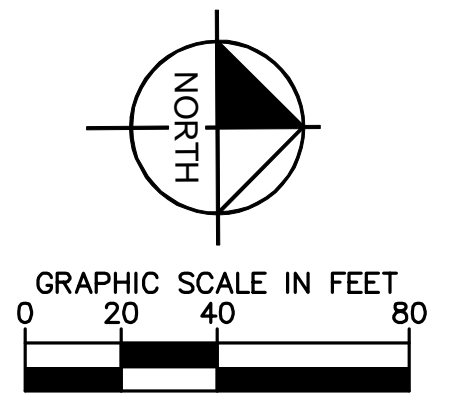
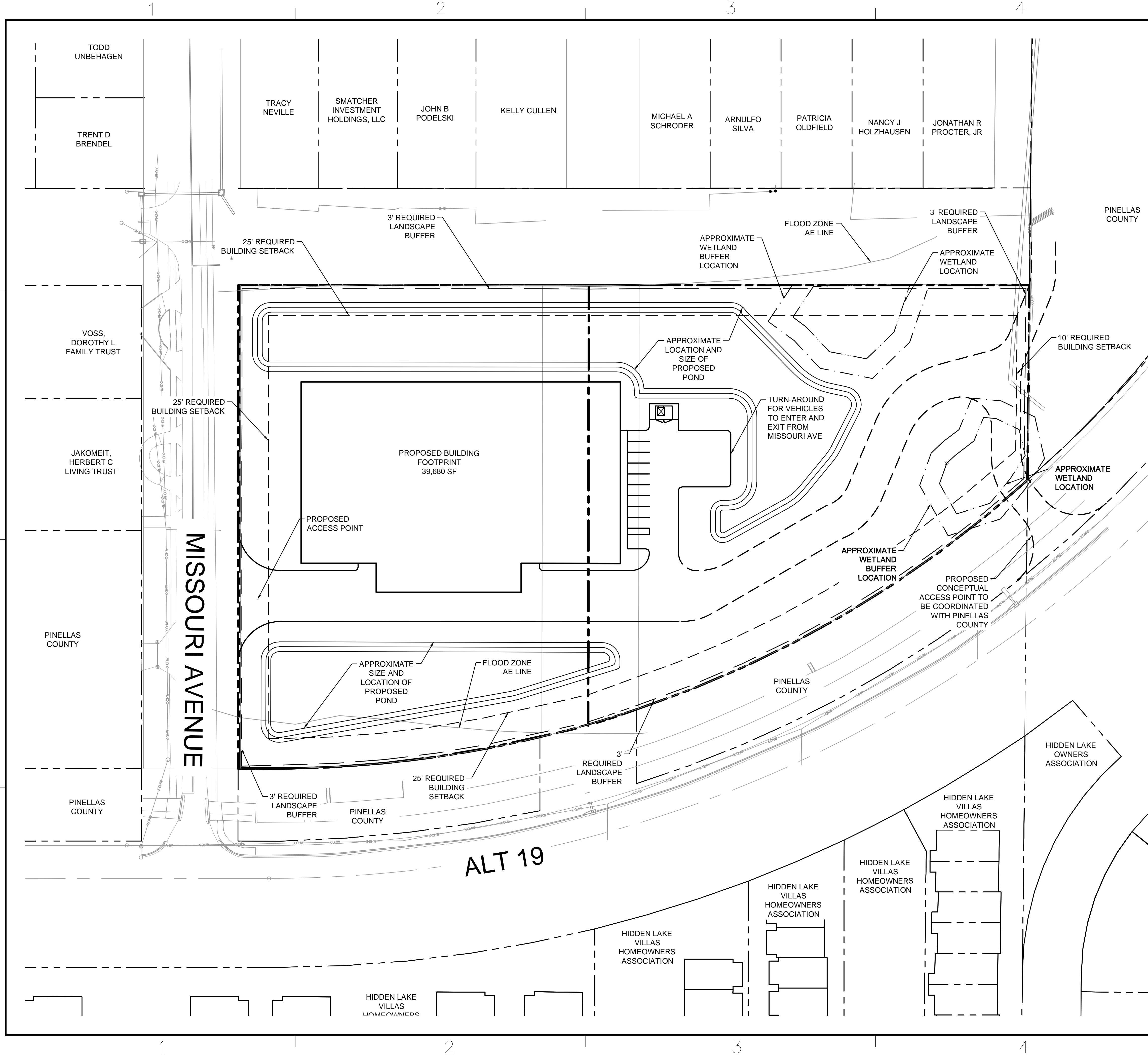


Drawing name: K:\TAM_Civil\145610 - Northpoint\003 Palm Harbor Harbor\CAD\Exhibit\2018.04.13 Shared Access with Turn Around in Parking\Plan Harbor Concept Site Plan - Access Options.dwg Layout1 Apr 25, 2018 8:20am by alex.scholar
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reproduction and distribution without written authorization and signature of Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



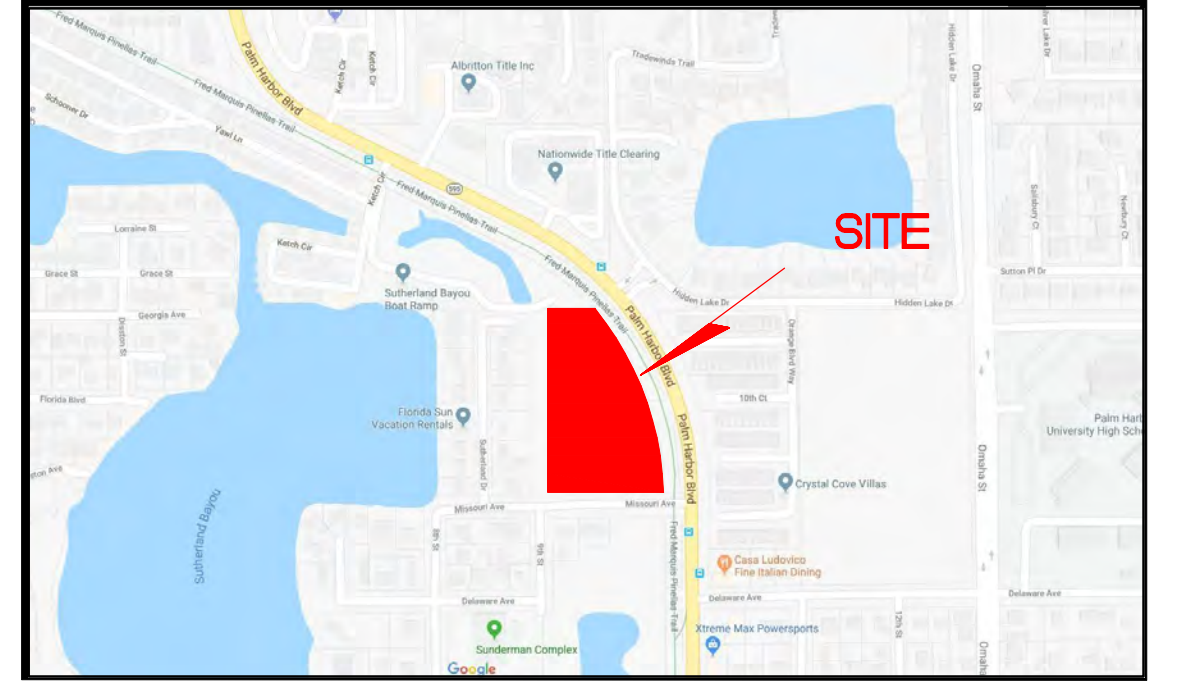
SITE DATA TABLE	
DEVELOPER	NORTHPOINT DEVELOPMENT 12877 N. OUTER POINT RD. SUITE 203 ST. LOUIS, MO 63141 314.511.6893
ENGINEER	KIMLEY-HORN AND ASSOCIATES, INC. 655 N FRANKLIN STREET SUITE 150 TAMPA, FL 33602 813-620-1460
SURVEYOR	GEOPOINT SURVEYING, INC. 215 HOBBS STREET TAMPA, FL 33619 813-248-8889
ARCHITECT	STUDIO NORTH ARCHITECTURE 4026 NW 41ST STREET SUITE 200 RIVERSIDE, MO 64150 816-955-8132
PROPERTY AREA	4.9 ACRES
PARCEL NUMBER	02-29-13-0227E-000-0000 & 01-29-13-000001-01000
ZONING	RFD-5
PROPOSED ZONING	M-1
EXISTING FUTURE LAND USE	RL
PROPOSED LAND USE	E
EXISTING USE	VACANT
PROPOSED USE	121,920 SF (3) STORY SELF-STORAGE FACILITY
EXISTING % OF TOTAL IMPERVIOUS AREA	2.7%
PROPOSED % OF TOTAL IMPERVIOUS AREA	59.6%
EXISTING % OF TOTAL PERVIOUS AREA	97.3%
PROPOSED % OF TOTAL PERVIOUS AREA	40.4%
FLOOD ZONE	AE
BUILDING DATA	
BUILDING FOOTPRINT	39,680 SF
TOTAL BUILDING AREA	121,920 SF
BUILDING HEIGHT	-35 FEET
FAR	0.60
PARKING IMPROVEMENT DATA	
TOTAL PROPOSED SPACES	10 SPACES
MISCELLANEOUS DATA	
TOTAL NUMBER OF EMPLOYEES	1 EMPLOYEE

LEGEND	
PROPERTY LINE	---
LANDSCAPE BUFFER	----
BUILDING SETACK	----
WETLAND LINE OR BUFFER	----
(SEE LABELS ON PLAN)	

LEGAL DESCRIPTION

Parcel 1:
 TRACT "C", together with 112 of vacated Iowa Avenue adjacent on the South King East of 9th Street and West of Pinellas Trail, BORNEN-BRANDENBURG REPLAT, a subdivision according to the plat thereof recorded at Plat Book 21, Page 47, in the Public Records of Pinellas County, Florida.

Parcel 2:
 Undivided Block 11, together with the South 112 of vacated Iowa Avenue adjacent on the North King East of 9th Street and West of Pinellas Trail, TOWN OF SUTHERLAND, said Town of Sutherland being in Section 1, Township 28 South, Range 15 East, Pinellas County, Florida.



SITE LOCATION MAP
 N.T.S.

Always call 811 two full business days before you dig to have underground utilities located and marked.

GROUNDWATER / DEWATERING NOTE:
 THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.

 © 2017 KIMLEY-HORN AND ASSOCIATES, INC. 655 NORTH FRANKLIN STREET, SUITE 150, TAMPA, FL 33602 PHONE: 813-620-1460 WWW.KIMLEY-HORN.COM CA 00000996	DESIGN ENGINEER	NATHAN O. LEE, P.E.
	FLORIDA REGISTRATION NUMBER	69843
SCALE	AS NOTED	
DESIGNED BY	AVS	
DRAWN BY	AVS	
CHECKED BY	NOL	
DATE		
CONCEPT SITE PLAN		
BEYOND SELF STORAGE		
FLORIDA		
COUNTY OF PINELLAS		
DATE	01/03/2017	
PROJECT NO.		
SHEET NUMBER		
EXHIBIT		
REVISIONS		
NO.		
DATE		
BY		