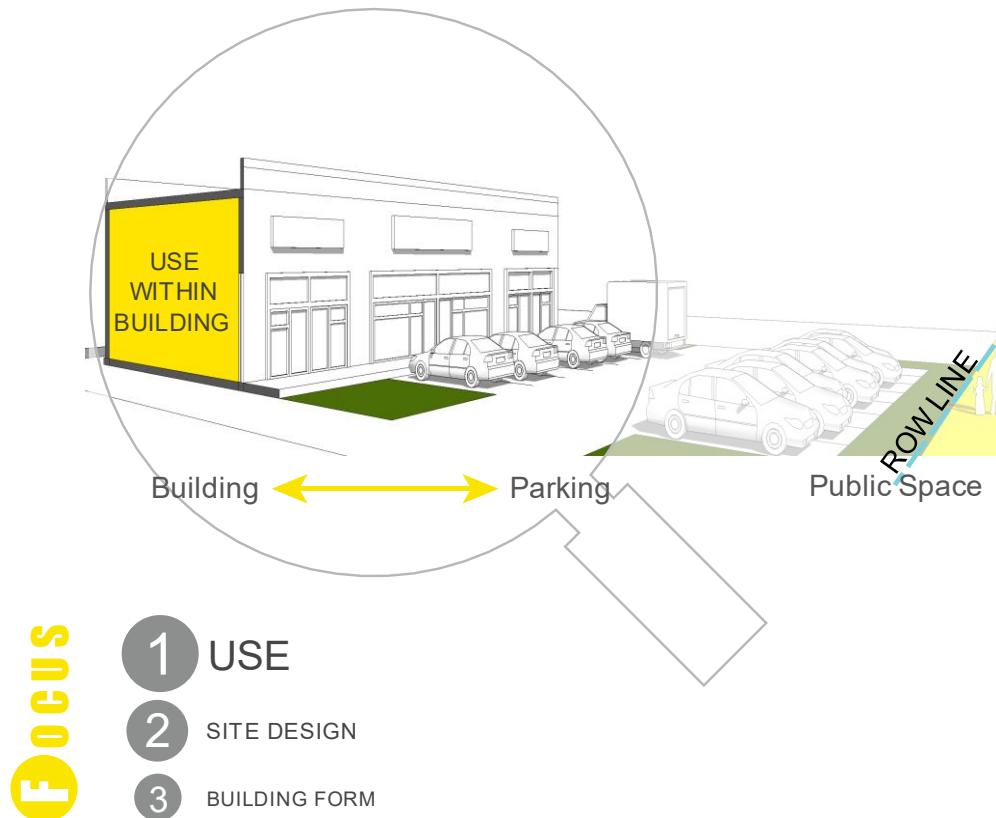
Department Initiatives

Neighborhood Based Planning

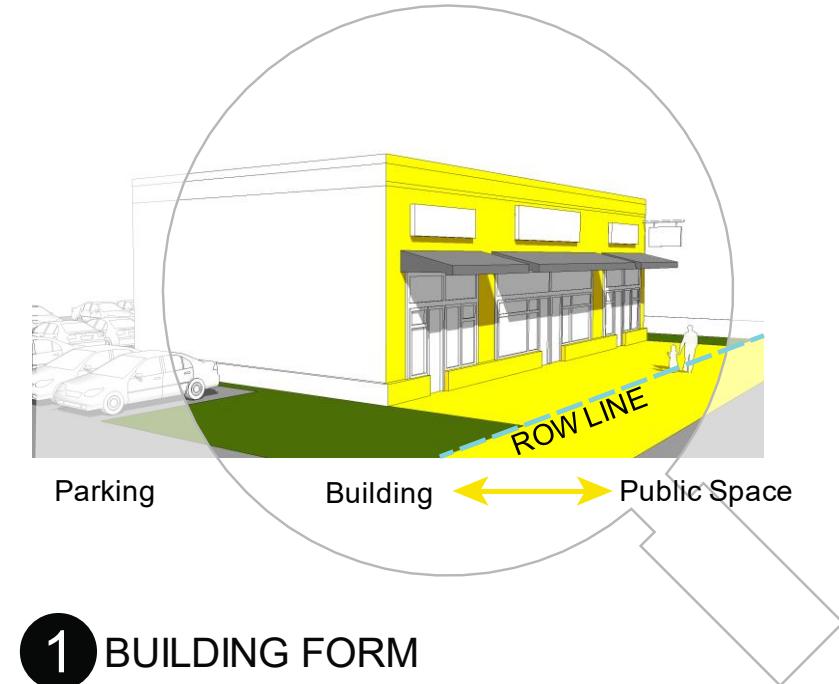
Promote Redevelopment

What is a Form Based Code?

TODAY'S CODE...



FORM BASED CODE...



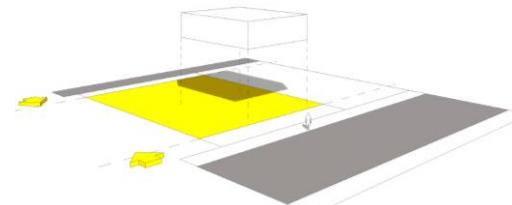
What is a Form Based Code?



STANDARDS



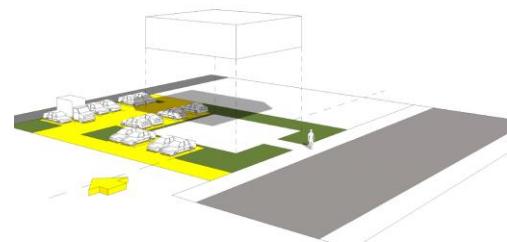
BUILDING PLACEMENT



Places building closer to the street.



PARKING PLACEMENT



Pushes parking back and creates separation between parking areas and sidewalks.



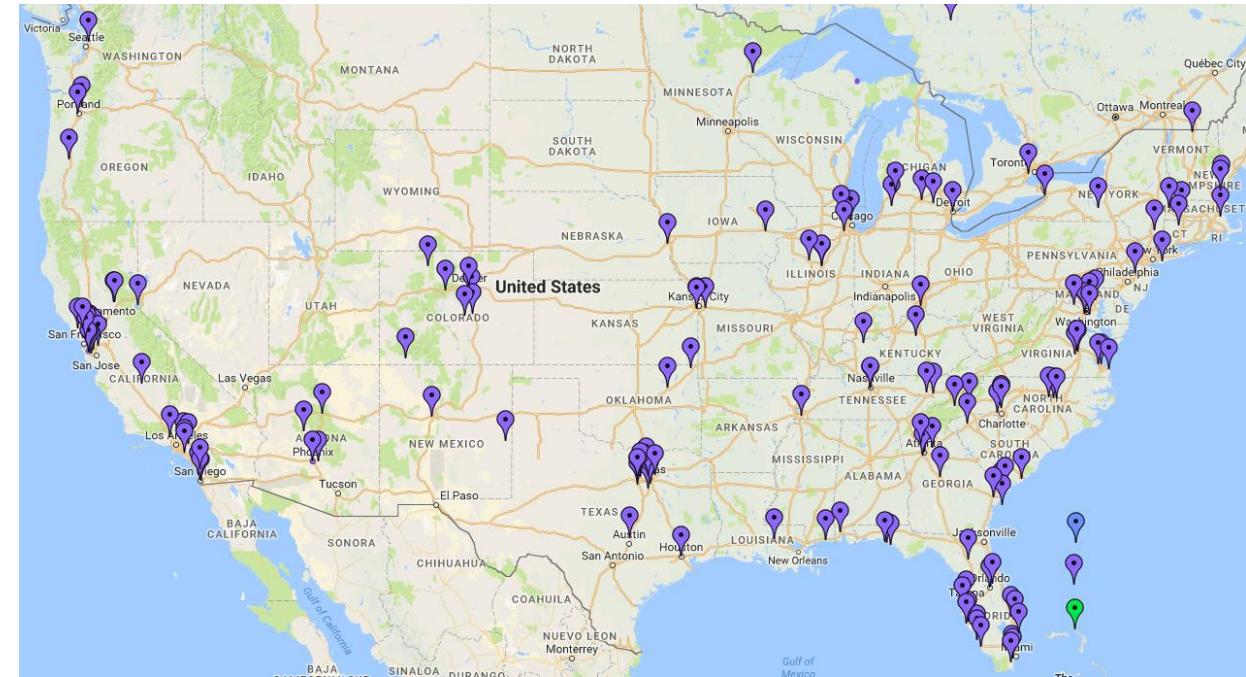
BUILDING FORM



Creates a street edge & pedestrian scaled building fronts.

Where are they used?

- Over **280** adopted in the U.S.
- Popular in high growth areas
- Seaside, FL (1982) and Downtown West Palm Beach (1995)
- Closer to home – Tarpon Springs, Dunedin, Clearwater, St. Petersburg

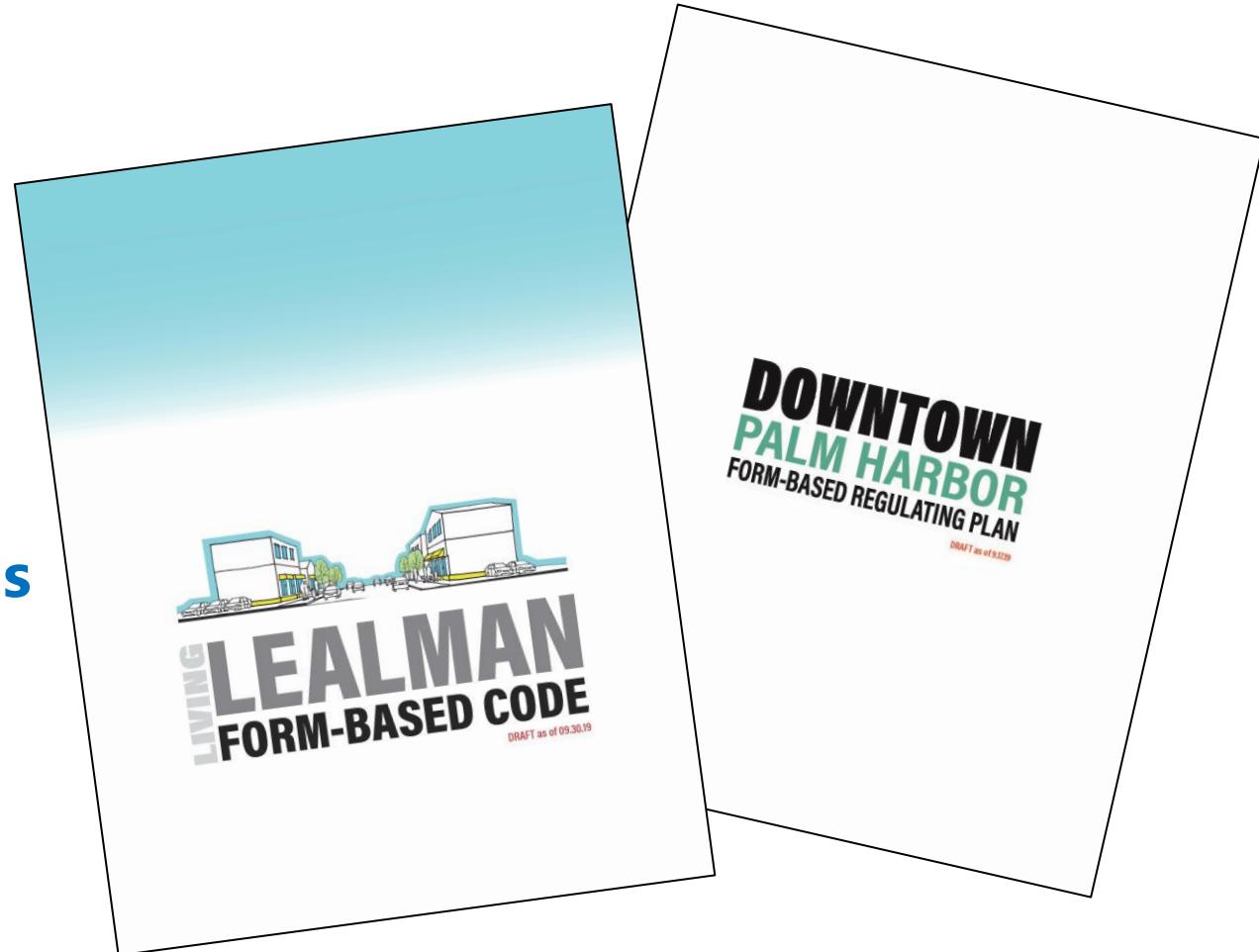


Lealman & DPH Form Based Codes

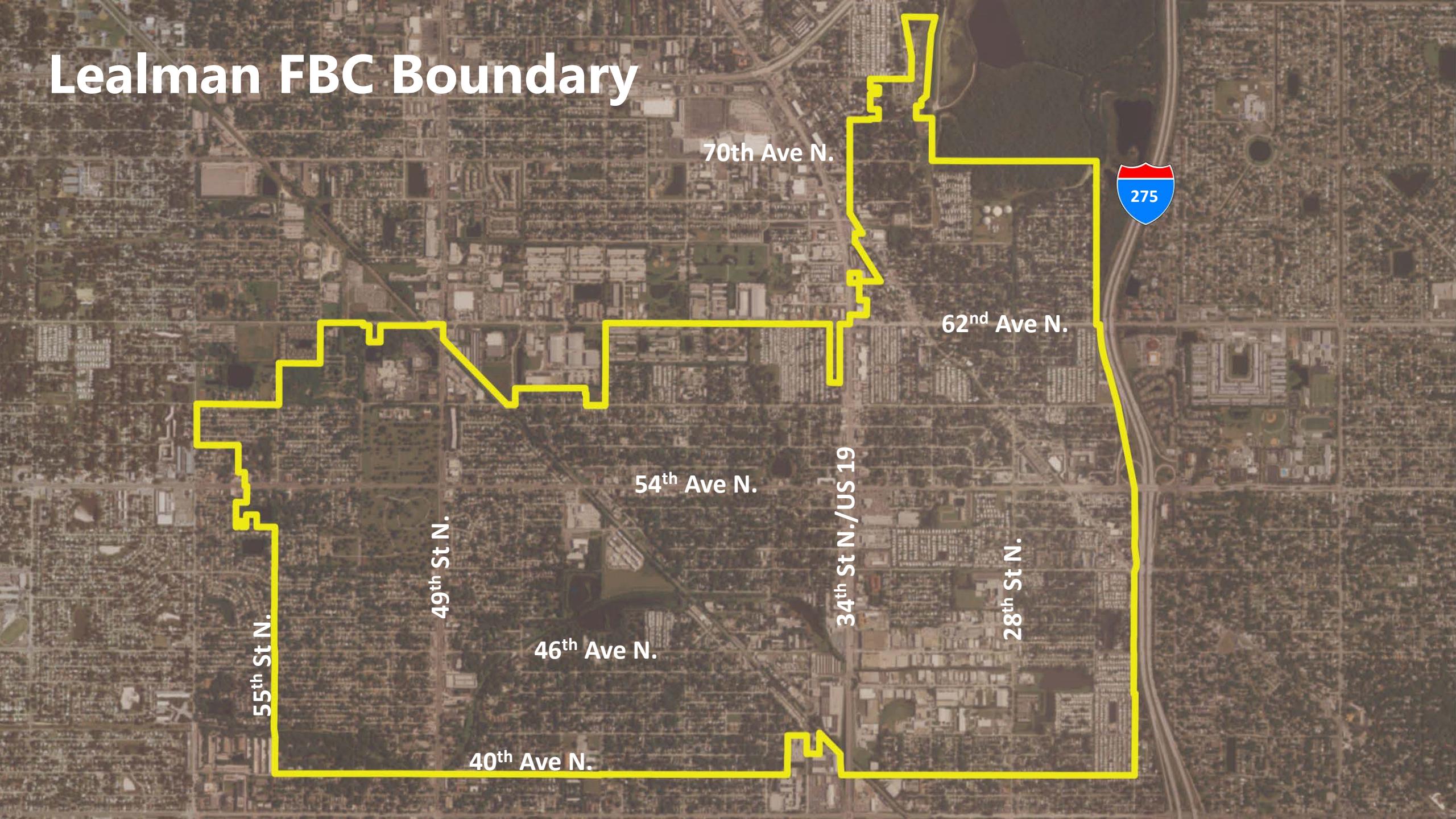


Components of Codes

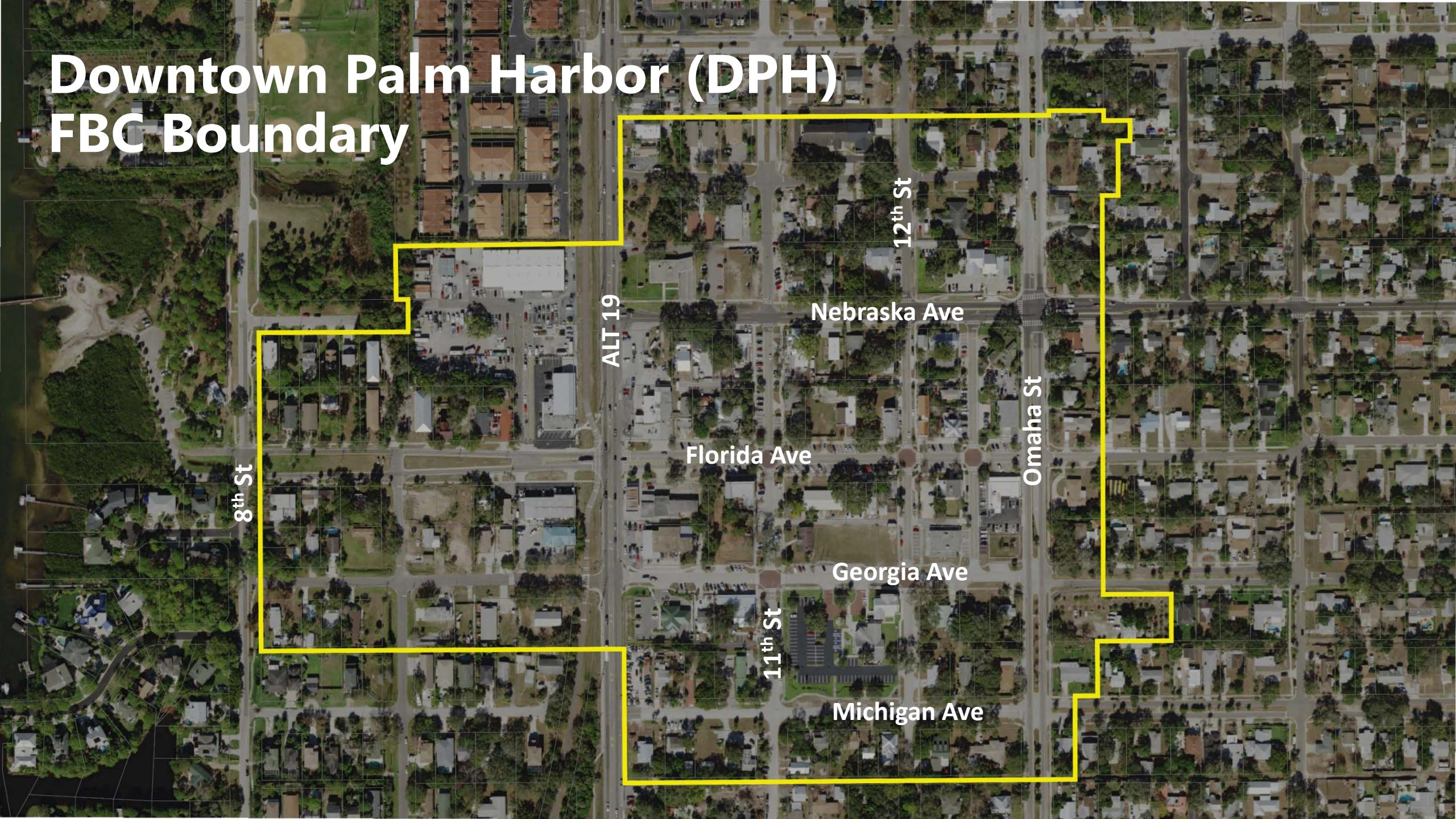
1. General Provisions
2. Administration
3. District Map
4. District Standards
5. Street Type Standards
6. Development Design Standards
7. Use Standards
8. Parking Standards
9. Definitions



Lealman FBC Boundary



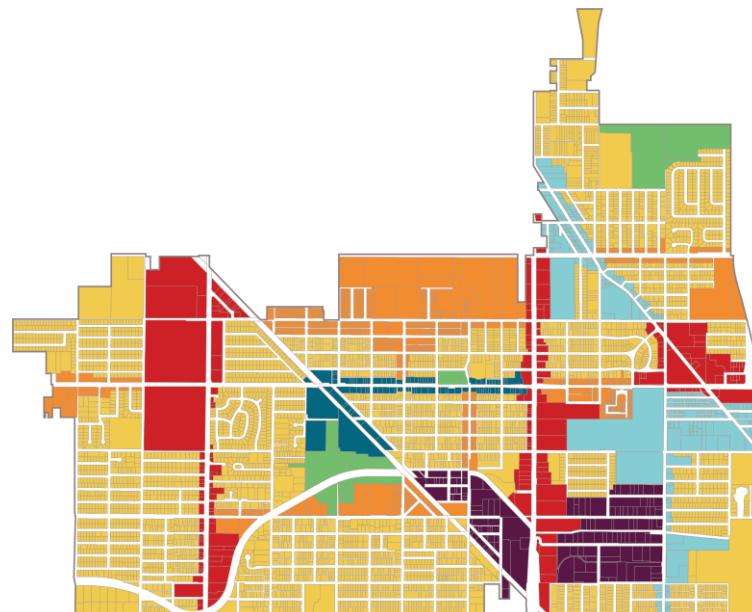
Downtown Palm Harbor (DPH) FBC Boundary



District Maps

Lealman FBC

From...**19** Zoning Districts
To...**6** Districts



Downtown Palm Harbor FBC

From...**10** Zoning Districts
To...**4** Districts



District Standards

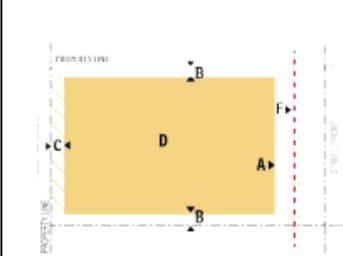
District Intent

4.4.6 NEIGHBORHOOD DISTRICT (ND)

A. INTENT

The 'Neighborhood District' is comprised of established residential areas. Infill development within this District aims to complement the existing development pattern and characteristics, while supporting additional density, a variety of housing types, and an enhanced relationship between the public and private spaces.

B. SITING



C. HEIGHT

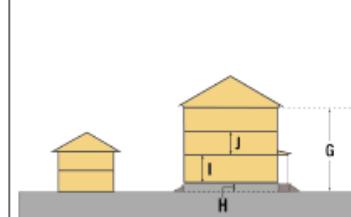


TABLE 4.22

REQUIREMENT	MIN.	MAX.
A Front Setback	15 ft	-
B Side Setback ¹	5 ft	-
C Rear Setback ¹	5 ft	-
D Lot Coverage	-	70%
E Building Frontage	-	-
F Parking Setback	10 ft	-

TABLE NOTES:

1. Refer to Section 4.2(B)(2), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
2. When an alley is present, the minimum rear-side setback shall be a minimum of 12 feet, measured from the centerline of the alley.

TABLE 4.23

REQUIREMENT	MIN.	MAX.
G Building Height	1 story	3 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance	-	14 ft
J Upper Story Clearance	-	14 ft

TABLE NOTES:
1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
2. When an alley is present, the minimum rear-side setback shall be a minimum of 12 feet, measured from the centerline of the alley.

Building Placement

D. ELEMENTS



TABLE 4.24

K Fenestration	REQUIREMENT		
		MIN.	MAX.
All Stories	15%	50%	
L Building Projections			
A front porch/stoop/overhang shall be provided for any ground story residential unit entry.			
M Doors/Entries			
A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.			
N Garage/Carport Setback			
Garages/carports where the vehicle entry faces a public street shall be setback a minimum of 10 feet from the front facade of the primary structure.			

E. PRIVATE FRONTAGE TYPES

FRONTAGE TYPES (REFER TO TABLE 4.2)

FRONTAGE TYPE	PERMITTED
Common Yard	Permitted
Porch & Fence	Permitted
Dooryard	Not Permitted
Courtyard	Permitted
Stoop	Not Permitted
Shopfront	Not Permitted
Gallery	Not Permitted
Arcade	Not Permitted

Height Allowances

Building Detail

F. USE CATEGORIES^{1,3}

- Residential
- Lodging²
- Office²
- Retail²
- Civic²

NOTES:

1. Refer to Table 21: Permitted Use Table for full list of permitted uses within each use category listed.
2. Uses within this category are typically limited.
3. Refer to Section 14: Specific Use Standards, for additional limitations for nonresidential land uses located within the Neighborhood District.

General Use Allowances

Development Design Standards



Lealman FBC

Building Types

BUILDING TYPE	GENERAL DESCRIPTION	DISTRICTS
CARRIAGE HOUSE / ADU	A secondary structure that is detached from a single-unit dwelling, typically located at the rear of a lot. This structure provides habitable living space for a small residential unit. This structure may be along or located above a garage or workshop behind the primary residence on the property. This is an important building type for providing affordable housing opportunities and options within neighborhoods.	(U, M, MR, NC, ND) (W, NC, ND)
SINGLE-UNIT VILLAGE	A medium sized, detached structure located on a medium sized lot that incorporates one dwelling unit. This building type typically is located within primarily single-unit residential neighborhoods or near a neighborhood main street.	(U, M, MR, NC, ND) (W, NC, ND)
SINGLE-UNIT COTTAGE	A small, detached structure on a small lot that incorporates one dwelling unit. This building type typically is located within primarily single-unit residential neighborhoods or near a neighborhood main street. This type enables appropriately scaled higher densities and is important for providing a wide choice of housing choices.	(U, M, MR, NC, ND) (W, NC, ND)
BUNGALOW COURT	A series of small, detached structures, providing multiple dwelling units (one unit per building) that are arranged around a shared court that is typically perpendicular to the street. This building type is appropriately scaled to locate within single-unit residential neighborhoods and is important for providing a wide choice of housing types.	(U, M, MR, NC, ND) (W, NC, ND)
DUPLEX	A medium sized structure that is typically located side-by-side or stacked within a single building. This type has the appearance of a medium to large single-unit home and is scaled to fit within primarily single-unit neighborhoods or medium density neighborhoods. This is an important building type to provide for a wide variety of housing choices.	(U, M, MR, NC, ND) (W, NC, ND)
TRIPOD / TOWNHOME / ROWHOUSE	A small to medium sized structure that typically consists of 3-4 side-by-side or stacked dwelling units. This building type is typically located in medium density neighborhoods and can serve as a transition from a single-unit neighborhood into a neighborhood main street. This building type enables appropriately scaled housing and is important for providing a variety of housing choices.	(U, M, MR, NC, ND) (W, NC, ND)
MULTI-PLEX, SMALL	A medium sized structure that accommodates 3-5 side-by-side or stacked dwelling units, typically with one shared entry. This building type typically has the appearance of a medium sized family home and is appropriately scaled to be located within single-unit neighborhoods. This building type is important for providing a wide variety of housing choices.	(U, M, MR, NC, ND) (W, NC, ND)
MULTI-PLEX, LARGE	A medium to large sized structure that accommodates 7-13 side-by-side or stacked dwelling units, typically with one shared entry. This building type is typically located within medium density neighborhoods and provides additional density and housing variety within an appropriately scaled structure.	(U, M, MR, NC, ND) (W, NC, ND)
COURTYARD BUILDING	A medium to large sized structure that accommodates multiple side-by-side or stacked dwelling units, typically with one shared entry. This building type has been partially or fully constructed off site and may include other residential units such as a studio or efficiency unit. This building type may be located within a court or a common entry for multiple units. The building type is typically located within a high-unit density neighborhood. This building type is appropriately scaled for a neighborhood setting, while allowing for additional density and housing variety.	(U, M, MR, NC, ND) (W, NC, ND)

BUILDING TYPE	GENERAL DESCRIPTION	DISTRICTS
PARK MODEL	A small detached structure that contains one dwelling unit located either stand alone on a single lot or within a larger development of similar building types. This building type shall be built upon a foundation. This building type is intended to only be permitted where there is an existing mobile home or within an existing mobile home/RV park. This building type enables deteriorating mobile home structures to be replaced with safe and affordable homes.	(U, M, MR, NC, ND) (W, NC, ND)
WORK / LIVE BUILDING	A small to medium sized, attached or detached structure that contains one dwelling unit above and/or below a shared ground floor retail space that can be used for residential, retail, office, or residential uses. Typically, the first floor retail and ground floor are owned by one entity. This type is typically located in medium density neighborhoods or commercial transition to a commercial street. This is an important type to locate neighborhood main streets to expand to respond to market demands.	(U, M, MR, NC, ND) (W, NC, ND)
MAIN STREET BUILDING	A small to medium sized structure that is typically attached and intended to provide a vertical mix of uses with ground floor retail or office uses and upper story office or residential uses. This building type is typically the primary component of a neighborhood main street and is an important building type to encourage walkability.	(U, M, MR, NC, ND) (W, NC, ND)
CORNER STORE	A small structure that is situated on a corner lot with high visibility along the adjacent built-out street lot. If more than one story is present, this building type may be used with either office or residential on the upper story/ies. This building type is appropriately scaled to complement primarily residential neighborhoods and is important for providing neighborhood-serving businesses to nearby residences.	(U, M, MR, NC, ND) (W, NC, ND)
FLEX BUILDING	A medium to large sized structure, 3 stories in height that can accommodate a range of users, including industrial, retail, office, or mixed use with residential where appropriate. This building type can apply to existing buildings in industrial and commercial areas that can be rebranded or for adaptive reuse. This building type is typically located in industrial areas and urban neighborhoods and is important for providing a mix of buildings in a variety of housing choices.	(U, M, MR, NC, ND) (W, NC, ND)
MID-RISE BUILDING	A medium to large sized structure that typically contains multiple dwelling units, typically with one shared entry. This building type typically has the appearance of a medium sized family home and is appropriately scaled to be located within single-unit neighborhoods. This building type is important for providing a wide variety of housing choices.	(U, M, MR, NC, ND) (W, NC, ND)
PARK-UNDER / PARK-UPON BUILDING	A medium to large sized structure designed to mask a parking lot from streets. Parking is contained on ground level with access from the rear of the structure. This type must contain habitable space, typically residential or office, on all upper stories. Retail storefronts can be located on the ground story, depending on structure layout. This type can be appropriately scaled for medium density neighborhoods, as well as, serve as a transition to commercial streets. This type provides for variety in both housing and commercial building types.	(U, M, MR, NC, ND) (W, NC, ND)
LARGE FOOTPRINT BUILDING	A large sized structure that is typically devoted to a single use. This building type is typically located along arterial street or within industrial areas. Large footprint buildings are required to provide habitable frontages along street-facing facades or public spaces.	(U, M, MR, NC, ND) (W, NC, ND)
CONTAINER / PREFAB	A non traditional structure building that has been partially or fully constructed off site and may include other residential units such as a studio or efficiency unit. This building type may be located within a court or a common entry for multiple units. This building type is typically located within a high-unit density neighborhood. This type can be stand alone or integrated into a mixed use development that may include various building types. This type widens both housing and commercial building type choices and affordability.	(U, M, MR, NC, ND) (W, NC, ND)

Downtown Palm Harbor FBC

Building Design Elements

- Historic Precedence



press releases

FBC EXHIBITS direct mailings

open houses FBC WEBPAGE

STAKEHOLDER INTERVIEWS

online surveys focus group meetings

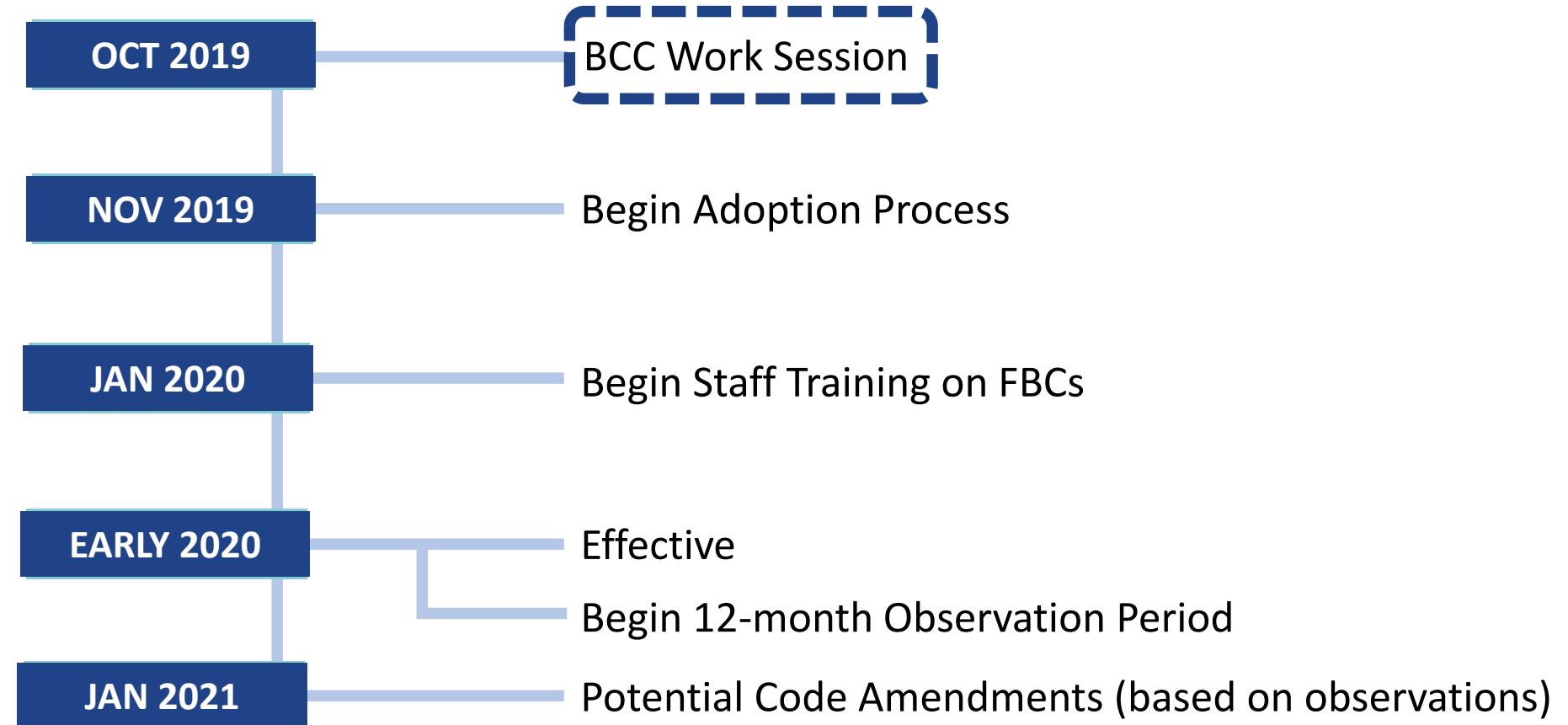
presentations to agencies, committees, & boards

BETA TESTING

Outreach, Input & Diagnostics



Next Steps...



Questions?



Our Vision: To Be the Standard for Public Service in America



Supplemental Information



Our Vision: To Be the Standard for Public Service in America

Why a Form Based Code?

- Promotes ***walkability*** & pedestrian experience
- ***Simplified*** Code
- ***Streamlined Approach***
- Helps protect ***neighborhoods***
- Provides ***housing & employment*** opportunities
- More ***predictable*** built environment



Outreach, Input & Diagnostics



Lealman Outreach

Project Webpage

- www.LealmanFBC.com

LCRAAC Presentation – April 24, 2019

FBC Exhibit – May-June 2019

- One Month Display
- 8 Staffed Days

LPA Presentation – June 13, 2019

Open House #1 – July 18, 2019

- Direct Mailing to all Property Owners

Stakeholder Interviews – July-August 2019

- Local Developers, Land Use Attorney, Civil Engineer, Lealman Business Owner, Lealman Resident

Online Survey – July-August 2019

- 51 Responses

Consultant Beta Testing – Aug-Sept 2019

Open House #2 – October 10, 2019

- Direct Mailing to all Property Owners

Downtown Palm Harbor Outreach

Unique DPH Email Address

Stakeholder Group Meetings (x2)

Open House (x2)

FBC Exhibit

- 2 Locations, 2 Week Timeframe, Various Hours

Focus Group Meetings (x3)

Development Interviews (x4)

Online Surveys (x2)

Paper Survey (x1)

Consultant Beta Testing

Direct Property Owner Mailing

Historic Preservation Board Presentation (x2)

Adoption Items



Lealman

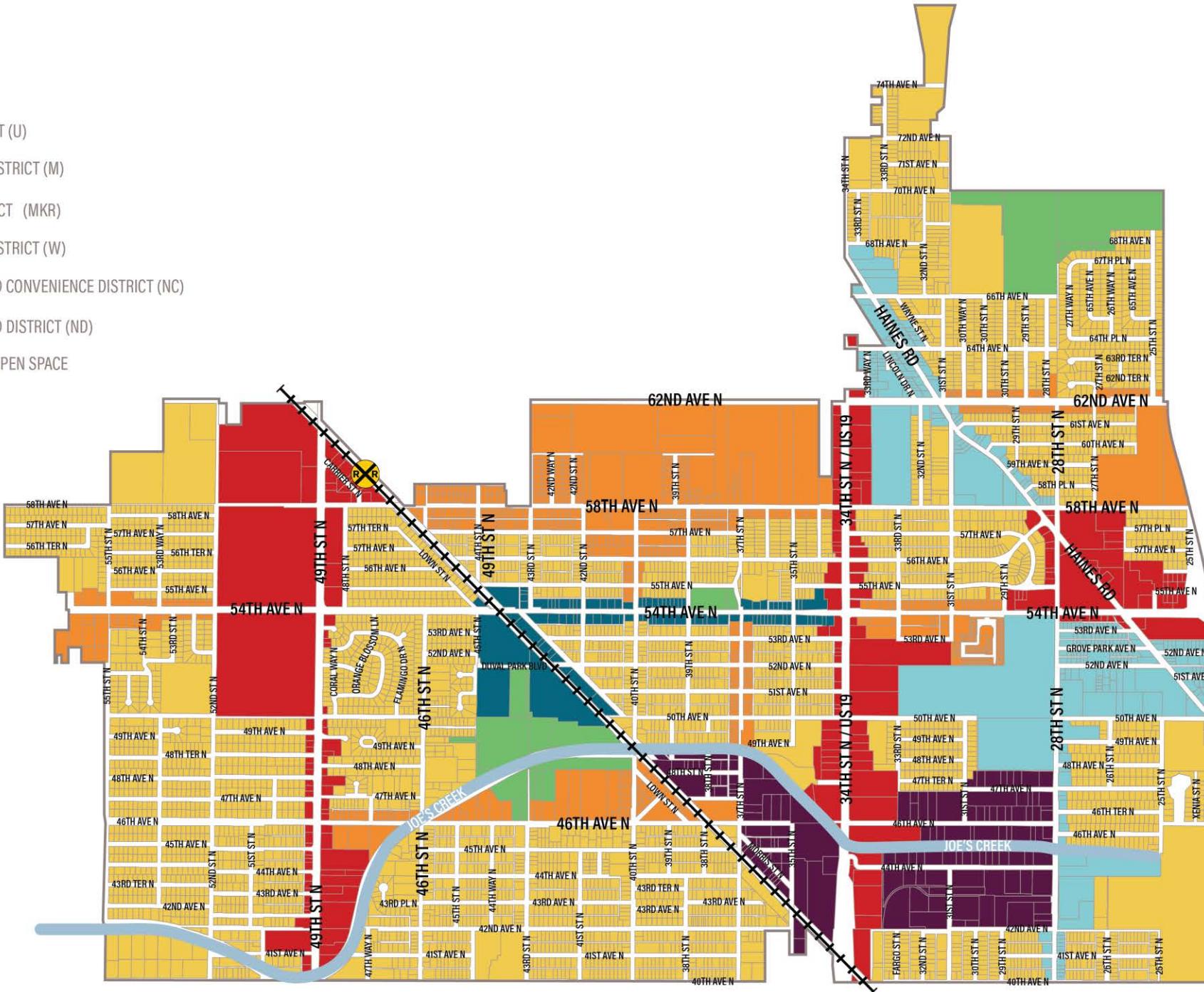
1. **Ordinance: Chapter 138, includes Appendix A**
2. **Resolution: Zoning Atlas Change**

Downtown Palm Harbor

1. **Ordinance: Chapter 146**
2. **Ordinance: Chapter 138. includes Appendix B and other minor changes related to DPH**
3. **Resolution: Zoning Atlas Change**
4. **Ordinance: FLUE Category Rules & Descriptions**
5. **Ordinance: FLUM (N-AC) & DPH Master Plan**

LEALMAN FIBC DISTRICT MAP

- URBAN DISTRICT (U)
- MERCANTILE DISTRICT (M)
- MAKERS DISTRICT (MKR)
- WAREHOUSE DISTRICT (W)
- NEIGHBORHOOD CONVENIENCE DISTRICT (NC)
- NEIGHBORHOOD DISTRICT (ND)
- RECREATION / OPEN SPACE



Urban District (U)

4.4.1 URBAN DISTRICT (U)

A. INTENT

The 'Urban District' promotes the design of pedestrian-oriented streets that encourage a mix of uses, providing goods, services, and urban housing to the neighborhood. Development within this district is characterized by mid-rise, street-oriented buildings with activated retail and public spaces served by convenient on-street parking, wider sidewalks with pedestrian amenities, and enhanced crosswalks; ultimately creating a dynamic public realm that fosters retail vitality.

B. SITING

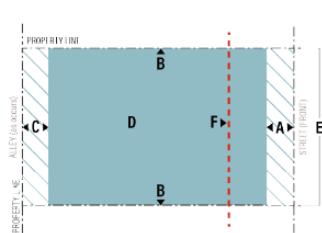


TABLE 4.3

REQUIREMENT	MIN.	MAX.
A Front Setback ¹	0 ft	10 ft
B Side Setback ²	-	-
C Rear Setback ³	10 ft	-
D Lot Coverage	-	80%
E Building Frontage	75%	-
F Parking Setback	30 ft	-

TABLE NOTES:

1. The maximum front setback may increase 5 feet to allow for an activated public space.
2. Refer to Section 4.3(B)(2), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
3. When an alley is present, the minimum rear/side setback shall be a minimum of 12 feet, measured from the centerline of the alley.

C. HEIGHT

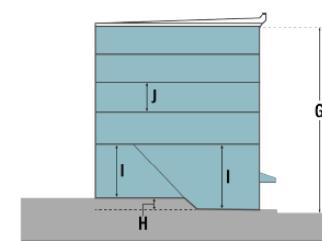


TABLE 4.4

REQUIREMENT	MIN.	MAX.
G Building Height ¹	2 stories	5 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance	14 ft	22 ft
J Upper Story(ies) Clearance	9 ft	12 ft

TABLE NOTES:

1. Refer to Section 4.2(B)(10), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

D. ELEMENTS

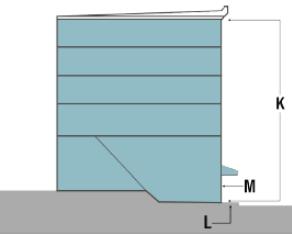


TABLE 4.5

K Fenestration			MIN.	MAX.
	Ground Story ¹	Nonresidential	60%	90%
	Upper Story(ies)	Residential	30%	90%
	Any Use		20%	90%
L Building Projections ^{2,3}		A front porch/stoop/overhang shall be provided for any ground story residential unit entry.		
M Doors/Entries		A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.		

TABLE NOTES:

1. All ground story windows facing a public street, shall be a minimum of 8 feet in width.
2. Any building projection that extends into the public right-of-way shall require a right-of-way utilization permit.
3. Awnings, when provided, shall project from the building facade a minimum of 5 feet and shall maintain a 6 foot clearance over any sidewalk.

E. PRIVATE FRONTAGE TYPES

TABLE 4.6

FRONTAGE TYPES (REFER TO TABLE 4.1)	
Common Yard	Not Permitted
Porch & Fence	Not Permitted
Dooryard	Permitted
Courtyard	Permitted
Stoop	Permitted
Shopfront	Permitted
Gallery	Permitted
Arcade	Permitted

F. USE CATEGORIES¹

- Residential²
- Lodging
- Office
- Retail
- Industrial³
- Civil Support
- Civic

NOTES:

1. Refer to Table 2: Permitted Use Table for full list of permitted uses within each use category listed.

2. Uses within this category are typically limited.

Mercantile District (M)

4.4.2 MERCANTILE DISTRICT (M)

A. INTENT

The 'Mercantile District' provides for the continued use, enhancement, and new development of retail, office and service needs for the local and surrounding communities. This District supports enhanced transit opportunities and increased pedestrian comfort. Development within this District is characterized by low to mid-rise buildings, screened parking with reduced/shared access points, and primary building entries with direct access to the street.

B. SITING

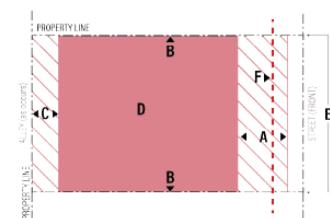


TABLE 4.7

REQUIREMENT	MIN.	MAX.
A Front Setback 49th Street	5 ft 5 ft	30 ft 15 ft
B Side Setback ¹	-	-
C Rear Setback ²	10 ft	-
D Lot Coverage	-	70%
E Building Frontage ³ 49th Street	40% 75%	-
F Parking Setback 49th Street	10 ft 20 ft	-

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
2. When an alley is present, the minimum rear-side setback shall be a minimum of 12 feet, measured from the centerline of the alley.
3. A maximum of 50% of the minimum Building Frontage may be comprised of an architecturally compatible wall.

C. HEIGHT

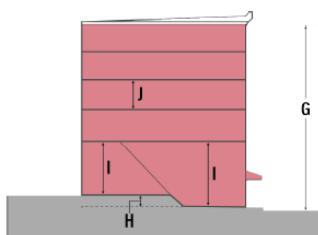


TABLE 4.8

REQUIREMENT	MIN.	MAX.
G Building Height ¹	1 story	5 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance	14 ft	22 ft
J Upper Story Clearance	9 ft	12 ft

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

D. ELEMENTS

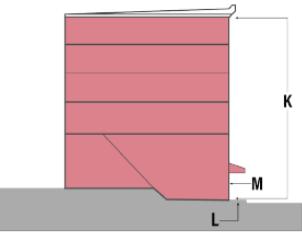


TABLE 4.9

K Fenestration			MIN.	MAX.
	Ground Story ¹	Nonresidential Residential	60%	90%
	Upper Story(es)	Any Use	30%	90%
L Building Projections ^{2,3}	A front porch/stoop/overhang shall be provided for any ground story residential unit entry.			
M Doors/Entries	A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.			

TABLE NOTES:

1. All ground story windows facing a public street, shall be a minimum of 8 feet in width.
2. Any building projection that extends into the public right-of-way shall require right-of-way utilization permit.
3. Awnings, when provided, shall project from the building facade a minimum of 5 feet and shall maintain a 10 foot clearance over any sidewalk.

E. PRIVATE FRONTAGE TYPES

TABLE 4.10

FRONTAGE TYPES (REFER TO TABLE 4.1)

Common Yard	Not Permitted
Porch & Fence	Not Permitted
Dooryard	Not Permitted
Courtyard	Permitted
Stoop	Permitted
Shopfront	Permitted
Gallery	Permitted
Arcade	Not Permitted

F. USE CATEGORIES¹

- Residential²
- Lodging
- Office
- Retail
- Automotive
- Industrial³
- Civil Support
- Civic

NOTES:

1. Refer to Table 2: Permitted Use Table for full list of permitted uses within each use category listed.

2. Use within this category are typically limited.

Makers District (MKR)

4.4.3 MAKERS DISTRICT (MKR)

A. INTENT

The 'Makers District' fosters entrepreneurship by incubating small scale and craft manufacturing, specialty repair, artisans, and other startup businesses. This District aims to attract, retain, and cultivate talent, while fostering a collective culture. The district standards allow for a mix of building frontages, visual variation and the adaptive reuse of existing structures. The 'Makers District' supports business retention and expansion through these flexible form standards.

B. SITING

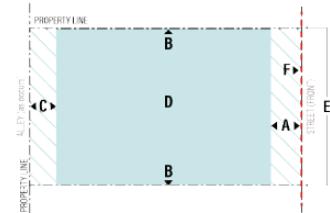


TABLE 4.11

REQUIREMENT	MIN.	MAX.
A Front Setback	0 ft	10 ft
B Side Setback ¹	-	-
C Rear Setback ²	10 ft	-
D Lot Coverage	-	70%
E Building Frontage	60%	-
F Parking Setback ³	-	-

TABLE NOTES:

1. Refer to Section 4.2(B)(2), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

2. When an alley is present, the minimum rear/side setback shall be a minimum of 12 feet, measured from the centerline of the alley.

3. All parking shall be located at or behind the front facade of the building(s).

C. HEIGHT

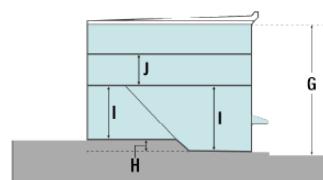


TABLE 4.12

REQUIREMENT	MIN.	MAX.
G Building Height ¹	1 story	3 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance	14 ft	22 ft
J Upper Story Clearance	9 ft	12 ft

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

D. ELEMENTS

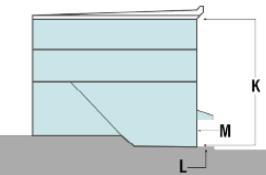


TABLE 4.13

REQUIREMENT

		MIN.	MAX.
K Fenestration	Ground Story	20%	90%
	Upper Story(ies)	15%	90%
L Building Projections ^{1,2}	A front stoop/overhang shall be provided for any ground story residential unit entry.		
M Doors/Entries	A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.		

TABLE NOTES:

1. Any building projection that extends into the public right-of-way shall require a right-of-way utilization permit.

2. Awnings, when provided, shall project from the building facade a minimum of 5 feet and shall maintain a 10 foot clearance over any sidewalk.

E. PRIVATE FRONTAGE TYPES

TABLE 4.14

FRONTAGE TYPES (REFER TO TABLE 4.1)

Common Yard	Not Permitted
Porch & Fence	Not Permitted
Dooryard	Permitted
Courtyard	Permitted
Stoop	Permitted
Shopfront	Permitted
Gallery	Permitted
Arcade	Permitted

F. USE CATEGORIES¹

- Residential²
- Lodging
- Office
- Retail
- Automotive²
- Industrial²
- Civil Support
- Civic

NOTES:

1. Refer to Table 21: Permitted Use Table for full list of permitted uses within each use category listed.

2. Uses within this category are typically limited.

Warehouse District (W)



4.4.4 WAREHOUSE DISTRICT (W)

A. INTENT

The 'Special District - Warehouse' is applied to areas with redevelopment potential for employment-related businesses and industries. This District employs very limited form standards, instead, the provisions focus on minimizing visual and noise impacts to adjacent residential uses. The minimal form standards offer opportunities to recruit and retain businesses which may experience incremental growth in response to the market.

B. SITING

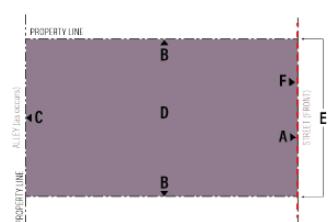


TABLE 4.15

REQUIREMENT	MIN.	MAX.
A Front Setback	-	-
B Side Setback ¹	-	-
C Rear Setback ¹	-	-
D Lot Coverage	-	-
E Building Frontage	-	-
F Parking Setback ²	-	-

TABLE NOTES:

1. None, except when the side/rear lot abuts a residential lot, there shall be a 10 foot setback for the lot portions that directly abut the residential lot.
2. None, however, all commercial vehicles shall be parked/stored to the side or rear of the primary building, and shall be setback a minimum 30 feet from any adjacent residential property.

C. HEIGHT

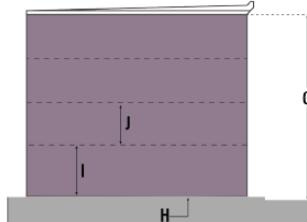


TABLE 4.16

REQUIREMENT	MIN.	MAX.
G Building Height ¹	-	75 ft
H Ground Floor Elevation (Residential Uses)	N/A	N/A
I Ground Story Clearance	-	-
J Upper Story Clearance	-	-

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

D. ELEMENTS

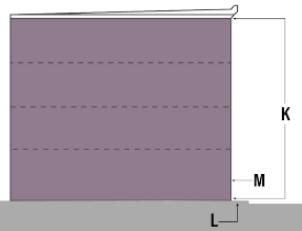


TABLE 4.17

K Fenestration		REQUIREMENT	
		MIN.	MAX.
	Ground Story	-	-
	Upper Story(ies)	-	-
L Building Projections ^{1,2}		-	
M Doors/Entries		A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s).	

TABLE NOTES:

1. Any building projection that extends into the public right-of-way shall require a right-of-way utilization permit.
2. Awnings, when provided, shall project from the building facade a minimum of 5 feet and shall maintain a 10 foot clearance over any sidewalk.

E. PRIVATE FRONTAGE TYPES

Due to the development characteristics, variable lot sizes and shapes, and overall variety found throughout this District, Table 4.1: Permitted Private Frontage Types does not apply in the Warehouse District.

F. USE CATEGORIES¹

- Office²
- Retail²
- Automotive²
- Industrial
- Civil Support
- Civic²

NOTES:

1. Refer to Table 2: Permitted Use Table for full list of permitted uses within each use category listed.

2. Uses within this category are typically limited.

Neighborhood Convenience District (NC)



4.4.5 NEIGHBORHOOD CONVENIENCE DISTRICT (NC)

A. INTENT

The Neighborhood Convenience District is predominately residential in function. This District supports a mix of small to medium building types including houses, townhomes, and small apartments, as well as, corner or scattered neighborhood storefronts. District standards support the reuse/retrofitting of existing structures and new construction that respects the existing residential scale, while reinforcing walkability and transportation alternatives.

B. SITING

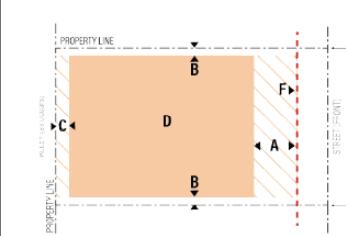


TABLE 4.18

REQUIREMENT	MIN.	MAX.
A Front Setback	10 ft	25 ft
B Side Setback ¹	3 ft	-
C Rear Setback ²	5 ft	-
D Lot Coverage	-	70%
E Building Frontage	-	-
F Parking Setback	10 ft	-

TABLE NOTES:

1. Refer to Section 4.2(B)(2), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

2. When an alley is present, the minimum rear/side setback shall be a minimum of 12 feet, measured from the centerline of the alley.

C. HEIGHT

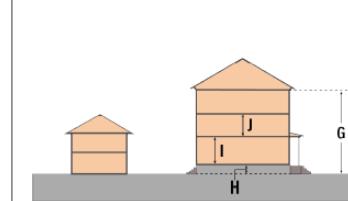


TABLE 4.19

REQUIREMENT	MIN.	MAX.
G Building Height ¹	1 story	3 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance ²	-	14 ft
J Upper Story Clearance	-	14 ft

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

2. Nonresidential ground story uses are permitted a maximum Ground Story Clearance height of 22 feet.

D. ELEMENTS

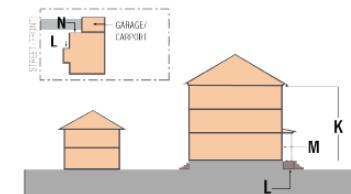


TABLE 4.20

ELEMENT	REQUIREMENT		
		MIN.	MAX.
K Fenestration	All Stories	30%	90%
L Building Projections	A front porch/stoop/overhang shall be provided for any ground story residential unit entry.		
M Doors/Entries	A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.		
N Garage/Carport Setback	Garages/carports where the vehicle entry faces a public street shall be setback a minimum of 10 feet from the front facade of the primary structure.		

E. PRIVATE FRONTAGE TYPES

TABLE 4.21

FRONTAGE TYPES (REFER TO TABLE 4.1)		
Common Yard	Permitted	
Porch & Fence	Permitted	
Dooryard	Permitted	
Courtyard	Permitted	
Stoop	Permitted	
Shopfront	Permitted	
Gallery	Not Permitted	
Arcade	Not Permitted	

F. USE CATEGORIES^{1,3}

- Residential
- Lodging²
- Office
- Retail²
- Civic²

NOTES:

1. Refer to Table 2: Permitted Use Table for full list of permitted uses within each use category listed.

2. Uses within this category are typically limited.

3. Refer to Section 7.4 Specific Use Standards, for additional limitations for nonresidential land uses located within the Neighborhood Convenience District.

Neighborhood District (ND)

4.4.6 NEIGHBORHOOD DISTRICT (ND)

A. INTENT

The 'Neighborhood District' is comprised of established residential areas. Infill development within this District aims to complement the existing development pattern and characteristics, while supporting additional density, a variety of housing types, and an enhanced relationship between the public and private spaces.

B. SITING

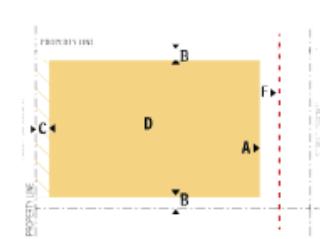


TABLE 4.22

REQUIREMENT	MIN.	MAX.
A Front Setback	15 ft	-
B Side Setback ²	5 ft	-
C Rear Setback ¹	5 ft	-
D Lot Coverage	-	70%
E Building Frontage	-	-
F Parking Setback	10 ft	-

TABLE NOTES:

1. Refer to Section 4.2(B)(2), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.
2. When an alley is present, the minimum rear-side setback shall be a minimum of 10 ft, measured from the centerline of the alley.

C. HEIGHT



TABLE 4.23

REQUIREMENT	MIN.	MAX.
G Building Height	1 story	3 stories
H Ground Floor Elevation (Residential Uses)	2 ft	-
I Ground Story Clearance	-	14 ft
J Upper Story Clearance	-	14 ft

TABLE NOTES:

1. Refer to Section 4.2(B)(1), when a nonresidential or multi-unit residential site is adjacent to an existing single-unit, detached residential site.

D. ELEMENTS

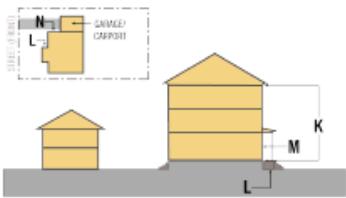


TABLE 4.24

REQUIREMENT	MIN.	MAX.	
K Fenestration	All Stories	15%	50%
L Building Projections			A front porch/stoop/overhang shall be provided for any ground story residential unit entry.
M Doors/Entries			A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.
N Garage/Carport Setback			Garages/carports where the vehicle entry faces a public street shall be setback a minimum of 10 feet from the front facade of the primary structure.

E. PRIVATE FRONTAGE TYPES

TABLE 4.25

FRONTAGE TYPES (REFER TO TABLE 4.1)	
Common Yard	Permitted
Porch & Fence	Permitted
Dooryard	Not Permitted
Courtyard	Permitted
Stoop	Not Permitted
Shopfront	Not Permitted
Gallery	Not Permitted
Arcade	Not Permitted

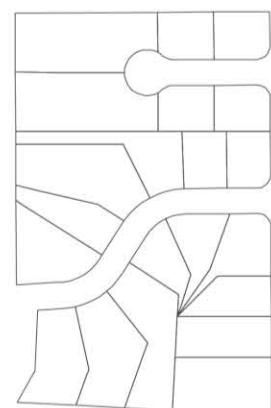
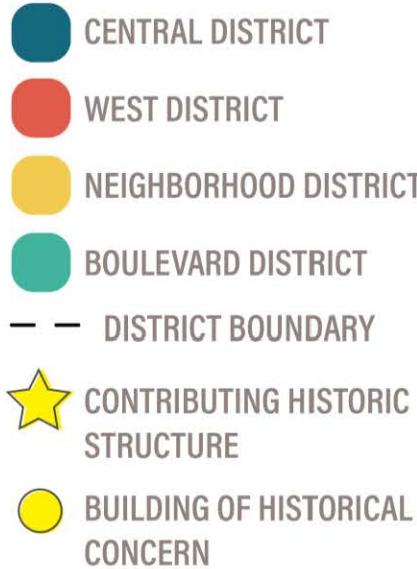
F. USE CATEGORIES^{1,3}

- Residential
- Lodging²
- Office²
- Retail²
- Civic²

NOTES:

1. Refer to Table 21: Permitted Use Table for full list of permitted uses within each use category listed.
2. Uses within this category are typically limited.
3. Refer to Section 14: Specific Use Standards, for additional limitations for nonresidential buildings located within the Neighborhood District.

DOWNTOWN PALM HARBOR DISTRICT MAP



Central District (DPH-1)



4.3.1 CENTRAL DISTRICT (DPH-1)

A. INTENT

The Central District serves as the core of the Downtown area, promoting a mix of uses that encourage day- and night-time activity. Development within this District is characterized by street-oriented buildings with uses that encourage pedestrian activity. Comfortable pedestrian movement is supported by on-street parking, wide sidewalks, enhanced crosswalks, pedestrian amenities and cohesive wayfinding to help promote a dynamic public realm.

B. SITING

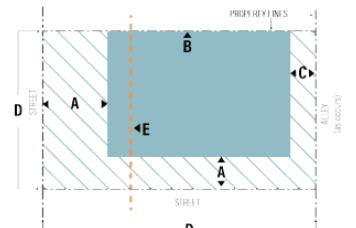


TABLE 4.2

REQUIREMENT	MIN.	MAX.
A Front Setback Florida Avenue Georgia/Nebraska Avenues	0 ft 5 ft	15 ft 20 ft
B Side Setback	-	-
C Rear Setback ¹	5 ft	-
D Building Frontage ² Florida Avenue Georgia/Nebraska Avenues	70% 60%	-
E Surface Parking Setback	20 ft	-

TABLE NOTES:

1. When an alley is present, the minimum rear setback shall be 15 feet, measured from the centerline of the alley.
2. Landscaping, or a similar treatment, shall be required along the remaining frontage that is not occupied by a structure.

C. HEIGHT

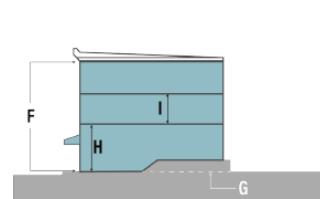


TABLE 4.3¹

REQUIREMENT	MIN.	MAX.
F Building Height ²³	1 story	3 stories
G Ground Floor Elevation (Residential Uses)	2 ft	-
H Ground Story Clearance Single Story Buildings	12 ft 14 ft	22 ft 22 ft
I Upper Story Clearance	9 ft	12 ft

TABLE NOTES:

1. Properties in areas of special flood hazard are exempt from meeting the requirements of G. and H. in Table 4.3 and shall be subject to the additional height provision of Section 4.2(E)(2)(c).
2. For the purposes of calculating maximum permitted building height in stories, a Sub-Story shall be considered a Story. Sub-Stories may be permitted per the provisions of Section 4.2(E)(2)(c).
3. Buildings shall not exceed a maximum height of 45 feet.

D. ELEMENTS

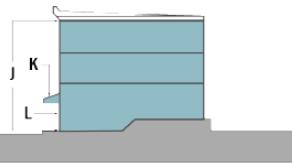


TABLE 4.4

REQUIREMENT ¹			MIN.	MAX.
	Ground Story	Nonresidential Residential	60% 30%	90% 90%
J Fenestration				
K Building Projections			If provided, shall project from the building facade a minimum of 5 ft. and shall maintain a minimum 10 ft. clearance over any sidewalk.	
L Doors/Entries			A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.	

TABLE NOTES:

1. Sub-Stories, when included per Section 4.2(E)(2)(c), shall be exempt from these requirements.

E. PRIVATE FRONTAGE TYPES

TABLE 4.5

FRONTAGE TYPES (REFER TO TABLE 4.1)	
Common Yard	Not Permitted
Porch & Fence	Not Permitted
Dooryard	Not Permitted
Courtyard	Permitted (Except Florida Ave.)
Stoop	Permitted (Except Florida Ave.)
Shopfront	Permitted
Gallery	Permitted
Raised Site	When Permitted per Section 4.2(E)(2)(c)
Raised Base	When Permitted per Section 4.2(E)(2)(c)
Sub-Story	When Permitted per Section 4.2(E)(2)(c)

F. GENERAL USE CATEGORIES¹

- Residential²
- Lodging
- Office
- Retail
- Automotive Dependent²
- Industrial²
- Civil Support²
- Civic

1. Refer to Permitted Use Table for full list of permitted uses within each use category listed.
2. Uses within this category are typically limited.

West District (DPH-2)



4.3.2 WEST DISTRICT (DPH-2)

A. INTENT

The 'West District' serves to connect the waterfront recreation amenities to the Pinellas Trail and the downtown central business district with a mixture of residential housing and limited neighborhood-supportive retail and office-type uses.

B. SITING

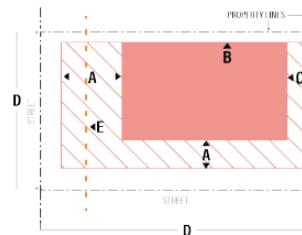


TABLE 4.6

REQUIREMENT	MIN.	MAX.
A Front Setback (Generally) Florida Avenue	10 ft 5 ft	25 ft 20 ft
B Side Setback	5 ft	-
C Rear Setback ¹	10 ft	-
D Building Frontage (Generally) Florida Avenue	50% 60%	-
E Surface Parking Setback	10 ft	-

TABLE NOTES:

1. When an alley is present, the minimum rear setback shall be 15 feet, measured from the centerline of the alley.

C. HEIGHT

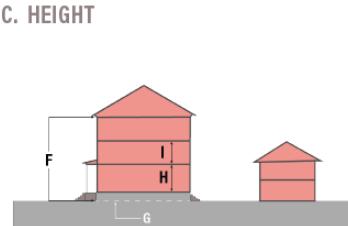


TABLE 4.7¹

REQUIREMENT	MIN.	MAX.
F Building Height ^{2,3}	1 story	3 stories
G Ground Floor Elevation (Residential Uses)	2 ft	-
H Ground Story Clearance Florida Avenue Single Story Building	12 ft 14 ft	18 ft 22 ft

TABLE NOTES:

- Properties in areas of special flood hazard are exempt from meeting the requirements of G. and H. in Table 4.7 and shall be subject to the additional height provisions of Section 4.2(E)(2)c.
- For the purpose of calculating maximum permitted building height in stories, a Sub-Story shall be considered a Story. Sub-Stories may be permitted per the provisions of Section 4.2(E)(2)c.
- Buildings shall not exceed a maximum height of 40 feet.

D. ELEMENTS

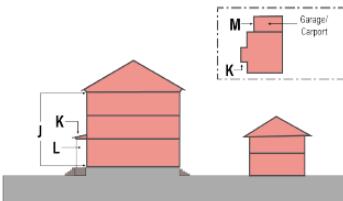


TABLE 4.8

REQUIREMENT¹

J Fenestration			MIN.	MAX.
	Florida Avenue			
Ground Story Nonresidential	40%	90%		
Upper Story(es) Residential	20%	90%		
All Other Streets				
Ground Story Any Use	30%	90%		
Upper Story(es) Any Use	20%	90%		

A front porch/stoop/overhang shall be provided for any ground story residential unit entry. This front projection shall have a width not less than 25% of the front facade width.

K Building Projections

A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s). A shared courtyard may serve as the primary frontage access.

L Doors/Entries

Garages/carports where the vehicle entry faces a public street shall be setback a minimum of 10 feet from the front facade of the primary structure.

M Garage/Carport Setback

TABLE NOTES:

1. Sub-Stories, when included per Section 4.2(E)(2)c, shall be exempt from these requirements.

E. PRIVATE FRONTAGE TYPES

TABLE 4.9

FRONTAGE TYPES (REFER TO TABLE 4.1)

Common Yard	Not Permitted
Porch & Fence	Permitted
Dooryard	Permitted
Courtyard	Permitted
Stoop	Permitted
Shopfront	Permitted
Gallery	Permitted
Raised Site	When Permitted per Section 4.2(E)(2)c
Raised Base	When Permitted per Section 4.2(E)(2)c
Sub-Story	When Permitted per Section 4.2(E)(2)c

F. GENERAL USE CATEGORIES¹

- Residential
- Lodging²
- Office
- Retail²
- Automotive Dependent²
- Industrial¹
- Civil Support
- Civic

1. Refer to Permitted Use Table for full list of permitted uses within each use category listed.

2. Uses within this category are typically limited.

Neighborhood District (DPH-3)

4.3.3 NEIGHBORHOOD DISTRICT (DPH-3)

A. INTENT

The 'Neighborhood District' is predominately residential in appearance, but multi-use in function and serves to transition between the Central District and the primarily single-family residential areas outside of the Downtown Palm Harbor Activity Center. This District supports a mix of small to medium building types that allow more definition between public and private areas, as well as, small-scaled neighborhood and civic uses. District standards along Alternate U.S. 19 support the placement of community-scaled commercial uses.

B. SITING

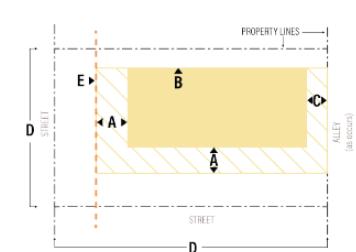


TABLE 4.10

REQUIREMENT	MIN.	MAX.
A Front Setback	10 ft	25 ft
B Side Setback	5 ft	-
C Rear Setback ¹	10 ft	-
D Building Frontage	50%	-
E Surface Parking Setback	10 ft	-

TABLE NOTES:

1. When an alley is present, the minimum rear setback shall be 15 feet, measured from the centerline of the alley.

C. HEIGHT

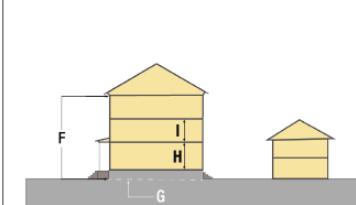


TABLE 4.11

REQUIREMENT	MIN.	MAX.
F Building Height ¹	1 story	3 stories
G Ground Floor Elevation (Residential Uses)	2 ft	-
H Ground Story Clearance	-	16 ft
I Upper Story Clearance	-	12 ft

TABLE NOTES:

1. Buildings shall not exceed a maximum height of 40 feet.

D. ELEMENTS

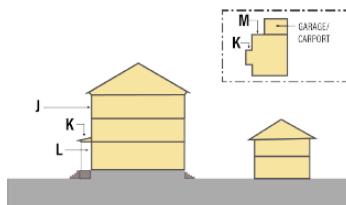


TABLE 4.12

REQUIREMENT		MIN.	MAX.
J Fenestration	All Stories	20%	70%
K Building Projections	A front porch/stoop/overhang shall be provided for any ground story residential unit entry. This front projection shall have a width not less than 25% of the front facade width.		
L Doors/Entries	A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s).		
M Garage/Carport Setback	Garages/carports where the vehicle entry faces a public street shall be setback a minimum of 10 feet from the front facade of the primary structure.		

E. PRIVATE FRONTAGE TYPES

TABLE 4.13

FRONTAGE TYPES (REFER TO TABLE 4.1)		
Common Yard	Not Permitted	
Porch & Fence	Permitted	
Dooryard	Permitted	
Courtyard	Permitted	
Stoop	Permitted	
Shopfront	Permitted	
Gallery	Not Permitted	
Raised Site	Not Permitted	
Raised Base	Not Permitted	
Sub-Story	Not Permitted	

F. GENERAL USE CATEGORIES¹

- Residential
- Lodging²
- Office
- Retail²
- Automotive Dependent
- Industrial²
- Civil Support²
- Civic²

1. Refer to Permitted Use Table for full list of permitted uses within each use category listed.

2. Uses within this category are typically limited.

Boulevard District (DPH-4)

4.3.4 BOULEVARD DISTRICT (DPH-4)

A. INTENT

The 'Boulevard District' fronting along Omaha Street, is predominantly residential in function and serves as a transition between the downtown core to the west, and the primarily single-family residential area to the east. This District supports a mix of residential types, as well as, office uses that fit in with the mostly residential character of the District.

B. SITING

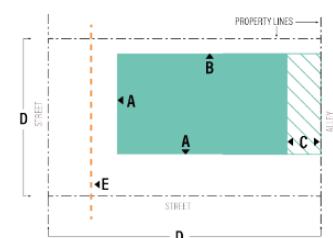


TABLE 4.14

REQUIREMENT	MIN.	MAX.
A Front Setback	15 ft	-
B Side Setback	5 ft	-
C Rear Setback ¹	15 ft	-
D Building Frontage	50%	-
E Surface Parking Setback	10 ft	-

TABLE NOTES:

1. When an alley is present, the minimum rear setback shall be 15 feet, measured from the centerline of the alley.

C. HEIGHT

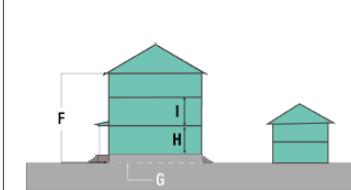


TABLE 4.15

REQUIREMENT	MIN.	MAX.
F Building Height ¹	1 story	3 stories
G Ground Floor Elevation (Residential Uses)	2 ft	-
H Ground Story Clearance	-	14 ft
I Upper Story Clearance	-	14 ft

TABLE NOTES:

1. Buildings shall not exceed a maximum height of 40 feet.

D. ELEMENTS

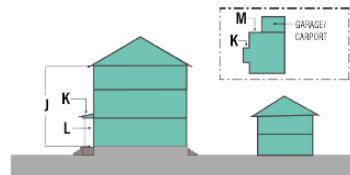


TABLE 4.16

REQUIREMENT	MIN.	MAX.
J Fenestration	All Stories	20% 70%
K Building Projections		A front porch/stoop/overhang shall be provided for any ground story residential unit entry. This front projection shall have a width not less than 29% of the front facade width.
L Doors/Entries		A minimum of one functioning entry door per storefront/residential unit shall have direct access to the primary frontage(s).
M Garage/Carport Setback		Garages/carports where the vehicle entry faces a public street shall be setback a minimum of 10 feet from the front facade of the primary structure.

E. PRIVATE FRONTAGE TYPES

TABLE 4.17

FRONTAGE TYPES (REFER TO TABLE 4.1)	PERMITTED
Common Yard	Permitted
Porch & Fence	Permitted
Dooryard	Permitted
Courtyard	Permitted
Stoop	Permitted
Shopfront	Not Permitted
Gallery	Not Permitted
Raised Site	Not Permitted
Raised Base	Not Permitted
Sub-Story	Not Permitted

F. GENERAL USE CATEGORIES¹

- Residential
- Lodging²
- Office
- Retail²
- Civic²

1. Refer to Permitted Use Table for full list of permitted uses within each use category listed.

2. Uses within this category are typically limited.