

DIRECT FINAL SITE PLAN FOR: TURTLE BEACH

A LAND CONDOMINIUM

BEING A REPLAT OF SUTHERLAND CROSSING, A CONDOMINIUM, AS RECORDED IN CONDOMINIUM PLAT BOOK 69, PAGES 99-102, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, LYING WITHIN SECTION 02, TOWNSHIP 28 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA

SITE PLAN #1858.10 A.K.A. POINT SEASIDE EAST (APPROVED 03-07-1983)

Prepared For:

TURTLE BEACH LAND COMPANY, LLC

2611 KEYSTONE ROAD, SUITE B-4
TARPON SPRINGS, FLORIDA 34688

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Prepared By:



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EE #4005

PERMITS

PERMIT TYPE	NUMBER	APPROVED
PINELLAS COUNTY REVISED SITE PLAN	1858-15	07-26-2015
S.D.A. FOR 21 FT. SETBACK	8A 12-11-13	11-07-2013
N.D.S.		
DEP EXEMPTION	82 12-11-13	02-04-2014
DEVELOPMENTAL TERMINATION - 00-11	8114-04-12	05-09-2002
TOP CHECK	8999888	
CIVIL RECORDING	2-7-97	05-02-2000

NOTE TO CONTRACTOR/OWNER

CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LANDON, MOREE & ASSOCIATES, INC. STAMPED "ISSUED FOR CONSTRUCTION". ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET FORTH IN THE PINELLAS COUNTY LAND DEVELOPMENT, ZONING, AND/OR RELATED ORDINANCES AND SPECIFICATIONS AS APPLICABLE.

UTILITY WARNING NOTE

ABOVE-GROUND OR UNDER-GROUND UTILITIES MAY BE IN THE AREA OF THIS PROJECT - PROCEED WITH CAUTION - CALL "SUNSHINE STATE ONE CALL" (1-800-433-4779) AND THE UTILITY OWNERS BEFORE BEGINNING WORK. PROVIDE OWNER WITH CODE NUMBER OF PROJECT.

FINAL SITE PLAN

SEP 30 2015

Approved: [Signature]
Landon, Moree & Associates, Inc.

FINAL SITE PLAN
SEP 31

PLAN INDEX

- COVER SHEET
- EXISTING CONDITIONS/DEMOLITION PLAN
- SITE PLAN
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SITE DATA

PARCEL ID #: 02-28-16-08955-000-0000 & 02-28-08555-000-0001

ZONING DISTRICT: RFD-2A, RFD-1D

LAND USE: R8, R8

GROSS SITE AREA: 1,953,971 SF (34.34 ACRES)

PARKING DEVELOPMENT: 15 SPACES PER UNIT

EXISTING DEVELOPMENT: 61 APPROVED CONDOMINIUM UNITS (35 CONSTRUCTED)

PROPOSED DEVELOPMENT: 61 SINGLE FAMILY LOTS

M IN LOT SIZE: 6,000 SF

M IN BUILDING SETBACK: FRONT - 25' FROM FLORIDA BLVD., 25' FROM SEAVIEW DR

SEAWARD CIRCLE (PER SA 912-11-13), SIDE - 7.5', PERIMETER - 10'

TRANSPORTATION IMPACT FEE:

61 APPROVED UNITS - 35 CONSTRUCTED UNITS = 26 UNITS SUBJECT TO IMPACT FEE

26 SINGLE FAMILY DWELLING UNITS @ \$2,089/DU = \$53,716 TRANSPORTATION IMPACT

FLOOD ZONE:

THIS PROPERTY LIES WITHIN FLOOD ZONES "AE" (EL. 12, 13) & "VE" (EL. 14-17) AS DEFINED ON FEMA FLOOD INURANCE RATE MAP: 12 USC-0589B, DATED SEPTEMBER 3, 2003.

REVISIONS

REVISION DATE	COMMENTS
12-08-2014	REVISED PER PINELLAS COUNTY & CLIENT COMMENTS
06-28-2015	REVISED PER PINELLAS COUNTY & CLIENT COMMENTS
08-28-2014	REVISED PER PINELLAS COUNTY COMMENTS
07-07-2015	REVISED PER PINELLAS COUNTY COMMENTS
07-15-2015	REMOVED LOT #3
09-23-2015	REVISED PER SETTLEMENT AGREEMENT EXECUTED ON 08-25-2015

NOTES:

- THIS PROJECT WAS APPROVED BY PINELLAS COUNTY AS "POINT SEASIDE EAST MARVEL 7, 1983 AND SUBSEQUENTLY DEVELOPED AS A TIMESHARE PROJECT PLATTED AS A CONDOMINIUM. THE ENGINEER OF RECORD WAS SIPPEL, MAST KRAVET.
- THE DECLARATION OF CONDOMINIUM IS RECORDED IN G.R. BOOK 5561, PAGE (CONDO BOOK 69, PAGES 99-100).
- THE INTENT IS TO DEMOLISH THE EXISTING TIMESHARE UNITS AND REPLAT THE PROJECT AS A LAND CONDOMINIUM. NO SUBSTANTIAL CHANGES TO THE EXISTING INFRASTRUCTURE ARE PROPOSED.
- PINELLAS COUNTY SEWER IS CURRENTLY WITHIN AN EASEMENT IN PRIVATE RIGHT-OF-WAY.
- INTENT IS TO REMOVE DOUBLE CHECK VALVE AT ENTRANCE AND DEDICATE IN SYSTEM TO PINELLAS COUNTY SUCH THAT UNITS ARE INDIVIDUALLY MEASURABLE.
- LMA WILL REPLACE SIPPEL, MASTELLER & KRAVET AS THE ENGINEER OF RECORD FOR THIS PROJECT.
- CONSTRUCTION PHASING PLAN SHOWN ON SHEET 3.

VICINITY MAP



LEGAL DESCRIPTION

TRACT OF LAND IN THE WEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 28 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE POINT OF BEGINNING, COMMENCE AT THE SOUTH-EAST CORNER OF THE SOUTH-EAST 1/4 OF THE 1/4 OF SAID SECTION, THENCE NORTH 89°30'31" WEST ALONG THE SOUTH LINE OF SAID SOUTH-WEST NORTHWEST 1/4, A DISTANCE OF 464.72 FEET TO THE MEAN HIGH WATER LINE BEING ELEVATION 5.21 A.G.S. DATUM, 1928 AS SURVEYED JULY 25, 1974, ALSO BEING THE BOUNDARY OF SUBMERGED LANDS AND CONVEYED AS PARCEL "B"; THENCE ALONG SAID MEAN HIGH WATER LINE (L1) CALLS: 89°14' WEST, 64.35 FEET; NORTH 58°40'21" WEST, 118.29 FEET; NORTH 76°50'09" WEST, 96.48 FEET; 89°04' WEST, 135.00 FEET; NORTH 87°50'14" WEST, 103.80 FEET; NORTH 87°51'30" WEST, 114.00 FEET; NORTH 28°34'31" WEST, 149.42 FEET; NORTH 49°48'05" WEST, 183.00 FEET; NORTH 09°21'03" WEST, 93.85 FEET; NORTH 09°20'27" WEST, 107.02 FEET, TO A POINT OF INTERSECTION WITH PARCEL "B-4" OF PINELLAS COUNTY DESCRIPTION OF LANDS ZONED "MLA/TIC LANDS", THENCE FOLLOWING LANDWARD OF PARCEL "B" (L1) CALLS ALONG SAID LINE OF PARCEL "B-4" NORTH 28°07'1" EAST, A DISTANCE OF 156.58 FEET, TO A POINT APPROXIMATE TOP OF BANK OF A LAKE, THENCE SOUTH 98°43'40" EAST ALONG SAID TOP OF BANK OF A LAKE, A DISTANCE OF 285.00 FEET; THENCE SOUTH 88°00'41" EAST, A DISTANCE OF 140.88 FEET, TO A POINT ON THE MEAN HIGH WATER LINE OF A BAY, ALSO BEING THE BOUNDARY OF SUBMERGED LANDS AND CONVEYED AS PARCEL "D", SAID LINE BEING THE LIMITS OF SUTHERLAND BAY (TICAL FLATS) AS SURVEYED JULY 25, 1974, WHICH MEAN HIGH WATER LINE BEING ELEVATION 1.31 FEET (TIC & G.S. 11/20) AS RECORDED IN SAID PARCEL "D", THENCE ALONG SAID MEAN HIGH LINE FOUR (4) CALLS SOUTH 1°01'11" EAST, 23.53 FEET; SOUTH 87°42'12" EAST, 170.39 FEET; NORTH 62°59'54" EAST, 292.76 FEET; NORTH 1°01'11" EAST, 137.56 FEET TO A POINT ON THE EAST LINE OF THE SOUTH-EAST 1/4 OF SAID SECTION, THENCE SOUTH 87°30'31" EAST, A DISTANCE OF 854.08 FEET TO THE POINT OF BEGINNING.

THE LAND BEING A REPLAT OF SEA-JOE ASSOCIATES SUBDIVISION AS RECORDED IN PLAT BOOK 1, PAGES 15-18 LYING IN THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 28 SOUTH, RANGE 15 EAST, PINELLAS COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 2, THENCE SOUTH 00°33'48" EAST, ALONG THE LINE OF THE NORTHWEST 1/4 OF SAID SECTION 2, FOR 346.07 FEET TO THE POINT OF BEGINNING; SAID POINT BEING THE SOUTHWEST CORNER OF SAID SECTION 2, THENCE SOUTH 00°33'48" EAST, ALONG SAID LINE OF WAY LINE FOR 170.54 FEET; THENCE SOUTH 89°36'57" EAST, ALONG SAID MEAN HIGH WATER LINE FOR 170.54 FEET; THENCE SOUTH 01°17' EAST, FOR 15.00 FEET TO A POINT ON THE ARC OF CURVE CONVEX TO THE NORTHEAST; THENCE ALONG SAID ARC OF CURVE HAVING A RADIUS OF 170.00 FEET, A CENTRAL ANGLE OF 89°36'57" EAST, TO A POINT ON THE ARC OF CURVE CONVEX TO THE SOUTHWEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 170.00 FEET, A CENTRAL ANGLE OF 89°36'57" EAST AND CHORD BEARING OF 159.50 FEET, SOUTH 58°41' EAST TO THE POINT OF INTERSECTION WITH THE SOUTH 00°33'48" EAST, FOR 441.75 FEET TO THE POINT OF CURVATURE OF A CURVE CONVEX TO THE WEST; THENCE SOUTHWESTERLY 137.41 FEET ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 170.00 FEET, A CENTRAL ANGLE OF 89°36'57" EAST AND CHORD BEARING OF 159.50 FEET, SOUTH 58°41' EAST TO THE POINT OF INTERSECTION WITH THE SOUTH 00°33'48" EAST, FOR 16.84 FEET; THENCE SOUTH 89°36'57" EAST, FOR 180.00 FEET SOUTH 00°33'48" EAST, FOR 25.00 FEET; THENCE SOUTH 54°37'49" WEST, FOR 79.64 FEET; THENCE SOUTH 42°22' WEST, FOR 177.75 FEET; THENCE SOUTH 12°44'33" WEST, FOR 128.34 FEET; THENCE SOUTH 1°01'11" EAST, FOR 181.85 FEET; THENCE NORTH 49°48'05" WEST, FOR 146.65 FEET; THENCE NORTH 49°48'05" WEST, FOR 128.34 FEET; THENCE NORTH 87°30'31" EAST, FOR 146.64 FEET; THENCE SOUTH 55°19'23" EAST, FOR 128.34 FEET; THENCE NORTH 64°09'02" EAST, FOR 100.00 FEET; THENCE NORTH 59°43'23" EAST, FOR 100.00 FEET; THENCE NORTH 49°48'05" EAST, FOR 85.00 FEET; THENCE NORTH 87°30'31" EAST, FOR 82.37 FEET; THENCE SOUTH 87°30'31" WEST, FOR 111.88 FEET; THENCE NORTH 07°51'41" EAST, FOR 112.89 FEET; THENCE NORTH 1°01'11" EAST, FOR 180.00 FEET; THENCE NORTH 54°37'49" WEST, FOR 182.63 FEET; THENCE NORTH 54°37'49" WEST, FOR 180.00 FEET; THENCE SOUTH 77°39'42" WEST, FOR 170.49 FEET; THENCE SOUTH 87°30'31" WEST, FOR 180.00 FEET TO THE POINT OF BEGINNING.

PLAT 02-28-16-08955-000-0000 & THE PUBLIC RIGHT-OF-WAY OF SEAVIEW DRIVE.

ALL ELEVATIONS REFER TO NAVD 88 DATUM UNLESS OTHERWISE NOTED

RIGHT 2015

RESERVED

ALL RIGHTS RESERVED

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REQUIRED TREE BARRICADES AND EROSION CONTROL. REBAR/REINFORCEMENT REQUIRED FOR CONSTRUCTION. ENCROACHMENT INTO OR FAILURE TO MAINTAIN TREE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION AS PROVIDED BY THE PINELLAS COUNTY LAND DEVELOPMENT CODE.

SEPTEMBER 2015
JOB# 618-04-01

DEMOLITION LEGEND

FOR TO DEMOLISH AND REMOVE ALL INFRASTRUCTURE IN AREA AT OWNER'S DISCRETION. BUILDING DEMOLITION ACCORDANCE WITH PINELLAS COUNTY REQUIREMENTS.

DEMOLITION NOTES:

- COORDINATE WITH UTILITY COMPANIES PRIOR TO ABOVE OR BELOW GROUND UTILITIES.
- IT WILL BE REQUIRED FOR ALL SITE WORK AS WELL AS SITE CONSTRUCTION, A LIMIT HARRICADE (STAKE AND RIBBON FOR SILY FENCE) IS OBTAIN CONSTRUCTION EQUIPMENT PRIOR TO INFRASTRUCTURE ACTIVITIES.
- UNION AREAS/SIDEWALK CONSTRUCTION AREAS THAT SURVEYED DUE TO OVERTGROWTH ARE SUBJECT LIMIT AT THE OF RIGHT-OF-WAY USE PERMIT. SHALL BE REQUIRED WITHIN 30 FEET OF ANY INSTRUCTION. NO TREES TO BE REMOVED PRIOR TO HABITAT MANAGEMENT PERMIT.
- REMOVE DUE TO EXOTIC SPECIES REMOVAL, WITHIN THE BUFFER FRINGE SHALL BE REPLANTED WITH HANGROVE SPECIES PLANTED ON 5 FT. CENTERS.
- REMOVE DUE TO EXOTIC SPECIES REMOVAL, WITHIN THE BUFFER FRINGE SHALL BE REPLANTED WITH ISLAND NATIVE SPECIES TO INCLUDE A WOODY AND HERBACEOUS MATERIAL TO BE RE-EVALUATED CONSULTANT BASED ON THE SOIL WITHIN THE DISTURBED AREA.

THE GENERAL CONTRACTOR FOR THIS PROJECT IS ADVISED TO PROVIDE A SUITABLE ON-SITE WASH DOWN AND COMPLETE DISPOSAL AREA. DISPOSAL OF CONCRETE SLURRY DIRECTLY OR INDIRECTLY INTO THE COUNTY SEWAGE TREATMENT SYSTEM OR INTO A COUNTY RIGHT-OF-WAY IS A VIOLATION OF SECTION 86-244 OF THE PINELLAS COUNTY LAND DEVELOPMENT CODE. SECTION 86-208 OF THE PINELLAS COUNTY CODE AUTHORIZES PENALTIES OF UP TO \$10,000.00 FOR EACH OFFENSE.

INDEX NOTIFICATION (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM)

ATTENTION: THE EROSION/SEDIMENTATION LOCATIONS AND DETAILS SET FORTH IN THIS SITE PLAN HAVE BEEN COVERED BY THE PROJECT ENGINEER TO MEET THE REQUIREMENTS OF THE FEDERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM. FAILURE TO MAINTAIN THESE CONTROLS, OR AN SLIGHT DISCHARGE RESULTING FROM THEIR FAILURE WILL LIKELY RESULT IN FINE CITATIONS. SEC. 58-230 OF THE PINELLAS COUNTY CODE AUTHORIZES PENALTIES OF UP TO \$10,000.00 FOR EACH OFFENSE.

EXISTING SUTHERLAND CROSSING CONDITIONS

TYPE	LATE APPROVED	LATE CONSTRUCTION	LATS TO REMAIN
MF	1-12, 14-49	1-10, 27-48	N/A
SF	80-82	80-81	*50 (TO BE REHABILITATED)

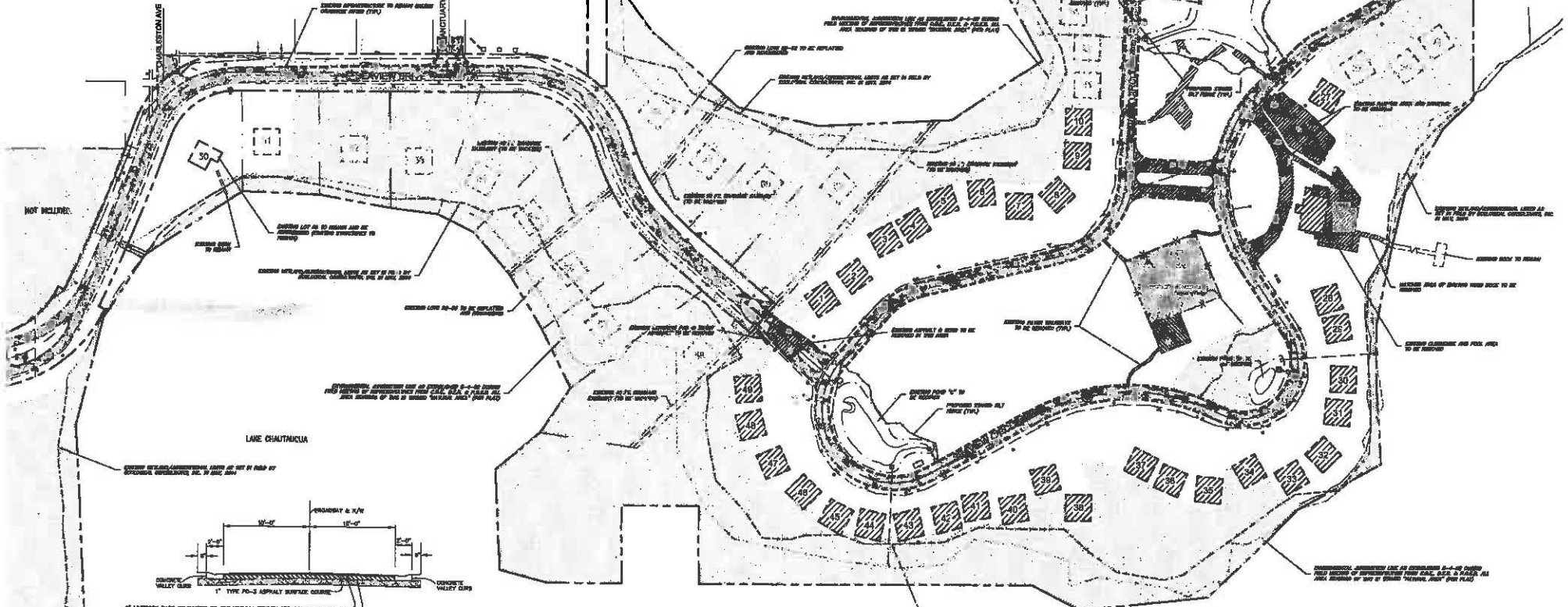
61 TOTAL APPROVED LOTS
*EXISTING STRUCTURE ON LOT 50 TO BE DEMOLISHED

LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO BE DEMOLISHED
- PREVIOUSLY APPROVED STRUCTURE (NOT CONSTRUCTED)
- OVERGROWN AREA (***NO CURRENT SURVEY)

PROPERTY SHOWN IN OVERGROWN AREAS ON THESE PLANS ARE NOT GUARANTEED TO BE ACCURATE AND SHOULD BE RE-CHECKED BY THE OWNER AND ARCHITECT PRIOR TO ANY CONSTRUCTION. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THIS INFORMATION AND SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY CAUSED BY THIS INFORMATION.

62 - CIVIL CODE BOOKS 02-2014 (REPORT 021302)

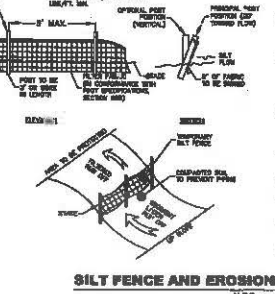
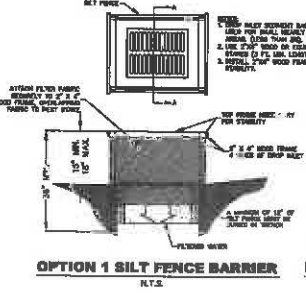


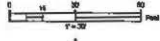
PREVIOUSLY APPROVED SEWAGE CIRCLE ROAD SECTION



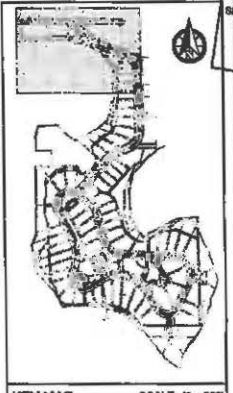
STORMWATER POLLUTION PREVENTION NOTES

- The contractor shall at a minimum implement the stormwater pollution prevention measures as shown in this plan set. These measures may include, but not be limited to, the construction of sedimentation basins, erosion control, the berms, and all forms.
- In addition to the measures shown by this plan set, the contractor shall take all necessary and practical measures in order to reduce erosion and sedimentation to both on-site and off-site sensitive waters, lakes, and waterways. These measures may include, but not be limited to, grading of stormwater basins, seeding, hydro mulching, silt fencing, stabilization of slopes with seeding or mulching/strawbale, site erosion/sediment control distribution with grass, temporary woodyard, berms and berms.
- In addition to the measures shown in this plan set, the contractor shall take all necessary and practical measures in order to reduce erosion and sedimentation of structures. These measures may include, but not be limited to, site grading and additional site erosion/sediment control.
- The contractor shall at a minimum implement the above referenced measures at least once a week or within 48 hours after 0.25 inches of rainfall. An report shall be placed to Lorion, Brown & Ames, Inc. after construction completion.
- The work of implementing the above measures are to be at the builder's expense.
- All materials and necessary effort shall be taken during construction to avoid and prevent erosion and transport of sediment to surface waters and to lakes and sites to sensitive sites/streams.
- ERM forms to be installed around all areas of proposed home/lot construction. (DMR form No. 128 Type 9)
- The soil and sediment control details shall be installed prior to construction, maintained throughout construction, and until the site is permanently stabilized.

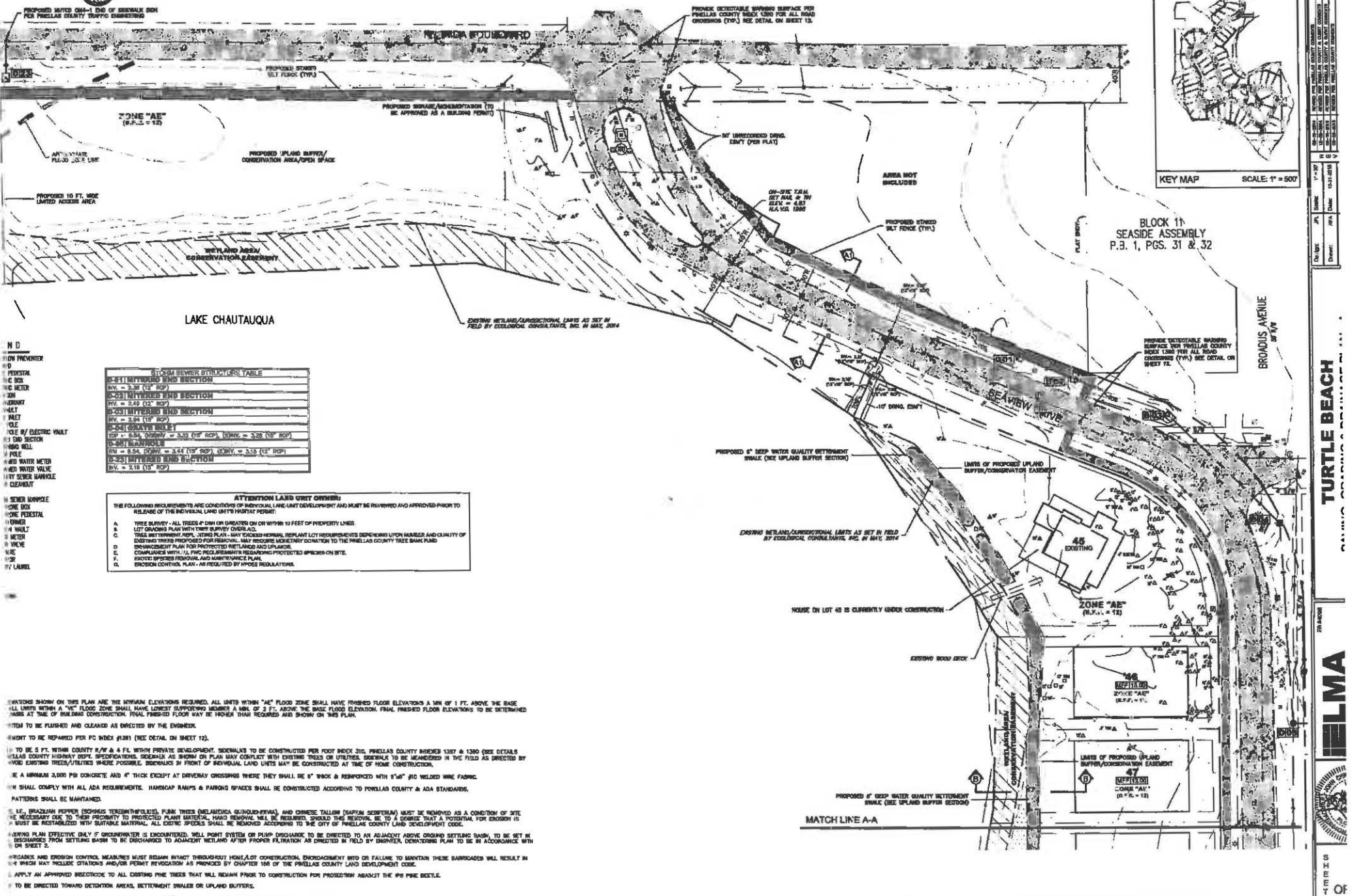




PROPOSED UPLAND BUFFER/CONSERVATION EASEMENT
 PROPOSED WETLAND AREA/CONSERVATION EASEMENT



KEY MAP SCALE: 1" = 500'



BLOCK 11
 SEASIDE ASSEMBLY
 P.3. 1, PGS. 31 & 32

BROADWAY AVENUE
 50' WIDE

TURTLE BEACH

ELMA

ITEM	DESCRIPTION
1	3" DIA. RIBBED CONCRETE PIPE
2	4" DIA. RIBBED CONCRETE PIPE
3	6" DIA. RIBBED CONCRETE PIPE
4	8" DIA. RIBBED CONCRETE PIPE
5	12" DIA. RIBBED CONCRETE PIPE
6	18" DIA. RIBBED CONCRETE PIPE
7	24" DIA. RIBBED CONCRETE PIPE
8	30" DIA. RIBBED CONCRETE PIPE
9	36" DIA. RIBBED CONCRETE PIPE
10	42" DIA. RIBBED CONCRETE PIPE
11	48" DIA. RIBBED CONCRETE PIPE
12	54" DIA. RIBBED CONCRETE PIPE
13	60" DIA. RIBBED CONCRETE PIPE
14	66" DIA. RIBBED CONCRETE PIPE
15	72" DIA. RIBBED CONCRETE PIPE
16	78" DIA. RIBBED CONCRETE PIPE
17	84" DIA. RIBBED CONCRETE PIPE
18	90" DIA. RIBBED CONCRETE PIPE
19	96" DIA. RIBBED CONCRETE PIPE
20	102" DIA. RIBBED CONCRETE PIPE

ATTENTION LAND UNIT OWNER:
 THE FOLLOWING REQUIREMENTS ARE CONDITIONS OF INDIVIDUAL LAND-UNIT DEVELOPMENT AND MUST BE REVIEWED AND APPROVED PRIOR TO RELEASE OF THIS INDIVIDUAL LAND UNIT TO HORVAT PERMIT:

- THREE SURVEY - ALL TREES 4" DBH OR GREATER ON OR WITHIN 10 FEET OF PROPERTY LINES.
- LOT DRAINING PLAN WITH TREE SURVEY OVERLAYS.
- TREE RETENTION, REPLACEMENT PLAN - MAY EXCEED ORIGINAL REPLANT LOT REQUIREMENTS DEPENDENT UPON NUMBER AND QUALITY OF EXISTING TREES. PROPOSED REPLANTMENT MAY REQUIRE MAINTENANCE COORDINATION TO THE PHOENIX COUNTY TREE BANK PLAN.
- ENHANCEMENT PLAN FOR PROTECTED WETLANDS AND UPLANDS.
- COMPLIANCE WITH ALL PHOENIX COUNTY REGULATIONS REGARDING PROTECTED SPECIES ON SITE.
- EXOTIC SPECIES REMOVAL AND MAINTENANCE PLAN.
- EROSION CONTROL PLAN - AS REQUIRED BY PHOENIX REGULATIONS.

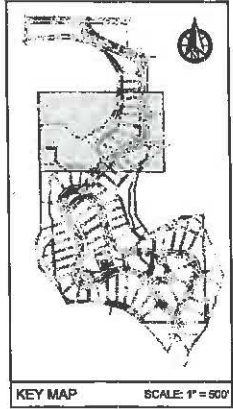
- ELEVATIONS SHOWN ON THIS PLAN ARE THE MINIMUM ELEVATIONS REQUIRED. ALL UNITS WITHIN "AE" FLOOD ZONE SHALL HAVE FINISHED FLOOR ELEVATIONS A MIN OF 1 FT. ABOVE THE BASE FLOOD ELEVATION. ALL UNITS WITHIN A "V2" FLOOD ZONE SHALL HAVE LOWEST SUPPORTING MEMBER A MIN OF 3 FT. ABOVE THE BASE FLOOD ELEVATION. FINAL FINISHED FLOOR ELEVATIONS TO BE DETERMINED AT TIME OF BUILDING CONSTRUCTION. FINAL FINISHED FLOOR MAY BE HIGHER THAN REQUIRED AND SHOWN ON THIS PLAN.
- ITEM TO BE FINISHED AND CLEANED AS DIRECTED BY THE ENGINEER.
- ITEM TO BE REPAIRED PER PD INDEX (#128) (SEE DETAIL ON SHEET 12).
- TO BE 5 FT. WITHIN COUNTY R/W & 4 FT. WITHIN PRIVATE DEVELOPMENT. SIDEWALKS TO BE CONSTRUCTED PER FOOT INDEX 310, PHOENIX COUNTY INDEXES 1357 & 1390 (SEE DETAILS). PHOENIX COUNTY HIGHWAY DEPT. SPECIFICATIONS. SIDEWALK AS SHOWN ON PLAN MAY COMPLY WITH EXISTING TREES OR UTILITIES. SIDEWALK TO BE RECONSTRUCTED IN THE FIELD AS DIRECTED BY ENGINEER. EXISTING TREES/UTILITIES WHERE POSSIBLE. SIDEWALKS IN FRONT OF INDIVIDUAL LAND UNITS MAY BE CONSTRUCTED AT TIME OF HOME CONSTRUCTION.
- BE A MINIMUM 3,000 PSI CONCRETE AND 4" THICK EXCEPT AT DRIVEWAY CROSSINGS WHERE THEY SHALL BE 6" THICK & REINFORCED WITH #4 @ 12" O.C. WELDED WIRE FABRIC.
- SHALL COMPLY WITH ALL ADA REQUIREMENTS. HANDICAP RAMPS & PARKING SPACES SHALL BE CONSTRUCTED ACCORDING TO PHOENIX COUNTY & ADA STANDARDS. PATTERNS SHALL BE MAINTAINED.
- I.E., BRAZILIAN PEPPER (SCHMIDTIA TERRESTRIS), FLORIDA PALM (BETHEA FLORIDA), AND CHINESE TALLOW (BAPTIAN SENSIENSIS) MUST BE REMOVED AS A CONDITION OF SITE. THE NEARBY TREE TO PROTECTED PLANT MATERIAL. HAND REMOVAL WILL BE REQUIRED. SHOULD THIS REMOVAL BE TO A DEGREE THAT A POTENTIAL FOR EROSION IS IDENTIFIED, IT MUST BE RESTORED WITH SURFACE MATERIAL. ALL EXISTING SPECIES SHALL BE REMOVED ACCORDING TO THE CITY OF PHOENIX COUNTY LAND DEVELOPMENT CODE.
- DRAINAGE PLAN EFFECTIVE ONLY IF OVERWATER IS ENCOUNTERED. WELL POINT SYSTEM OR PUMP DISCHARGE TO BE DIRECTED TO AN ADJACENT ABOVE GRASSING SETTLING BASIN. TO BE SET IN DISCHARGE FROM SETTLING BASIN TO BE DISCHARGED TO ADJACENT WETLAND AFTER PROPER FILTRATION AS DIRECTED IN FIELD BY ENGINEER. CONSTRUCTION PLAN TO BE IN ACCORDANCE WITH SHEET 2.
- EROSION AND EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT HOME/LOT CONSTRUCTION. ENCROACHMENT INTO OR FAILURE TO MAINTAIN THESE BARRIERS WILL RESULT IN THE HOMEOWNER BEING RESPONSIBLE FOR CORRECTIVE MEASURES AS PROVIDED BY CHAPTER 180 OF THE PHOENIX COUNTY LAND DEVELOPMENT CODE.
- APPLY AN APPROVED HERBICIDE TO ALL EXISTING PINE TREES THAT WILL REMAIN PRIOR TO CONSTRUCTION FOR PROTECTION AGAINST THE #6 PINE BEETLE.
- TO BE DIRECTED TOWARD DETENTION AREAS, RETENTION BASINS OR UPLAND BUFFERS.

MATCH LINE A-A

UNPLATTED

PROPOSED SITE PLAN APPROVAL
SEP 30 2015

- LEGEND**
- BACULON PREVENTER
 - BOLLARD
 - CABLE POSTAL
 - ELECTRIC BOX
 - ELECTRIC METER
 - ELEVATION
 - FIRE HYDRANT
 - GAS VALVE
 - GATE VALVE
 - LIGHT POLE
 - LIGHT POLE W/ ELECTRIC VALVE
 - METERED END SECTION
 - METERING WELL
 - POWER POLE
 - RECLAIMED WATER METER
 - RECLAIMED WATER VALVE
 - SANITARY SEWER MANHOLE
 - SEWER CLEANOUT
 - SIGN
 - STORM SEWER MANHOLE
 - TELEPHONE BOX
 - TELEPHONE FOSTER
 - TRAPDOOR
 - VERDICH VALVE
 - WATER METER
 - WATER VALVE
 - GUY WIRE
 - CASPIOR
 - CHERRY LAUREL
 - CUM
 - PALM
 - PINE
 - UNKNOWN



- LEGEND**
- PROPOSED UPLAND BUFFER/CONSERVATION EASEMENT
 - PROPOSED WETLAND AREA/CONSERVATION EASEMENT

ATTENTION! LAND UNIT OWNERS:
THE FOLLOWING REQUIREMENTS ARE CONDITIONS OF NECESSARY LAND UNIT DEVELOPMENT AND MUST BE REVIEWED AND APPROVED PRIOR TO RELEASE OF THE INDIVIDUAL LAND UNIT'S HABITAT PERMIT:

- TRIM SURVEY - ALL TREES 4" DIA OR GREATER ON OR WITHIN 10 FEET OF PROPERTY LINES.
- LIST REMOVED PLANT WITH TRIM SURVEY OVERLAP.
- TRIM SETTLEMENT REPLANTING PLAN - MAY EXCEED NORMAL REPLANT LOT REQUIREMENTS DEPENDING UPON NUMBER AND QUALITY OF EXISTING TREES PROPOSED FOR REMOVAL. MAY REQUIRE MONETARY DONATION TO THE PHILLIPS COUNTY TRIM BANK FUND.
- DRAINAGE PLAN FOR PROTECTED WETLANDS AND UPLANDS.
- COMPLIANCE WITH ALL FWC REQUIREMENTS REGARDING PROTECTED SPECIES ON SITE.
- EXOTIC SPECIES REMOVAL AND MAINTENANCE PLAN.
- SPRINKLER CONTROL PLAN - AS REQUIRED BY TROPS REGULATIONS.

PROPOSED 4" DEEP WATER QUALITY RETENTION SWALE (SEE UPLAND BUFFER SECTION)

LAKE CHAUTAUQUA

EXISTING WETLAND/AGRICULTURAL LIMITS AS SET BY FIELD BY ECOLOGICAL CONSULTANTS, INC. IN MAY, 2014

WETLAND AREA CONSERVATION EASEMENT

LIMITS OF PROPOSED UPLAND BUFFER/CONSERVATION EASEMENT

TRUCK "A" CONCRETE AREA

WETLAND AREA CONSERVATION EASEMENT

PROPOSED 4" DEEP WATER QUALITY RETENTION SWALE (SEE UPLAND BUFFER SECTION)

UPLAND BUFFER/CONSERVATION EASEMENT

PROPOSED 18 FT. DRAINAGE EASEMENT

NEW YORK AVENUE 30' R/W

UNPLATTED

SANCTUARY DRIVE 30' R/W

UNPLATTED

48
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)

49
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)

50
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)

51
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)

52
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)

53
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)
18 FT. PROPOSED EASEMENT

54
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)

55
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)

41
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)

40
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)

39
REPT(15.00)
ZONE "AE"
(R.F.S. = 12)

PROPOSED 4" DEEP WATER QUALITY RETENTION SWALE (SEE UPLAND BUFFER SECTION)

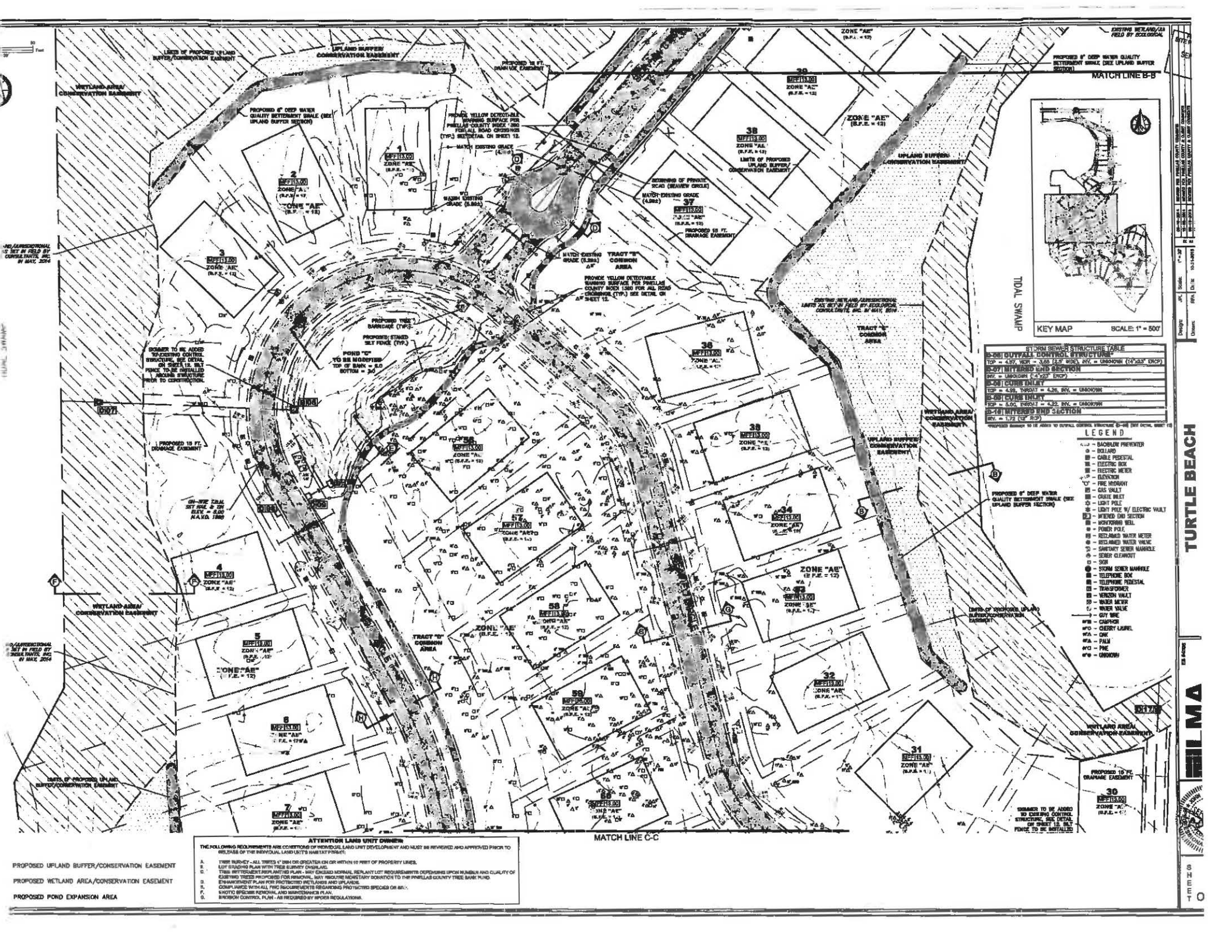
MATCH LINE B-B

TURTI F REACH

P.B. NO. 1, PG. 10

153 ANNO

1" = 10' 10'



8" RIM SEWER STRUCTURE TABLE

30-001 OUTFALL CONDUIT 18" DIAMETER	TOP = 437.785' VERT. - 3.05' (2.5' MIN. DYC. = UNDRUNG (14" DIA) ENCP)
30-071 FILTERED SAND SECTION	INT. = UNDRUNG (2" DIA) ENCP)
30-081 COVER TUBULE	TOP = 438.780' VERT. = 4.25' MIN. DYC. = UNDRUNG
30-082 COVER TUBULE	TOP = 438.780' VERT. = 4.25' MIN. DYC. = UNDRUNG
30-101 FILTERED SAND SECTION	INT. = 1.72' (2" DIA)

PROPOSED EASEMENT TO BE ADDED TO SUPPLY CONTROL STRUCTURE 30-081 (SEE ACTUAL SHEET 30)

- LEGEND**
- BAGLON PREVENTER
 - BOLLARD
 - CABLE PEDESTAL
 - ELECTRIC BOX
 - ELECTRIC METER
 - ELEVATOR
 - FIRE HYDRANT
 - GAS VALVE
 - COATE BREEZ
 - LIGHT POLE
 - LIGHT POLE W/ ELECTRIC VAULT
 - MENDED DRP SECTION
 - MOTORING WELL
 - POWER POLE
 - RE-ARMED WATER METER
 - RE-ARMED WATER VALVE
 - SUMPY SEWER MANHOLE
 - SEWER CLEANOUT
 - SIGN
 - STORM SEWER MANHOLE
 - TELEPHONE BOX
 - TELEPHONE PEDESTAL
 - TRANSFORMER
 - WETLAND WALAT
 - WATER METER
 - WATER VALVE
 - CITY WIRE
 - CAPTION
 - CERRY LABEL
 - FIRM
 - PNE
 - UNKNOWN

ATTENTION LAND UNIT OWNERS

THE FOLLOWING REQUIREMENTS ARE CONDITIONS OF HERETOFORE Laid UNIT DEVELOPMENT AND MUST BE REVIEWED AND APPROVED PRIOR TO RELEASE OF THE INDIVIDUAL LAND UNITS HABITAT PERMIT.

- A. TREE SURVEY - ALL TREES 4" DBH OR GREATER OR WITHIN 10 FEET OF PROPERTY LINES.
- B. LOT GRADING PLAN WITH TREE SURVIVAL CHANGES.
- C. TREE RETENTION/REPLANTING PLAN - MAY CONSIDER NORMAL REPLANT LET REQUIREMENTS DEPENDING UPON NUMBER AND QUALITY OF EXISTING TREES PROPOSED FOR REMOVAL. MAY INCLUDE NECESSARY DONATION TO THE PINELLAS COUNTY TREE BANK FUND.
- D. ENHANCEMENT PLAN FOR PROTECTED WETLANDS AND UPLANDS.
- E. COMP LAMPS WITH ALL PHOTO REQUIREMENTS REGARDING PROTECTED SPECIES OR ANI.
- F. SHOTTO SPECIES REMOVAL AND MAINTENANCE PLAN.
- G. BIRDSON CONTROL PLAN - AS REQUIRED BY WPCR REGULATIONS.

NO REPRESENTATIONAL SET IN FIELD BY CONSULTANTS, INC. IN MAY, 2014

NO REPRESENTATIONAL SET IN FIELD BY CONSULTANTS, INC. IN MAY, 2014

SHEET 0
 TURTLE BEACH
 SCALE: 1" = 500'
 DATE: 11/11/14
 DRAWN: [Name]
 CHECKED: [Name]
 PROJECT: [Name]
 CLIENT: [Name]

- END
- 1 FLOW PREVENTER
 - 2 AND
 - 3 FC PEDESTAL
 - 4 FPC BOX
 - 5 FPC METER
 - 6 WATER
 - 7 HYDRANT
 - 8 VALVE
 - 9 W/ MILET
 - 10 W/ POLE
 - 11 W/ POLE W/ ELECTRIC W/ALT
 - 12 RED AND SECTION
 - 13 METRIC WELL
 - 14 W/ PILE
 - 15 METER WATER METER
 - 16 METER WATER VALVE
 - 17 HEAVY SENDER MANHOLE
 - 18 W/ CLEANOUT
 - 19 W/ SENDER MANHOLE
 - 20 PHONE BOX
 - 21 PHONE PEDESTAL
 - 22 SENDER
 - 23 W/ VALVE
 - 24 W/ METER
 - 25 W/ VALVE
 - 26 W/ W/
 - 27 W/ P/ION
 - 28 W/RY LABEL
 - 29
 - 30
 - 31
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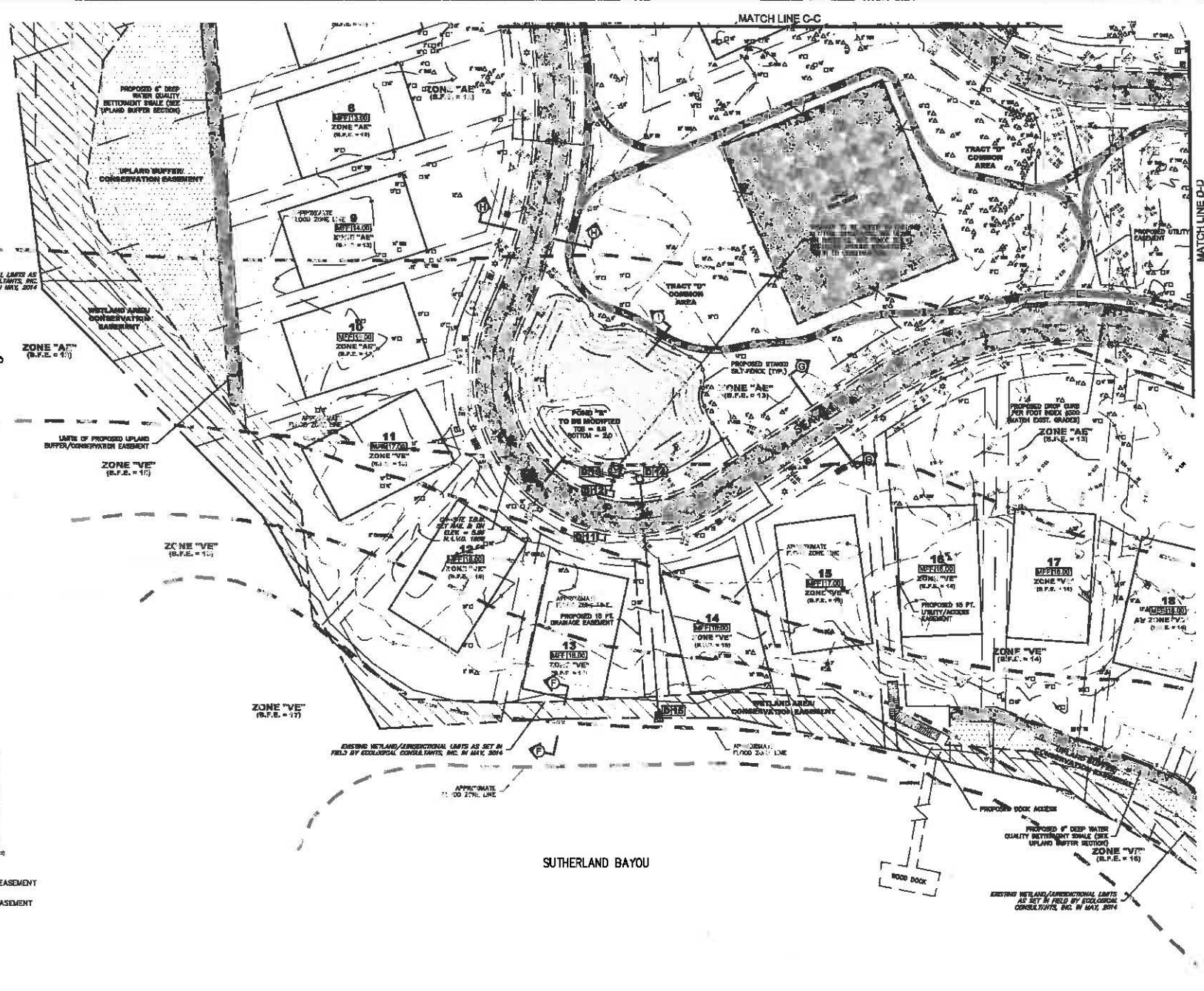


MAP SCALE: 1" = 500'

STORM DRAINER STRUCTURE TABLE	
1	12" DIA. 12' LONG
2	12" DIA. 12' LONG
3	12" DIA. 12' LONG
4	12" DIA. 12' LONG
5	12" DIA. 12' LONG
6	12" DIA. 12' LONG
7	12" DIA. 12' LONG
8	12" DIA. 12' LONG
9	12" DIA. 12' LONG
10	12" DIA. 12' LONG
11	12" DIA. 12' LONG
12	12" DIA. 12' LONG
13	12" DIA. 12' LONG
14	12" DIA. 12' LONG
15	12" DIA. 12' LONG
16	12" DIA. 12' LONG
17	12" DIA. 12' LONG
18	12" DIA. 12' LONG
19	12" DIA. 12' LONG
20	12" DIA. 12' LONG
21	12" DIA. 12' LONG
22	12" DIA. 12' LONG
23	12" DIA. 12' LONG
24	12" DIA. 12' LONG
25	12" DIA. 12' LONG
26	12" DIA. 12' LONG
27	12" DIA. 12' LONG
28	12" DIA. 12' LONG
29	12" DIA. 12' LONG
30	12" DIA. 12' LONG

- PROPOSED UPLAND BUFFER/CONSERVATION EASEMENT
- PROPOSED WETLAND AREA/CONSERVATION EASEMENT
- PROPOSED POND EXPANSION AREA

ATTENTION LAND UNIT OWNERS:
 REQUIREMENTS ARE CONDITIONS OF INDIVIDUAL LAND UNIT DEVELOPMENT AND MUST BE REVIEWED AND APPROVED PRIOR TO OR BY THE INDIVIDUAL LAND UNIT MARKET PERMIT.
 1. EASEMENT - ALL TREES 4" DBH OR GREATER ON OR WITHIN 10 FEET OF PROPERTY LINE.
 2. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 3. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 4. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 5. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 6. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 7. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 8. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 9. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 10. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 11. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 12. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 13. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 14. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 15. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 16. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 17. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 18. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 19. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 20. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 21. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 22. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 23. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 24. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 25. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 26. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 27. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 28. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 29. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.
 30. EASEMENT - ALL TREES WITH TREE SURVEY OVERLAP.



MATCH LINE C-C

MATCH LINE D-D

TIDTLE REACH

20' BANK

20' BANK

20' BANK

LEGEND

-  - PROPOSED UPLAND BUFFER/CONSERVATION EASEMENT
-  - PROPOSED WETLAND AREA/CONSERVATION EASEMENT
-  - PROPOSED POND EXPANSION AREA

SCALE: 1" = 50'



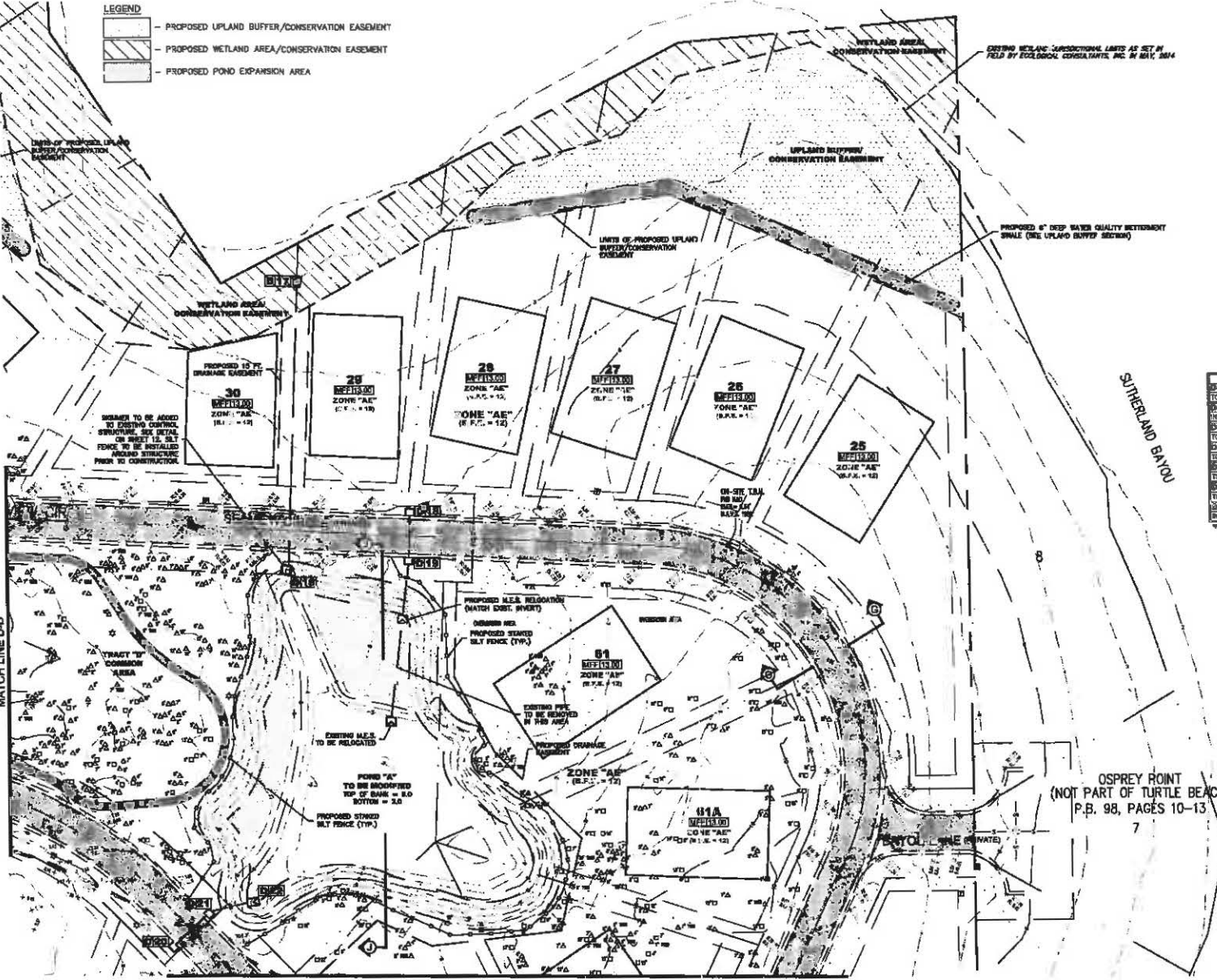
LEGEND

-  - MANHOLE PREVENTER
-  - ISLAND
-  - CABLE PEDESTAL
-  - ELECTRIC BOX
-  - ELECTRIC METER
-  - ELEVATION
-  - FIRE HYDRANT
-  - GAS VALVE
-  - GRAPE INLET
-  - LIGHT POLE
-  - LIGHT POLE W/ ELECTRIC WALK
-  - MANHOLE END SECTION
-  - MONITORING WELL
-  - POWER POLE
-  - RECLAIMED WATER METER
-  - RECLAIMED WATER VALVE
-  - SANITARY SEWER MANHOLE
-  - SEWER CLEANOUT
-  - SIGN
-  - STORM SEWER MANHOLE
-  - TELEPHONE BOX
-  - TELEPHONE PEDESTAL
-  - TRANSFORMER
-  - WETZON VALVE
-  - WATER METER
-  - WATER VALVE
-  - WY MAIN
-  - CURBSTONE
-  - CHERRY LABEL
-  - ORC
-  - PALM
-  - PINE
-  - UNKNOW



STORM SEWER STRUCTURE TABLE	
6-24	MANHOLE CONTROL STRUCTURE
TOP = 8.87, BOTT = 4.81, INV. = UNKNOW (1" C/S) (RIP)	
6-27	MANHOLE END SECTION
TOP = UNKNOW (1" C/S) (RIP)	
6-28	CURB WALK
TOP = 8.80, THROAT = 5.97, INV. = UNKNOW	
6-29	CURB WALK
TOP = 8.81, THROAT = 5.04, INV. = UNKNOW	
6-30	CURB WALK
TOP = 7.19, THROAT = 6.34, INV. = UNKNOW	
6-31	CURB WALK
TOP = 6.52, THROAT = 6.10, INV. = UNKNOW	
6-32	MANHOLE END SECTION
TOP = 1.07 (1" C/S)	

STRUCTURE SHALL BE AS SHOWN TO CURB CONTROL STRUCTURE (6-24) (SEE DETAIL SHEET 10)



MATCH LINE D-D

MATCH LINE E-E

OSPREY POINT
(NOT PART OF TURTLE BEACH)
P.B. 98, PAGES 10-13

7

ATTENTION LAND UNIT OWNERS:
 REQUIREMENTS ARE CONDITIONS OF INDIVIDUAL LAND UNIT DEVELOPMENT AND MUST BE REVIEWED AND APPROVED PRIOR TO ANY DEVELOPMENT PERMIT.
 1. ALL TREES 4" DBH OR GREATER ON WITHIN 10 FEET OF PROPERTY LINES.
 2. ALL TREES 4" DBH OR GREATER ON WITHIN 10 FEET OF PROPERTY LINES.
 3. REMOVAL/REPLANTING PLAN - MAY EXCEED NORMAL REPLANT LOG REQUIREMENTS CONCERNING UPLANDS AND QUALITY OF WATERS. PROPOSED FOR REMOVAL, MAY REQUIRE SECTORARY CONSENT TO THE FLELLING COUNTY TREE BANK PLAN.
 4. NIGHT PLAN FOR PROTECTED WETLANDS AND UPLANDS.
 5. USE WITH ALL POND REQUIREMENTS INCLUDING PROTECTED SPECIES ON SITE.
 6. POND REMOVAL AND MAINTENANCE PLAN.
 7. CONTROL PLAN - AS REQUIRED BY WQFS REGULATIONS.

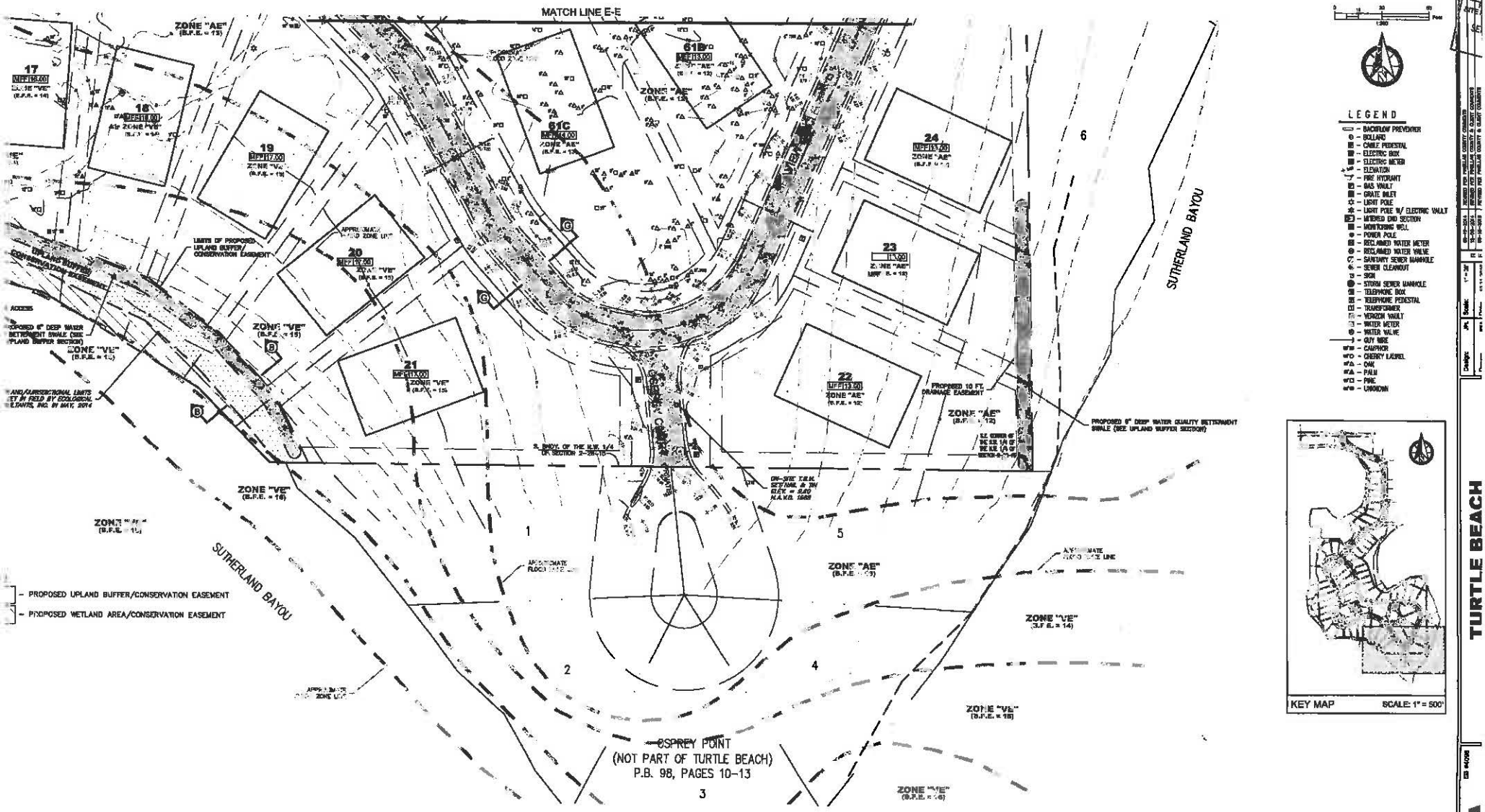
TURTLE BEACH

DP 4000

AAA

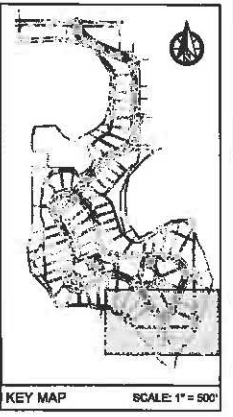


SHEET



LEGEND

- BACKFLOW PREVENTER
- BOLLARD
- CHUTE PEDestal
- ELECTRIC BOX
- ELECTRIC METER
- ELEVATION
- FIRE HYDRANT
- GAS VALVE
- GRATE INLET
- LIGHT POLE
- LIGHT POLE W/ ELECTRIC VALVE
- MIXED END SECTION
- MONITORING WELL
- POWER POLE
- RECLAIMED WATER METER
- RECLAIMED WATER VALVE
- SANITARY SEWER MANHOLE
- SEWER CLEANOUT
- SIGN
- STORM SEWER MANHOLE
- TELEPHONE BOX
- TELEPHONE PEDestal
- TRANSFORMER
- WEDGON VALVE
- WATER METER
- WATER VALVE
- GUY WIRE
- CHERRY LABEL
- OAK
- PALM
- PINE
- UNKNOWN



- PROPOSED UPLAND BUFFER/CONSERVATION EASEMENT
 - PROPOSED WETLAND AREA/CONSERVATION EASEMENT

ATTENTION LAND UNITY OWNERS:
 SUBMITTALS ARE CONDITIONS OF INDIVIDUAL LAND UNITY DEVELOPMENT AND MUST BE REVIEWED AND APPROVED PRIOR TO THE INDIVIDUAL LAND UNITY DEVELOPMENT (HISTORIC POINT).
 CITY - ALL TREES 4" DBH OR GREATER OR WITHIN 10 FEET OF PROPERTY LINES.
 AND PLAN INTO TREE SURVEY OVERLAP.
 INVENTORY/REPORTING PLAN - MAY BE USED FOR NECESSARY PERMITS DEFENDING FROM NUMBER AND QUALITY OF TREES PROPOSED FOR REMOVAL. MAY REQUIRE ANNUAL DONATION TO THE PINELLAS COUNTY TREE BANK FUND.
 MAY PLAN FOR PROTECTED WETLANDS AND UPLANDS.
 WITH ALL PING REQUIREMENTS REGARDING PROTECTED SPECIES ON SITE.
 TREE REMOVAL AND MAINTENANCE PLAN.
 CONTROL PLAN - AS REQUIRED BY WPC REGULATIONS.

TURTLE BEACH

SHEET

ON TECHNICAL SPECIFICATIONS

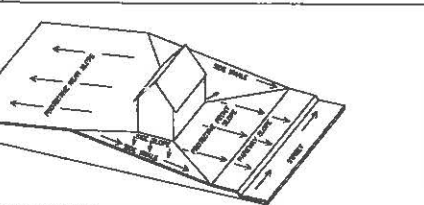
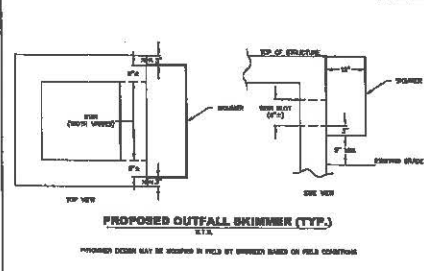
1. The contractor shall submit to the Florida County Seal Department...
2. The contractor shall submit to the Florida County Seal Department...
3. The contractor shall submit to the Florida County Seal Department...

ON NOTES

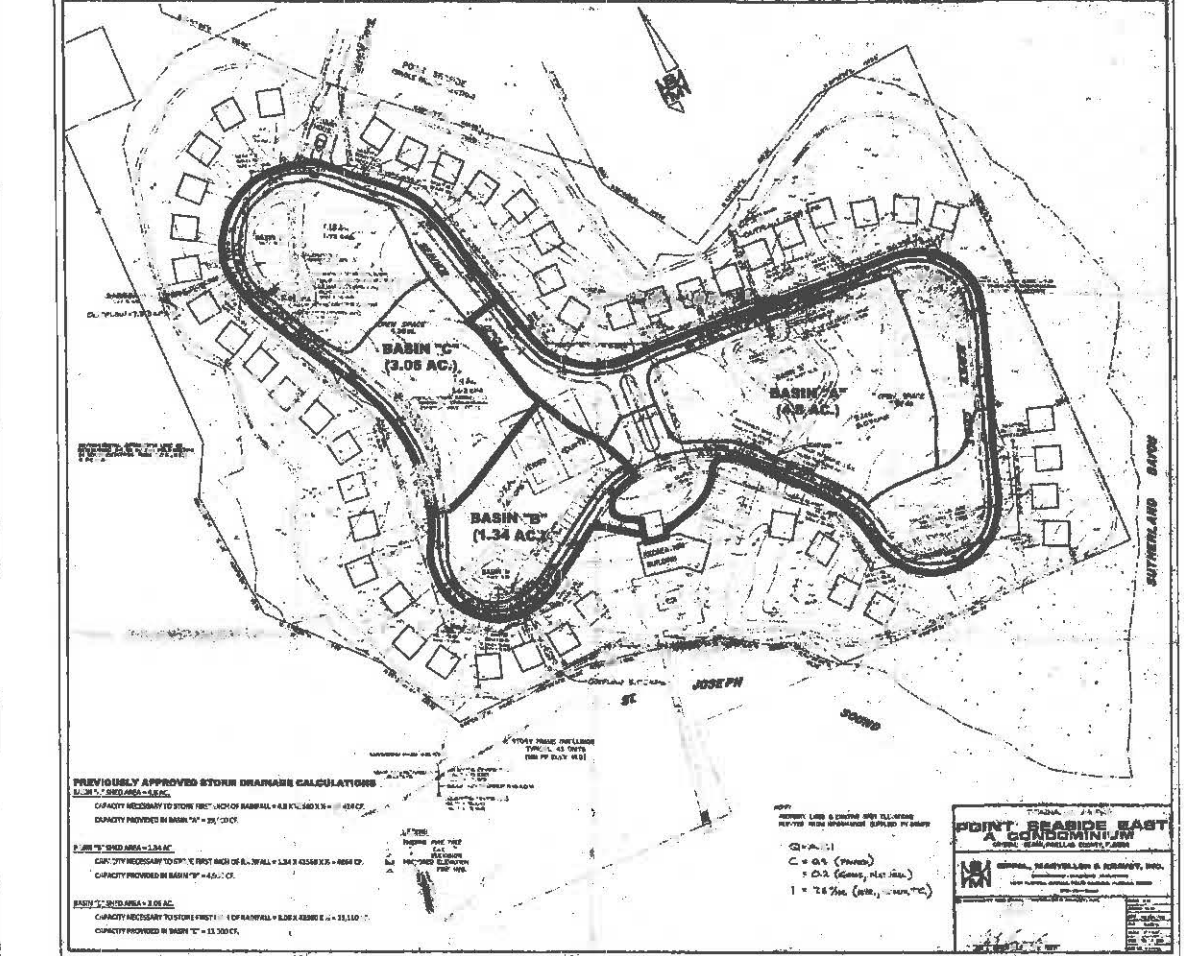
- 1. The contractor shall submit to the Florida County Seal Department...
2. The contractor shall submit to the Florida County Seal Department...
3. The contractor shall submit to the Florida County Seal Department...

BEAVIEW DRIVE PUBLIC R/W CONSTRUCTION NOTES

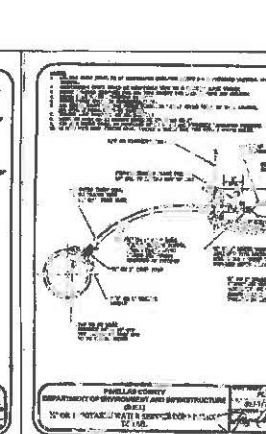
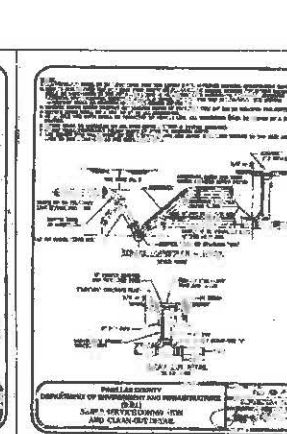
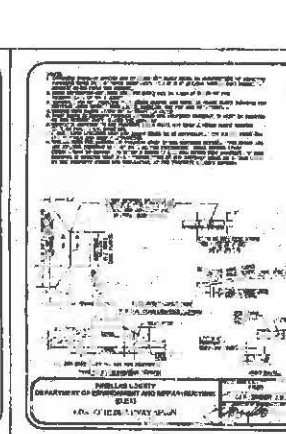
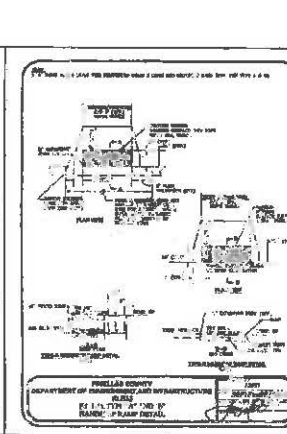
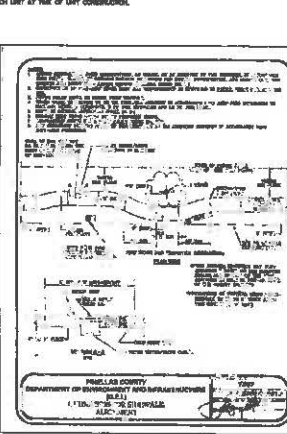
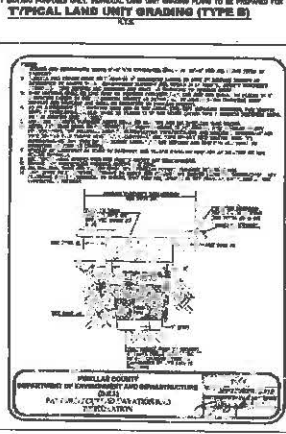
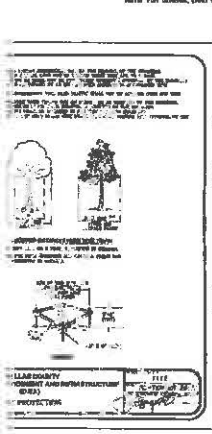
- 1. All utility lines shall be located and marked...
2. All utility lines shall be located and marked...
3. All utility lines shall be located and marked...



PREVIOUSLY APPROVED DRAINAGE BASIN MAP (SCALE 1" = 100')



NOTE: EXISTING PONDS HAVE BEEN EXPANDED TO MEET/EXCEED THE WATER QUALITY VOLUME OVER ENTIRE SITE.



Vertical text on the right margin containing project information, dates, and signatures.

