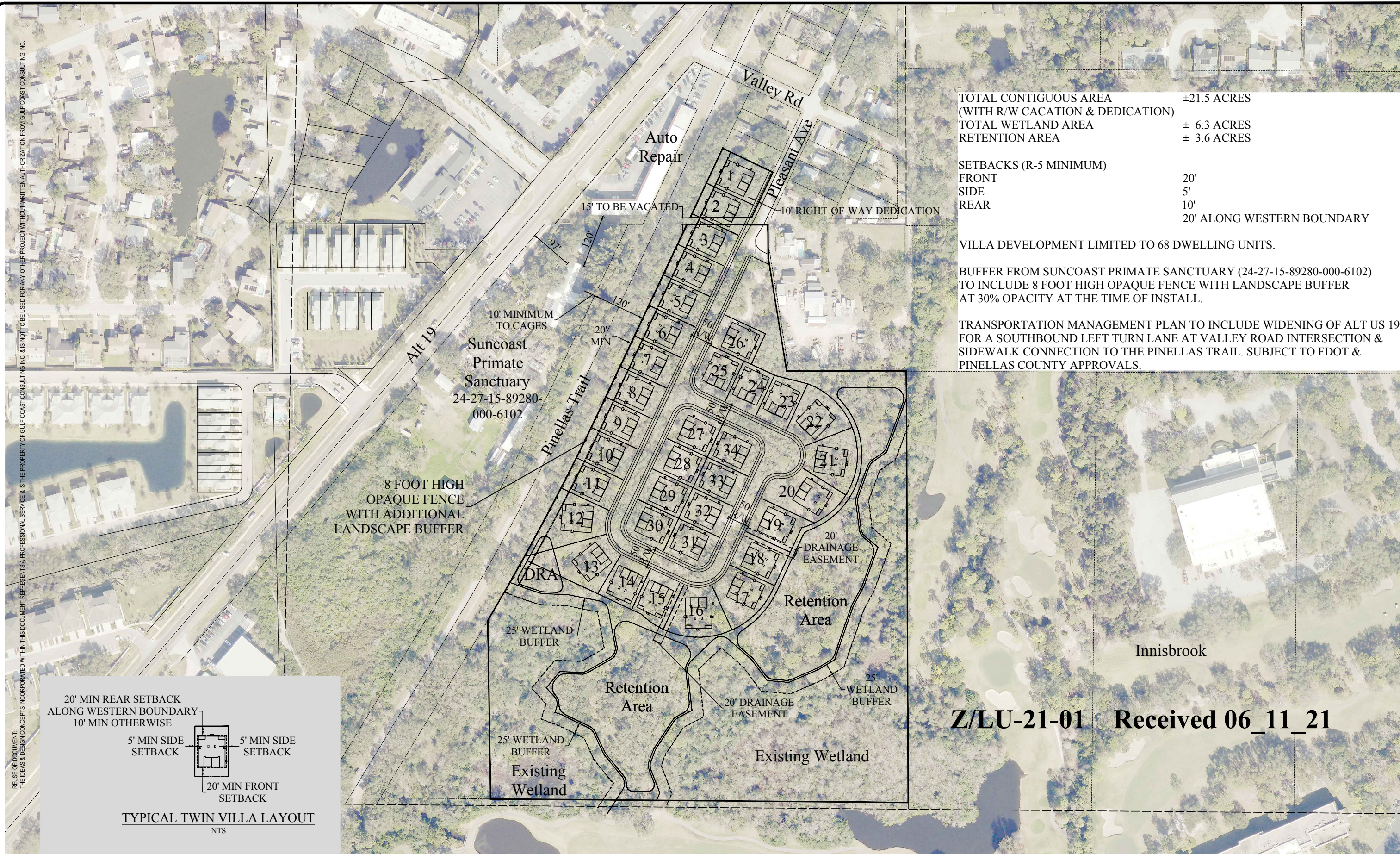


Y:\PINELLAS\Well Property (20-077)\Drawings\Concepts\20-077 Concept A 68 TV 06-09-21.dwg, 6/9/2021 12:09:46 PM

REUSE OF DOCUMENT:
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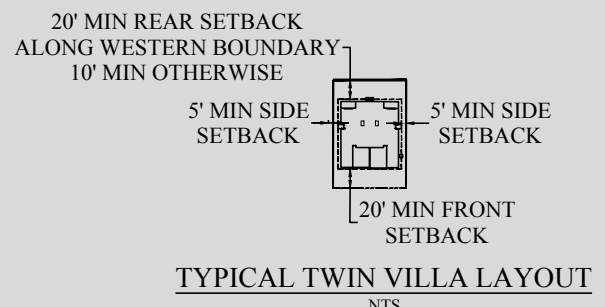
TOTAL CONTIGUOUS AREA ±21.5 ACRES
 (WITH R/W CACATION & DEDICATION)
 TOTAL WETLAND AREA ± 6.3 ACRES
 RETENTION AREA ± 3.6 ACRES

SETBACKS (R-5 MINIMUM)
 FRONT 20'
 SIDE 5'
 REAR 10'
 20' ALONG WESTERN BOUNDARY

VILLA DEVELOPMENT LIMITED TO 68 DWELLING UNITS.

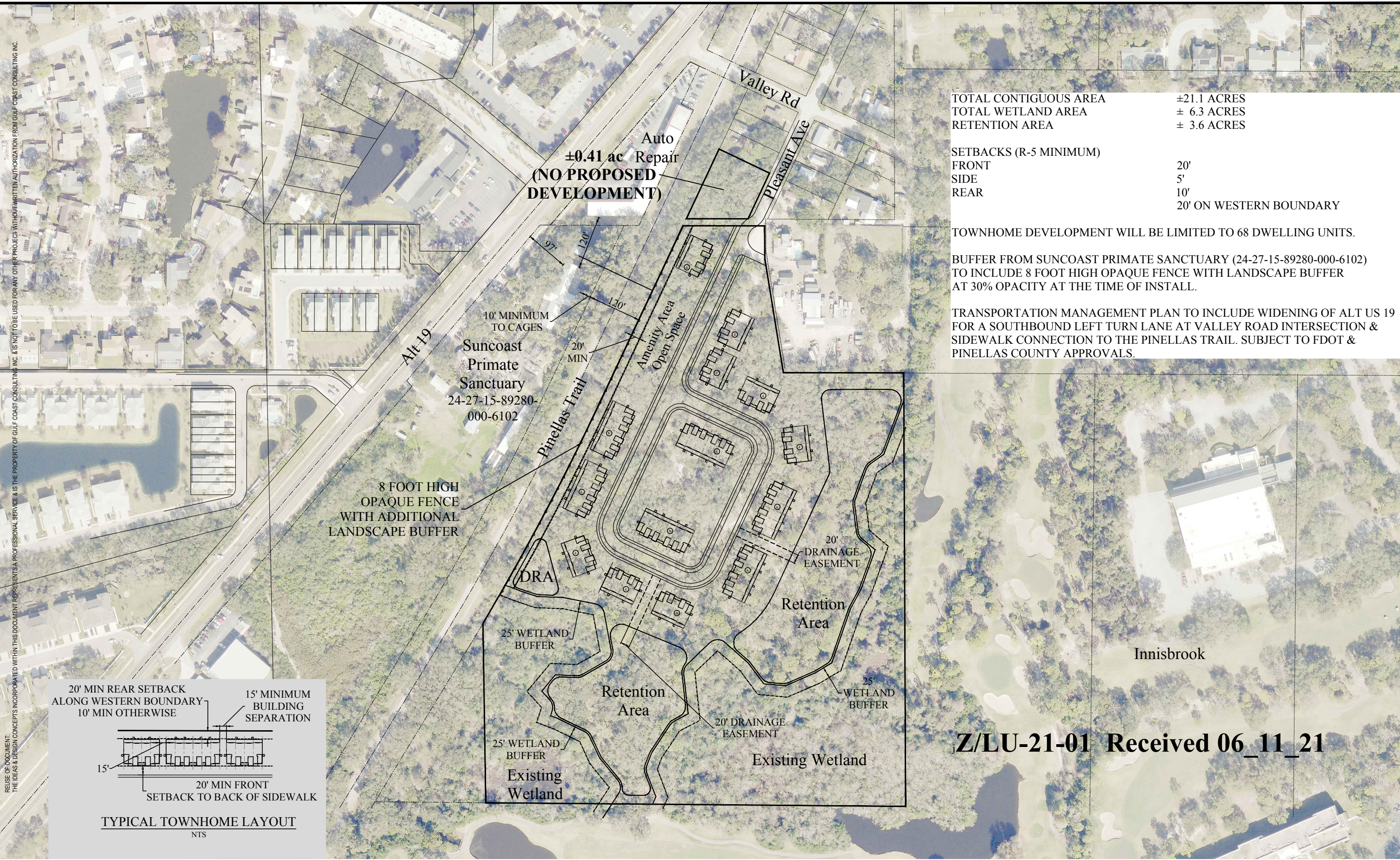
BUFFER FROM SUNCOAST PRIMATE SANCTUARY (24-27-15-89280-000-6102)
 TO INCLUDE 8 FOOT HIGH OPAQUE FENCE WITH LANDSCAPE BUFFER
 AT 30% OPACITY AT THE TIME OF INSTALL.

TRANSPORTATION MANAGEMENT PLAN TO INCLUDE WIDENING OF ALT US 19
 FOR A SOUTHBOUND LEFT TURN LANE AT VALLEY ROAD INTERSECTION &
 SIDEWALK CONNECTION TO THE PINELLAS TRAIL. SUBJECT TO FDOT &
 PINELLAS COUNTY APPROVALS.



Z/LU-21-01 Received 06_11_21

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TOTAL CONTIGUOUS AREA ±21.1 ACRES
TOTAL WETLAND AREA ± 6.3 ACRES
RETENTION AREA ± 3.6 ACRES

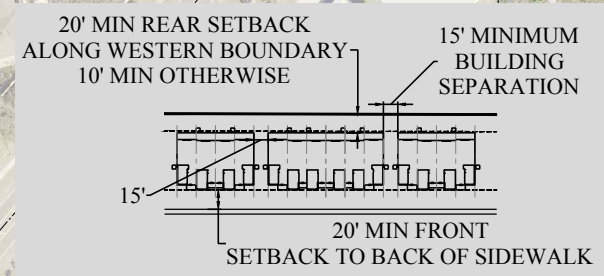
SETBACKS (R-5 MINIMUM)
FRONT 20'
SIDE 5'
REAR 10'
20' ON WESTERN BOUNDARY

TOWNHOME DEVELOPMENT WILL BE LIMITED TO 68 DWELLING UNITS.

BUFFER FROM SUNCOAST PRIMATE SANCTUARY (24-27-15-89280-000-6102) TO INCLUDE 8 FOOT HIGH OPAQUE FENCE WITH LANDSCAPE BUFFER AT 30% OPACITY AT THE TIME OF INSTALL.

TRANSPORTATION MANAGEMENT PLAN TO INCLUDE WIDENING OF ALT US 19 FOR A SOUTHBOUND LEFT TURN LANE AT VALLEY ROAD INTERSECTION & SIDEWALK CONNECTION TO THE PINELLAS TRAIL. SUBJECT TO FDOT & PINELLAS COUNTY APPROVALS.

Z/LU-21-01 Received 06_11_21



TYPICAL TOWNHOME LAYOUT
NTS

Y:\PINELLAS\Well Property (20-077)\Drawings\Concepts\20-077 Concept B 68 TH 06-09-21.dwg, 6/9/2021 11:17:55 AM

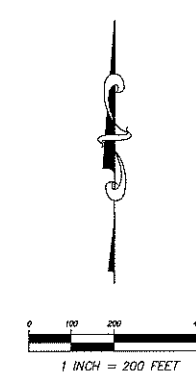
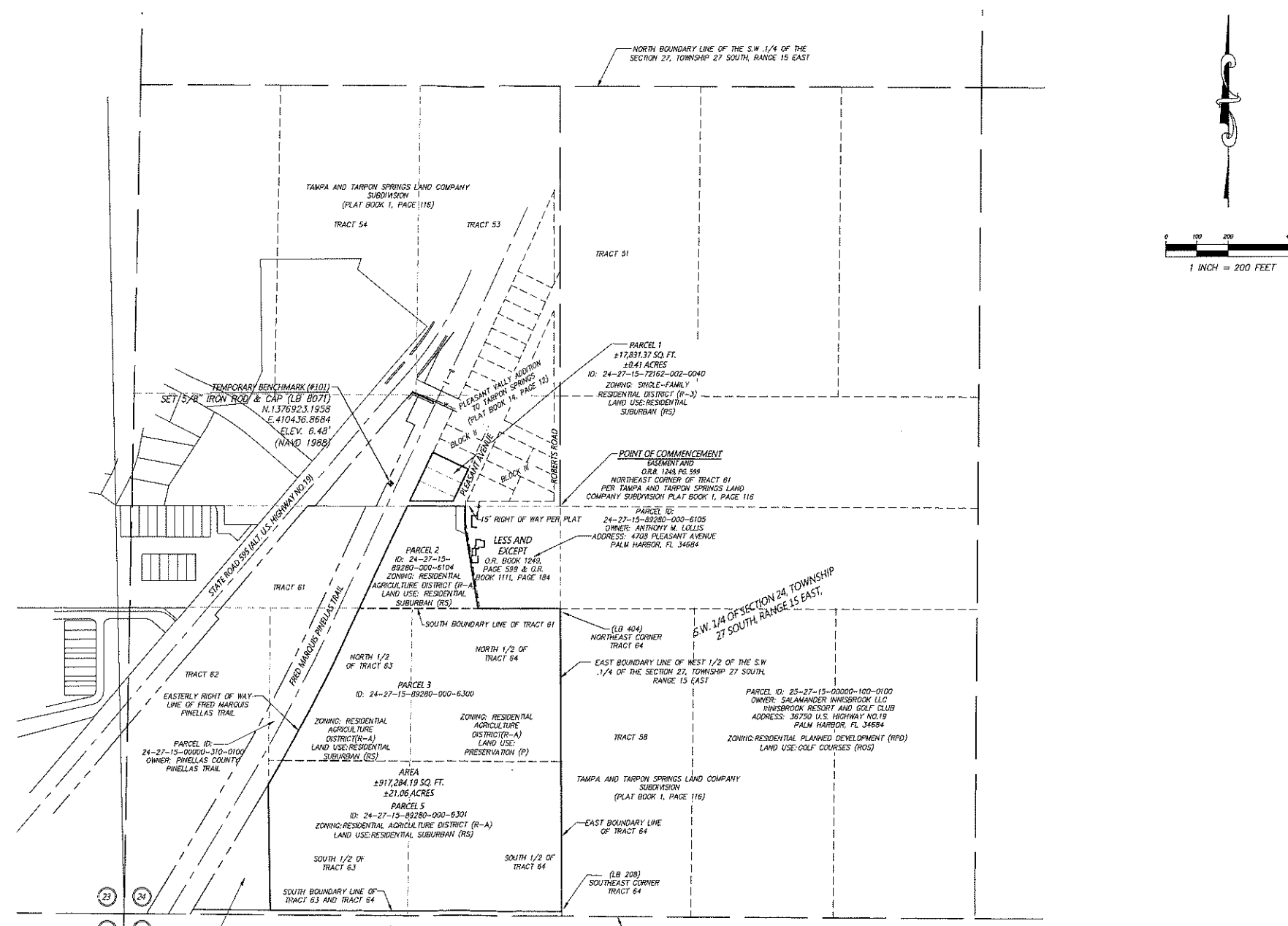
ALTA/NSPS LAND TITLE SURVEY:
D.R. HORTON, INC.
 SECTION 24, TOWNSHIP 27 SOUTH, RANGE 15 EAST,
 PINELLAS COUNTY, FLORIDA

LEGEND UNLESS OTHERWISE NOTED

- ± MORE OR LESS ELEVATION
- LB LICENSED BUSINESS NUMBER
- LS LAND SURVEYOR
- L.D. IDENTIFICATION
- ORB OFFICIAL RECORDS BOOK
- R RADIIUS
- L ARC LENGTH
- Δ DELTA (CENTRAL ANGLE)
- C.D. CHORD LENGTH
- C.B. CHORD BEARING
- P.O.C. POINT ON CURVE
- P.O.L. POINT ON LINE
- P.O.C. POINT OF COMPOUND CURVATURE
- P.R.C. POINT OF REVERSE CURVATURE
- P.C. POINT OF CURVATURE
- P.T. POINT OF TANGENCY
- P.I. POINT OF INTERSECTION
- (F) FIELD MEASURE
- (D) DEED MEASURE
- (P) PLAT MEASURE
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
- DIP DUCTILE IRON PIPE
- PVC POLYVINYL CHLORIDE
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- NAV D NORTH AMERICAN VERTICAL DATUM
- NVD NATIONAL GEODETIC VERTICAL DATUM
- P.B. PLAT BOOK
- ORB OFFICIAL RECORDS BOOK
- P.O.(S) PAGE(S)
- R/W RIGHT OF WAY
- E.S.W. EASEMENT
- SEC SECTION
- FND FOUND
- REC RECOVERED
- CCW CERTIFIED CORNER RECORD
- RLS REGISTERED LAND SURVEYOR
- CM CONCRETE MONUMENT
- IRC IRON ROD AND CAP
- IP IRON PIPE
- CLF CHAIN LINK FENCE
- M.E.S. MITERED END SECTION
- C.I.G. CURB INLET GRATE
- C.B. CATCH BASIN
- SMW STORM MANHOLE
- SMH SANITARY MANHOLE
- SC SANITARY CLEANOUT
- EM ELECTRIC MANHOLE
- EMR ELECTRIC METER
- ERB ELECTRIC RISER BOX
- CTRB CABLE TELEVISION RISER BOX
- TRB TELEPHONE RISER BOX
- URB UTILITY RISER
- W WELL
- WSR WATER SPROUT
- ICV IRRIGATION CONTROL VALVE
- WM WATER METER
- WV WATER VALVE
- FH FIRE HYDRANT
- ACD AIR CONDITIONER PAD
- GV GAS VALVE
- GM GAS METER
- GLM GAS LINE MARKER
- GMH GAS MANHOLE
- CUP CONCRETE UTILITY POLE
- MUP METAL UTILITY POLE
- WUP WOOD UTILITY POLE
- UOY UTILITY POLE OUT ANCHOR
- LP LIGHT POLE
- SLG SPOT/GROUND LIGHT
- ETR ELECTRIC TRANSFORMER
- WLF WETLAND FLAG
- SN SIGN
- BOLL BOLLARD
- FP FLAG POLE
- MB MAILBOX
- BOA BLOW OFF ASSEMBLY
- FOM FIBER OPTIC MARKER
- TB TRAFFIC BOX
- V VAULT
- LINE BREAK
- x- FENCE LINE AS NOTED
- o- OVERHEAD UTILITY LINE
- r- APPROXIMATE TOP OF BANK
- v- APPROXIMATE TOE OF SLOPE
- s- EXISTING CONTOUR
- sw- UNDERGROUND FORCE MAIN LINE
- s- UNDERGROUND SANITARY SEWER
- w- UNDERGROUND MAIN WATER LINE
- FOUND 5/8" IRON ROD & CAP (AS NOTED)
- FOUND NAIL & DISC (AS NOTED)
- FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
- FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
- FOUND 1/2" IRON ROD & CAP (AS NOTED)
- FOUND 1/2" IRON PIPE (AS NOTED)

TREE LEGEND
 (SIZE DENOTED INSIDE SYMBOL)

- CAMPHOR
- CEDAR
- CHERRY
- CHINABERRY
- CYPRESS
- DOGWOOD
- ELM
- GUM
- HICKORY
- HOLLY
- LAUREL OAK
- LIVE OAK
- MAGNOLIA
- MAPLE
- MIMOSA
- MISC
- OAK
- PALM
- PECAN
- PINE TREE
- SUGAR HACKBERRY
- SYCAMORE



SHEET 2 OF 5
 ONE IS NOT COMPLETE WITHOUT THE OTHERS
 SEE SHEET 1 OF 5 FOR NOTES, LEGENDS, CERTIFICATIONS, ETC.
 SEE SHEET 2, 3, 4, AND 5 FOR DRAWING DETAIL

NO.	REVISIONS	BY	DATE
2.	ADD WETLAND AREA	M.A.	12/20/20
1.	ADD TOPOGRAPHIC AND TREE SURVEY	M.A.	12/17/20

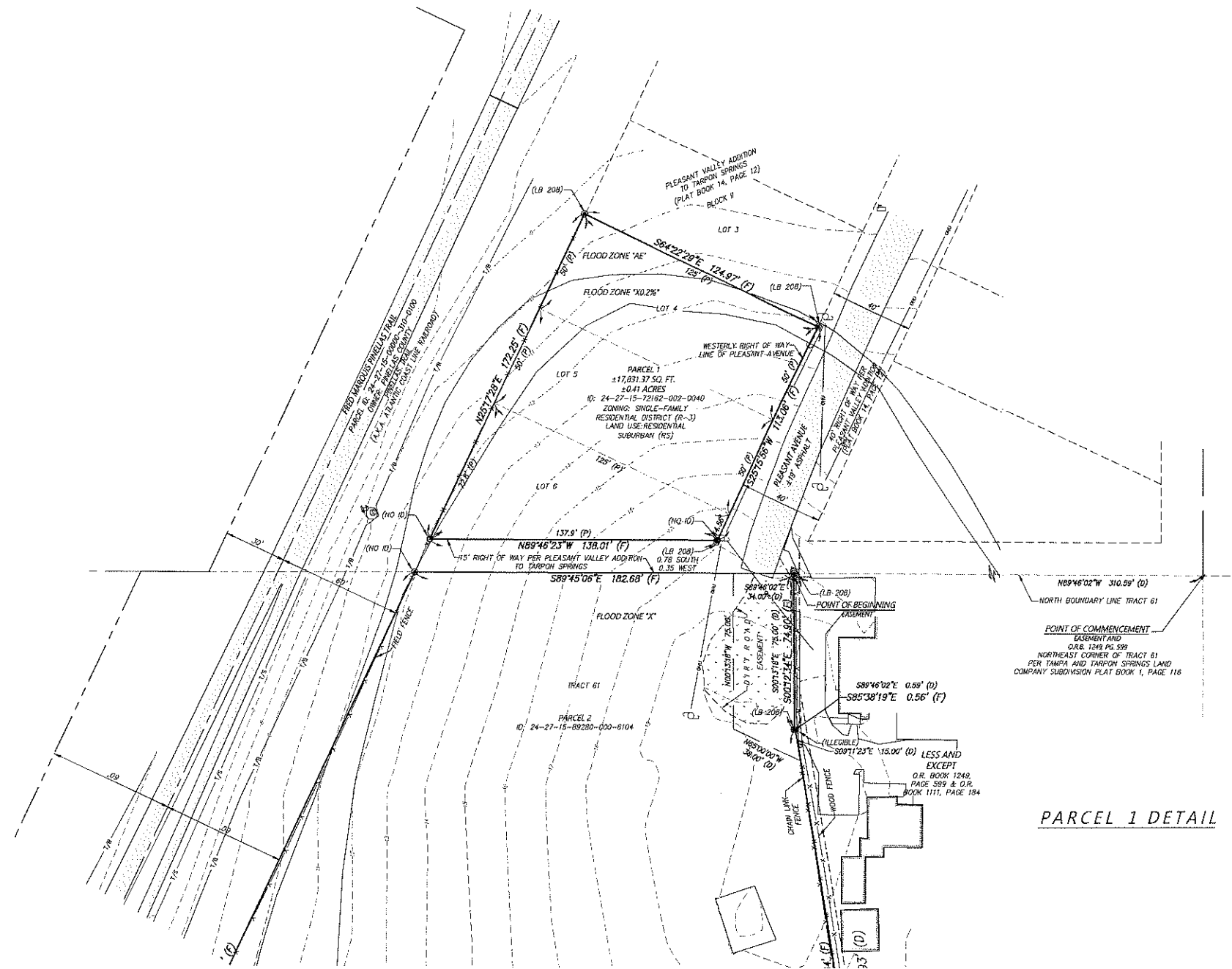
DRAWN:	M.A.
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
SCALE:	1" = 200'

JCH
 CONSULTING GROUP, INC.
 LAND DEVELOPMENT SURVEYING & MAPPING
 PLANNING ENGINEERING & DESIGN
 4708 PLEASANT AVENUE, SUITE 100
 PALM HARBOR, FLORIDA 34684
 (813) 961-1111

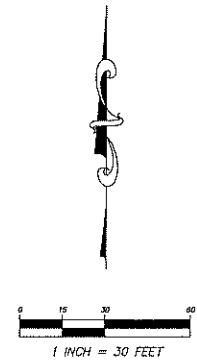
ALTA/NSPS LAND TITLE
 SURVEY FOR:
D.R. HORTON INC.

REFERENCES:
 20-14/11-16
 FILE: ARBOR FORMS

ALTA/NSPS LAND TITLE SURVEY:
D.R. HORTON, INC.
 SECTION 24, TOWNSHIP 27 SOUTH, RANGE 15 EAST,
 PINELLAS COUNTY, FLORIDA



PARCEL 1 DETAIL



SHEET 3 OF 5
 ONE IS NOT COMPLETE WITHOUT THE OTHERS
 SEE SHEET 1 OF 5 FOR NOTES, LEGENDS, CERTIFICATIONS, ETC.
 SEE SHEET 2, 3, 4, AND 5 FOR DRAWING DETAIL

DRAWN: M.A.		M.A.	
REVISED:		C.J.H.	
CHECKED:		C.J.H.	
APPROVED:		C.J.H.	
SCALE: 1" = 30'		NO.	
		BY	
		DATE	
		1. ADD TOPOGRAPHIC AND TREE SURVEY	
		M.A. 12/7/20	

JCH CONSULTING GROUP, INC.
 PLANNING • ENVIRONMENTAL • G.I.S.
 CONSULTING & SURVEYING & MAPPING
 11000 W. BAYVIEW BLVD., SUITE 100
 TAMPA, FLORIDA 33606

ALTA/NSPS LAND TITLE SURVEY FOR: D.R. HORTON, INC.

REFERENCES:
 20-14/1-1-16

FILE: ARBOR FARMS

J.O.#200908
 DWG.#200908R1

SHT 3 OF 5

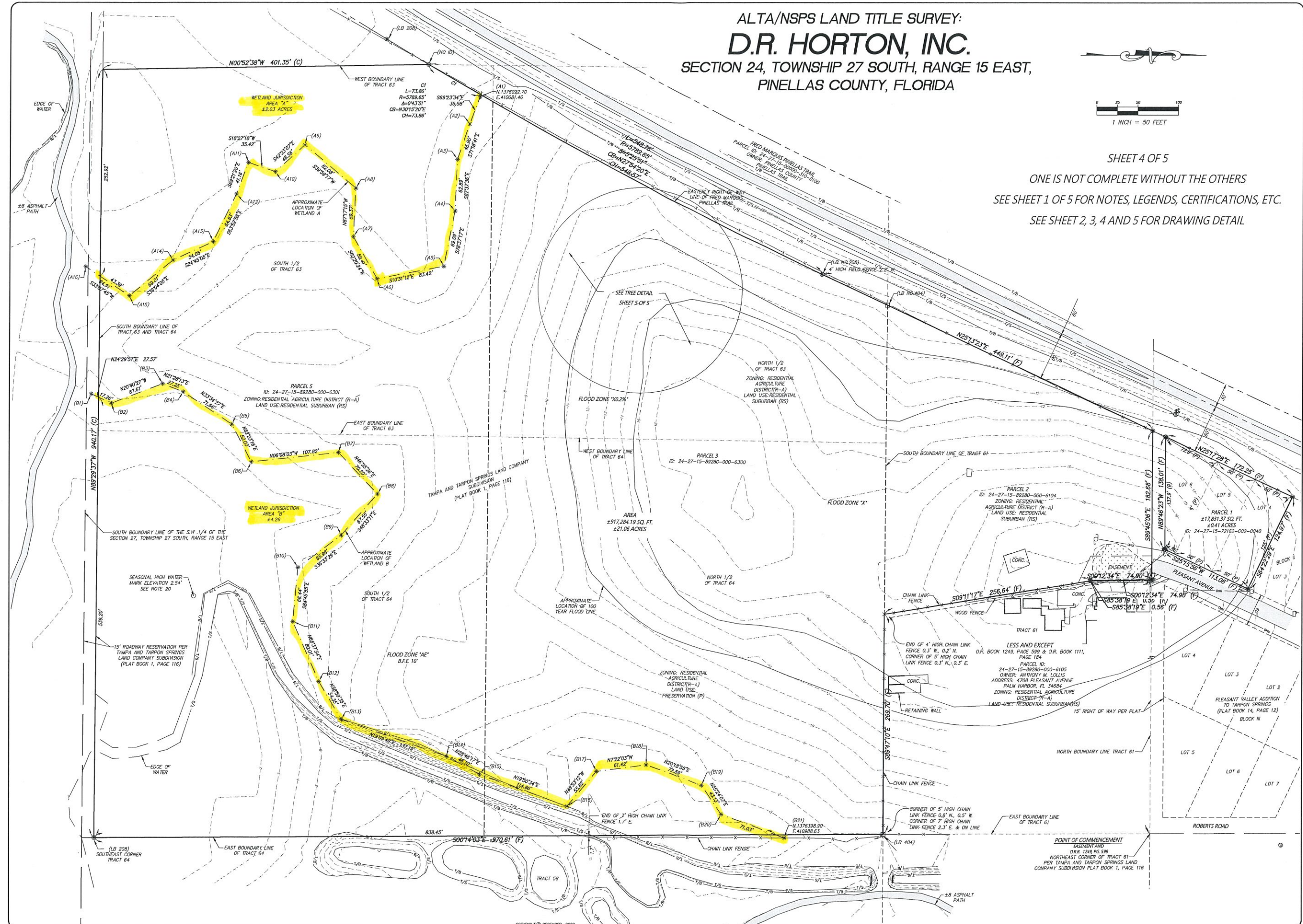
ALTA/NSPS LAND TITLE SURVEY:
D.R. HORTON, INC.
 SECTION 24, TOWNSHIP 27 SOUTH, RANGE 15 EAST,
 PINELLAS COUNTY, FLORIDA



1 INCH = 50 FEET

SHEET 4 OF 5

ONE IS NOT COMPLETE WITHOUT THE OTHERS
 SEE SHEET 1 OF 5 FOR NOTES, LEGENDS, CERTIFICATIONS, ETC.
 SEE SHEET 2, 3, 4 AND 5 FOR DRAWING DETAIL



NO.	REVISIONS	BY	DATE
1.	ADD TOPOGRAPHIC AND TREE SURVEY	M.A.	12/20/20
2.	ADD WETLAND AREA	M.A.	12/20/20

DRAWN:	M.A.
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
SCALE:	1" = 50'

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 CONSULTING GROUP, INC.
 LAND DEVELOPMENT SURVEYING & MAPPING
 PLANNING - ENVIRONMENTAL - G.I.S.
 4708 PLEASANT AVENUE, SUITE 100
 PALM HARBOR, FLORIDA 34684
 PHONE: 888.888.8888 FAX: 888.888.8888
 WWW.JCHCONSULTING.COM

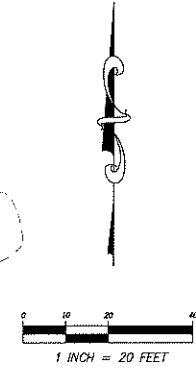
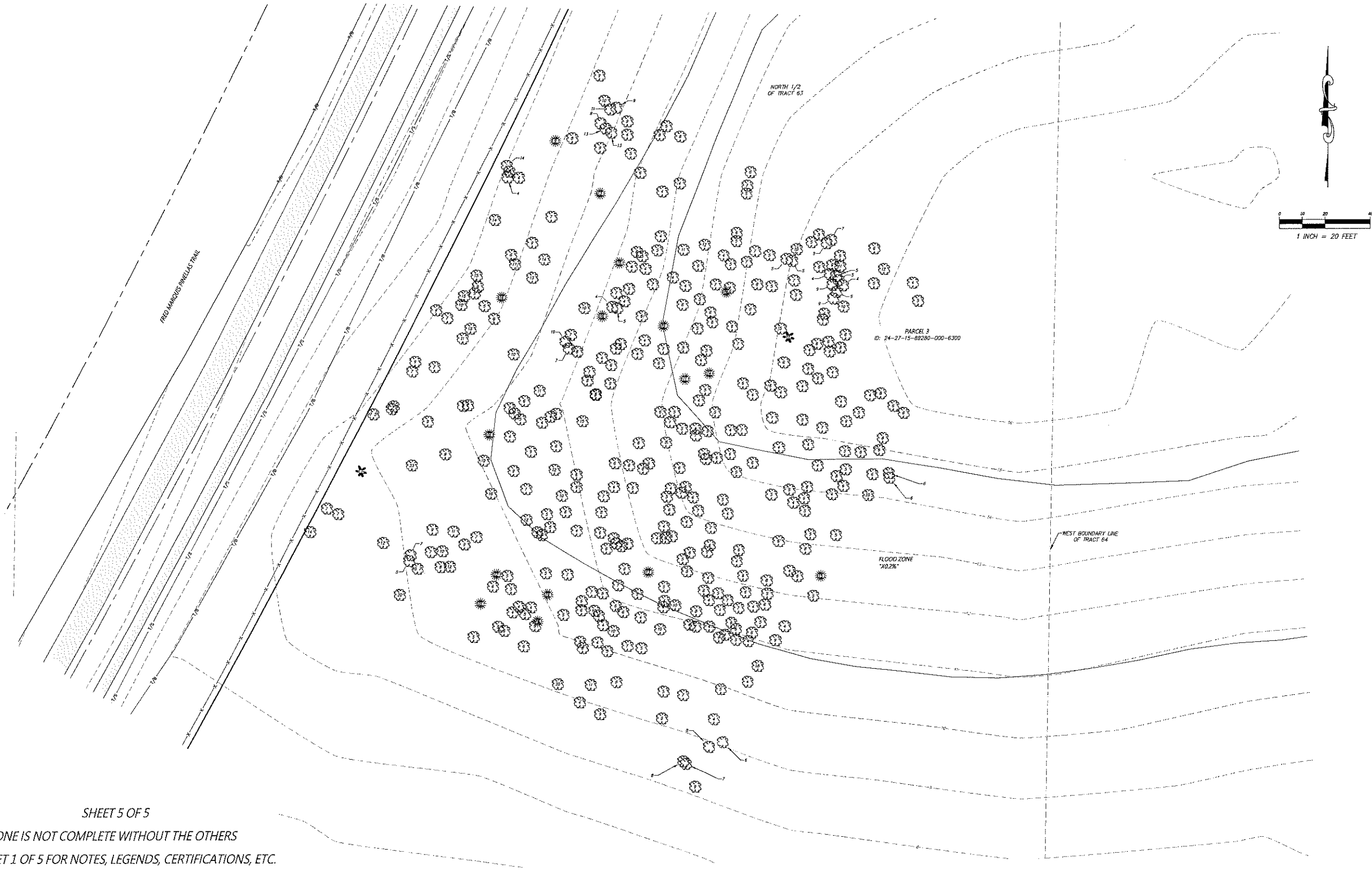
ALTA/NSPS LAND TITLE
 SURVEY FOR:
D.R. HORTON INC.

REFERENCES:
 20-14/11-16

FILE: ARBOR FARMS

J.O.#200908
 DWG.#200908R1
 SHT 4 OF 5

ALTA/NSPS LAND TITLE SURVEY:
D.R. HORTON, INC.
 SECTION 24, TOWNSHIP 27 SOUTH, RANGE 15 EAST,
 PINELLAS COUNTY, FLORIDA



SHEET 5 OF 5
 ONE IS NOT COMPLETE WITHOUT THE OTHERS
 SEE SHEET 1 OF 5 FOR NOTES, LEGENDS, CERTIFICATIONS, ETC.
 SEE SHEET 2, 3, 4 AND 5 FOR DRAWING DETAIL

DATE	BY	NO.	REVISIONS
12/20/20	M.A.	2	ADD WETLAND AREA
12/17/20	M.A.	1	ADD TOPOGRAPHIC AND TREE SURVEY

DRAWN:	M.A.
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
SCALE: 1" = 50'	

JCH
 CONSULTING GROUP, INC.
 LAND DEVELOPMENT SURVEYING & MAPPING
 PLANNING - ENVIRONMENTAL - C.E.S.
 CRENSHAW PARKWAY S.W., SUITE 100
 PINELLAS COUNTY, FLORIDA 34645
 PHONE: 727-851-1111 FAX: 727-851-1111 WWW.JCHINC.COM

ALTA/NSPS LAND TITLE SURVEY FOR:
D.R. HORTON INC.

REFERENCES: 20-14/11-16	FILE: ARBOR FARMS
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J.O.#200908
DWG.#200908R1
SHT 5 OF 5

Y:\PHILAS\Holl Property - Newby Farm (20-077)\Drawings\20-077_Aerial.dwg, 20/11/2020, 10:00:53 AM



Gulf Coast Consulting, Inc.
Land Development Consulting
11000 W. US Highway 90, Suite 100
Orlando, Florida 32837
Phone: (407) 351-1111 Fax: (407) 351-1111
www.gulfcoastconsulting.com



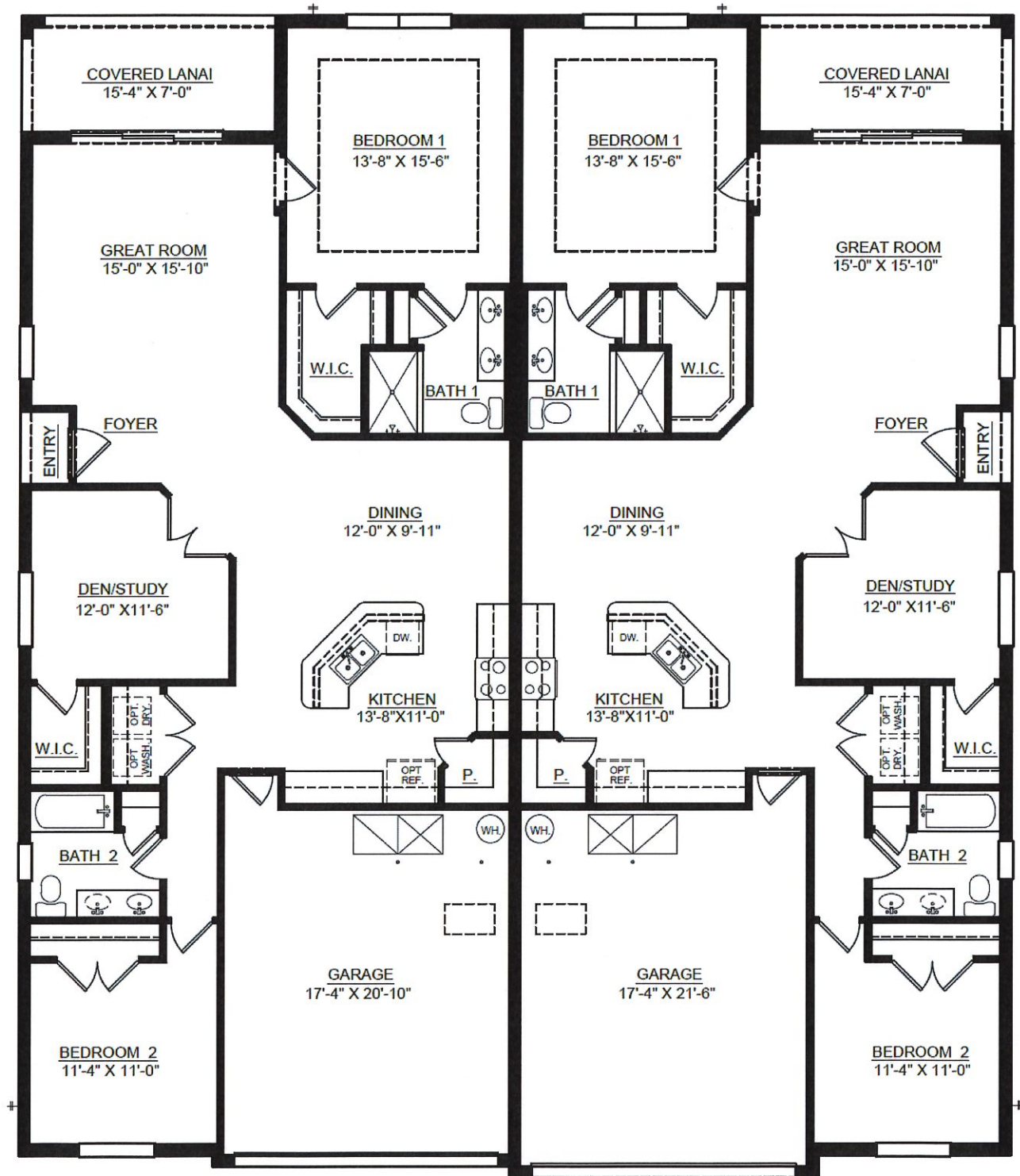
CONCEPT PLAN ONLY
SUBJECT TO CHANGE BASED ON FINAL DESIGN, BOUNDARY
& TOPOGRAPHIC SURVEY AND JURISDICTIONAL WETLAND
CONSTRAINTS. SUBJECT TO SITE PLAN APPROVAL.

Aerial Photograph

SIESTA

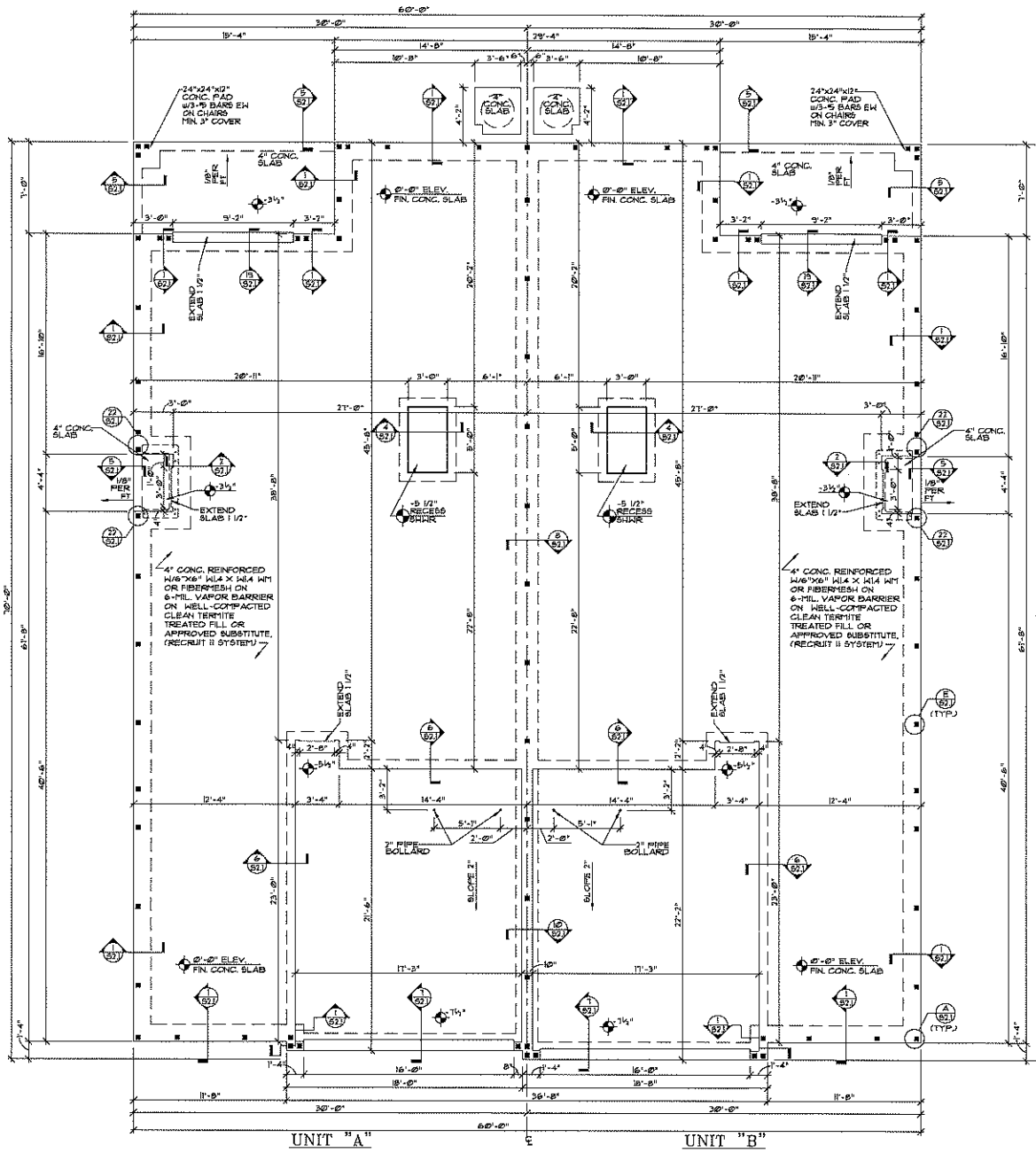


SIESTA



Pictures, photographs, colors, features, and sizes are for illustration purposes only and will vary from the homes as built. Square footage dimensions are approximate. See Sales Agent for complete details. 07/29/20. CBC039052.

1,565 Square Feet • 2 Bed plus Den • 2 Bath • 2 Car Garage



16/30 = 53.3%

1 FOUNDATION PLAN
1/4" = 1'-0"

NOTE:
R311.3.1 - FLOOR ELEVATIONS @ REQUIRED
EGRESS DOOR SHALL MEET PROVISION OF
SECTION R311.3.1 IN FBCR 6TH EDITION (2017).

ARCHITECTS



1441 N. RONALD REAGAN BLVD.
LONGWOOD, FL 32750
PH: 407-774-6078
FAX: 407-774-4078
www.designgroupinc.com
AA #: 0003325

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America's Builder
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ecommart.com

MODEL:
DUPLX
A-B UNITS
A-B-C ELEVATIONS
LOTS ***
BLOCK **

TITLE SHEET
DUPLX
MASTER PLAN
FOUNDATION PLAN
150-C.MPH

JOB # 098107

ARCHITECT:
STATE OF FLORIDA

ROLAND A. ARSUSIACRA
A.N.O. 0523

DATE: 07/17/20

SCALE:
SHEET NO.:

S1.1

VALE & GLEN TOWNHOMES



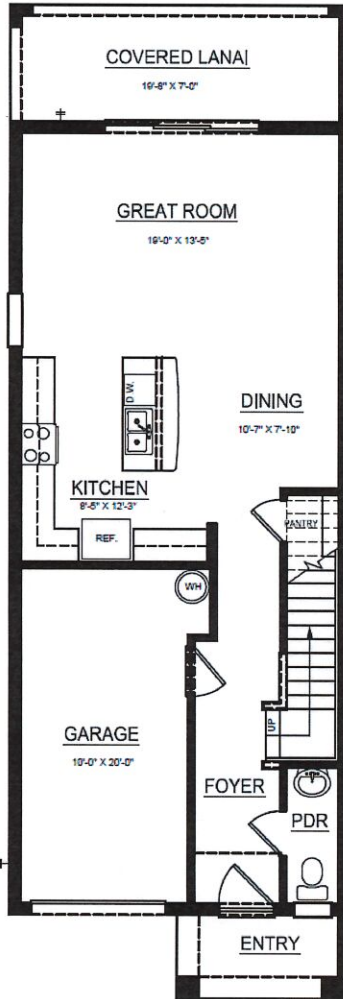
Scheme 1



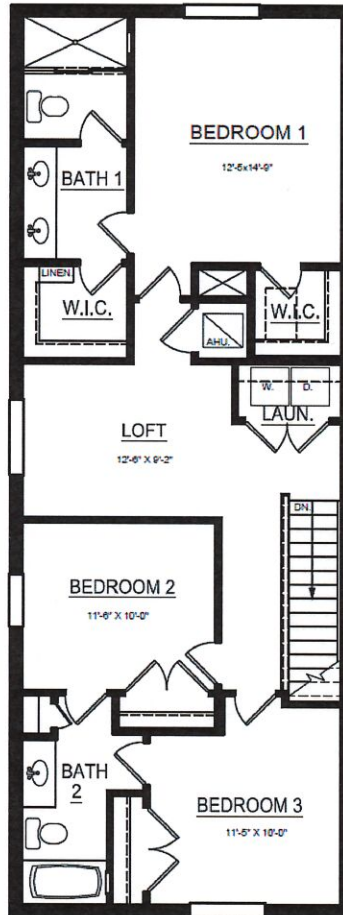
Scheme 2

VALE & GLEN TOWNHOMES

Vale
1,758 Sq. Ft.

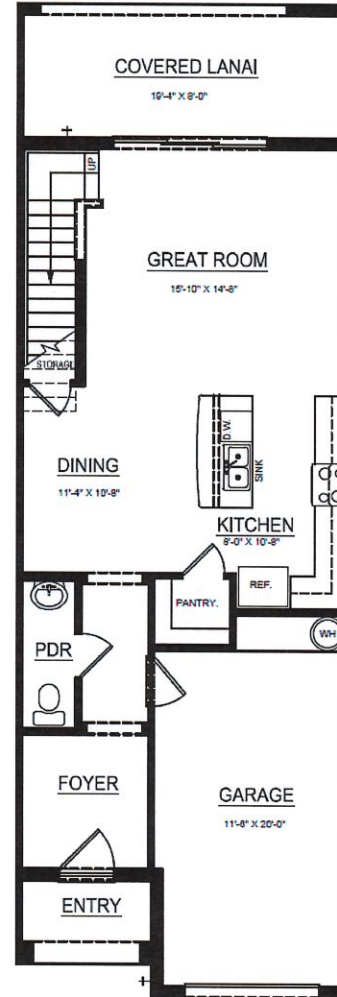


First Floor

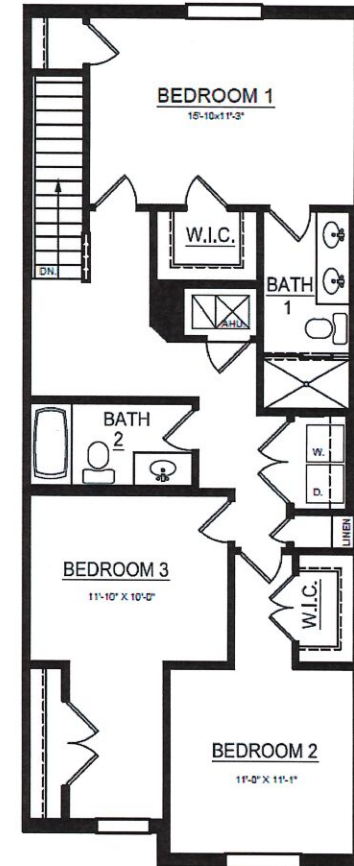


Second Floor

Glen
1,673 Sq. Ft.



First Floor

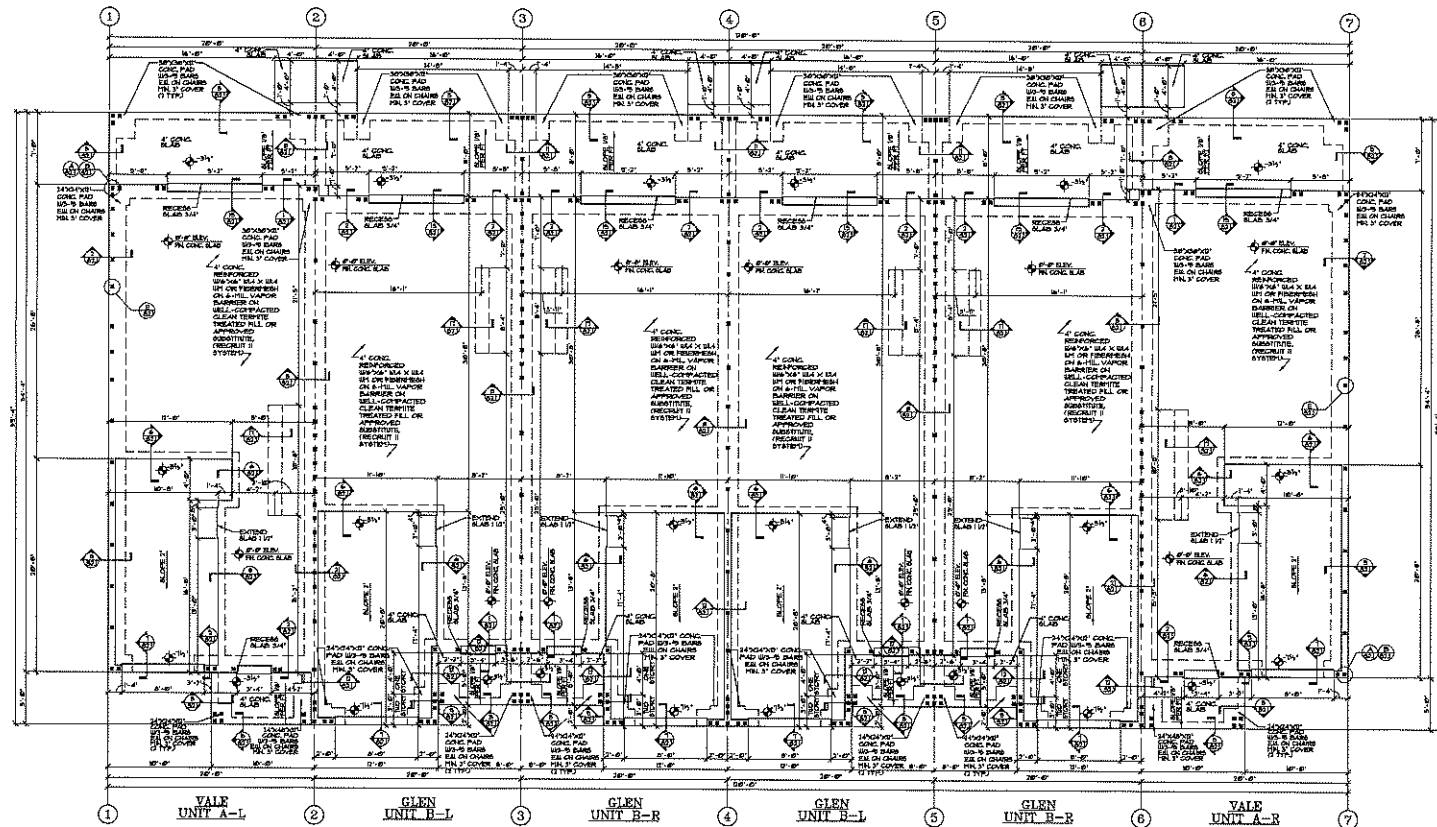


Second Floor



Pictures, photographs, colors, features, and sizes are for illustration purposes only and will vary from the homes as built. Square footage dimensions are approximate. See Sales Agent for complete details. 07/29/20. CBC039052.

3 Bed • 2.5 Bath • 1 Car Garage with 2 Car Platform



FOUNDATION PLAN
3/4" = 1'-0"

E311.3.1-FLOOR ELEVATIONS @ REQUIRED EGRESS DOOR SHALL MEET PROVISION OF SECTION E311.3.1 IN FBCR 6TH ED. (2017).

FOUNDATION NOTES

- FLOOR SHALL BE 4" CONCRETE SLAB REINFORCED W/ FIBERWEGM ON 6-MIL POLY ETHYLENE VAPOR BARRIER ON WELL-COMPACTED CLEAN TERMITIC TREATED FILL OR APPROVED SUBSTITUTE (REQUIRED IN SYSTEM). SEE GENERAL NOTES FOR COMPACTING REQUIREMENTS.
- TOP OF FINISHED SLAB SHALL BE 0'-0"
- COLUMN AND FOOTING CENTERLINES SHALL COINCIDE UNLESS DIMENSIONED OTHERWISE.
- REFERENCE ELEVATION 0'-0". SEE SURVEY PLOT FOR NGVD.
- PROVIDE ISOLATION JOISTS BETWEEN INTERIOR AND EXTERIOR SLABS ON GRADE PROVIDE 1/2" FEEL PAPER AT THE JOINT.
- COORDINATE SLAB ELEVATIONS STEPS, AND SLOPES WITH ARCHITECTURAL DRAWINGS.
- SPACES IN REINFORCING BARS SHALL NOT BE LESS THAN 4B BAR DIAMETERS (B=90", #0=38") AND REINFORCING SHALL BE CONTINUOUS.
- NATIONAL ANALYSIS WAS PREPARED TO DETERMINE SIZE AND STEEL REINFORCING FOR ALL FOUNDATIONS. DESIGN WAS BASED ON ALL ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. TRANSFER REINFORCING (TOP STEEL) HAS BEEN DELETED UNLESS NOTED OTHERWISE.
- VERTICAL REINFORCING IN CMU SHALL BE #5" AS SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED IN THE PLAN. ONE REINFORCING BAR SHALL BE:
 - BY ALL WALL INTERSECTIONS
 - CHANGES IN ELEVATION
 - ALL CORNERS

DOUCEL LEGEND
 # CONT. VERTICAL DOUCEL TO LOWER COURSE BY 1/8 REBAR.

DESIGN CRITERIA
 THIS FOUNDATION SYSTEM FOR 800 REINFORCE HAS BEEN DESIGNED TO MEET ALL REQUIREMENTS FOR FOUNDATIONS DESIGNED TO 1000 PSF SOIL BEARING CAPACITY.

NOTE:
 SEE 5000 PSF CONCRETE IN BRUSH FROM FOR FOUNDATIONS

8/20 = 40%

4445 W. RONALD REAGAN BLVD.
 LENOXWOOD, FL 33765
 PH: 407.774.6878
 FAX: 407.774.4078
 WWW.DESIGNGROUPFL.COM
 AA # 0603215

NO.	DESCRIPTION

D-R-HOBSON INC.
America's Builder
 www.dr-hobson.com
 CONSTRUCTION

COMPLIANT
 A-B-C
 UNIT # 1
 BLOCK # 1
 LOT # 1
 PLAT # 1

6 UNIT TOWNHOMES
 FOUNDATION PLAN
 09061-1-0000

REGISTERED
 STATE OF FLORIDA

 ROBERT A. MASON
 PE No. 80262

DATE: 05/20/20
 SCALE: AS NOTED
 SHEET NO:

S1.1