

EXHIBIT I

**GMP AMENDMENT TO AGREEMENT BETWEEN
OWNER AND CONSTRUCTION MANAGER AT RISK**

**AMENDMENT NO. 1 TO AGREEMENT BETWEEN OWNER
AND CONSTRUCTION MANAGER AT RISK FOR CONSTRUCTION MANAGER AT RISK FOR JAIL
SECURITY AND ENTRY CENTER
AGREEMENT NO. 21-0704-NC**

Pursuant to Sections 2.2, 6.1, and 6.2 of the Agreement, dated March 8, 2022, between The County Commissioners of Pinellas County, Florida (“Owner”) and Creative Contractors, Inc. (“Construction Manager at Risk”), with respect to the construction of the Owner’s Construction Manager at Risk for Jail Security and Entry Center (“Project”), the Owner and Construction Manager at Risk hereby agree to amend and modify the Agreement by this Amendment and establish a Guaranteed Maximum Price and Contract Time for all the Work as set forth below:

ARTICLE 1

SCOPE OF WORK

The scope of the Work consists of the construction of a Jail Security and Entry Center,

In accordance with the Agreement, this Amendment and the other Contract Documents listed as attachments 1 through 7 below, which are hereby incorporated into and made a part of the Amendment by this reference:

<u>Attachment No.</u>	<u>Description</u>	<u>Pages</u>	<u>Date</u>
1.	List of Drawings & Specifications	61 through 74	7/1/2024
2.	Allowances	24 through 25	7/1/2024
3.	Clarifications & Exclusions	47 through 61	7/1/2024
4.	Completion Schedule	34 through 41	7/1/2024
5.	Schedule of Values	6 through 9	7/1/2024
6.	List of Itemized General Conditions	20 through 23	7/1/2024
7.	List of Subcontractors & Major Suppliers	SEC Bidder List	7/1/2024

ARTICLE 2

GUARANTEED MAXIMUM PRICE

Construction Manager at Risk Guaranteed Maximum Price (GMP) for the Work, including the estimated

2.1

Cost of the Work as defined in Section 5 of the Agreement and Construction Manager at Risk Fee as defined in Section 4 of the Agreement, is Twenty-three million three hundred ten thousand eight hundred sixty-three dollars (**\$23,310,863.00**).

2.2 The GMP includes material that may be purchased directly by the Owner ("Owner Direct Purchases").

The estimated value of materials that may be purchased directly by the Owner is Two million five hundred thousand dollars (**\$2,500,000.00**). Construction Manager at Risk will include in the total amount of GMP under this Agreement for the entire estimated amount of Owner Direct Purchases, inclusive of sales taxes. Prior to final payment, a final reconciliation of the Owner Direct Purchases against the GMP will be performed and such reconciliation will be prepared for the Owner's review and approval.

2.3 The Construction Manager at Risk Fee (**5.5%**) for the entire Work anticipated on this Project is hereby established as a lump sum amount of One million one hundred fifty-nine thousand nine hundred twenty-seven dollars (**\$1,159,927.00**), said lump sum amount is included within the above noted GMP.

2.4 The General conditions expenses for the entire Work anticipated on this Project are hereby established as a lump sum amount of One million nine hundred and two thousand fifty-six dollars (**\$1,902,056.00**), said lump sum amount is included within the above noted GMP. The items included as General Conditions expenses are listed in the List of Itemized General Conditions attached hereto and incorporated herein as Attachment No. 6. Except as said lump sum amount for General Conditions expenses may be expressly adjusted by Change Order or Construction Change Directive, Construction Manager at Risk acknowledges and agrees that Owner shall have no liability for any General Conditions expenses beyond payment of the above noted lump sum amount and Construction Manager at Risk agrees that it shall not be entitled to receive any additional compensation from Owner for the General Conditions beyond the above lump sum amount.

2.5 Monthly installment payment of the Construction Manager at Risk Fee shall be based upon the percent completion of the designated portion of the Work for each particular month. General Conditions are Lump Sum and shall be prorated and billed per month. Total GC's divided per months of construction and billed the same each month.

2.6 In order to efficiently and timely address any unknown or unanticipated conditions that are within the scope

of the required Work and are otherwise reimbursable without duplication as a Cost of the Work, but excluding all items that are to be reimbursed under the lump sum General conditions expense amount noted in paragraph 2.4 above, the parties have agreed to establish an Owner's contingency within the GMP in an amount not-to-exceed amount Eight hundred ninety-four thousand seven hundred eighteen dollars (**\$894,718.00**). Contingency funds shall be used to cover costs that may result from incomplete design and unanticipated costs that arise during construction that are not identified by the construction documents. Construction Manager at Risk shall not proceed with any portion of the Work which it intends to charge against this contingency without first obtaining Owner's express written authorization to proceed. The Construction Manager at Risk acknowledges and agrees that any work which is to be charged against the contingency allowance that does not receive such prior written approval from the Owner shall be deemed to be a part of Construction Manager at Risk basic Work compensated within the GMP and not chargeable against the Owner's Contingency Allowance. Further, any contingency expenditures become part of the Contract Documents and are incorporated by reference herein. Unused contingency remaining at the end of the job will be credited from the GMP. Construction Manager at Risk has no entitlement to any portion of any unused contingency. It is acknowledged that this is not a "line item" GMP. It is an overall fixed price GMP. Buyout savings are for the sole use of the construction manager.

2.7 The parties have agreed to establish an allowance within the GMP in the amount of Two million two hundred forty-six thousand eight hundred fifty-three dollars (**\$2,246,853.00**). Construction Manager at Risk shall not proceed with any portion of the Work associated with the aforesaid allowance ("Allowance Work") without first obtaining Owner's express written authorization to proceed with said Allowance Work. Allowance Amounts are reflected in Attachment 2.

2.8 Pursuant to Exhibit A, Paragraph 12.4 of the Agreement, if, at the time final payment is made to Construction Manager at Risk, the total Cost of the Work has been increased by approved Change Orders in an amount causing the original GMP as set forth in this Amendment to be exceeded by more than **(\$1.00)**, then Construction Manager at Risk shall be entitled to an increase in the Construction Manager at Risk Fee in the amount of five and ½ percent (5.5%) shall be applied to any costs of more than one dollar **(\$1.00)** which exceeds the original GMP amount.

2.9 Construction Manager at Risk recognizes that this Contract includes work for trench excavation in excess of five feet deep. Construction Manager at Risk acknowledges the requirements set forth in Section 553.63 of the Florida Statutes titled Trench Safety Act. Construction Manager at Risk certifies that the required trench safety standards will be in effect during the period of construction of the Project and Construction Manager at Risk agrees to comply with all such required trench safety standards.

2.9.1 Construction Manager at Risk will abide by all requirements set forth in Section 553.63 of the Trench Safety Act.

2.10 Construction Manager at Risk is responsible, without reimbursement from Owner, for re-inspection fees and costs; to the extent such re-inspections are due to the fault or neglect of Construction Manager at Risk.

ARTICLE 3

CONTRACT TIME

3.1 The Construction Phase Commencement Date for the Work will be the date on which all permits necessary to the commencement of the work have been received, and the Owner has issued a Notice to Proceed to the Construction Manager at Risk. The total period of time beginning with the Construction Phase Commencement Date through the date required for Substantial Completion of the Work is seven hundred fifty-eight consecutive calendar days (758) days ("Contract Time").

3.2 Pursuant to this Agreement, the parties have established a liquidated damage rate for reasons stated therein, which the parties acknowledge and agree apply to this Amendment and Construction Manager at Risk responsibility to complete the Work within the Contract Time as stated herein. Accordingly, the liquidated damage rate established in this Agreement shall be assessed from Construction Manager at Risk for each calendar day Construction Manager at Risk fails to achieve Substantial Completion for the Designated Work within the Contract Time.

ARTICLE 4

MISCELLANEOUS

4.1 Except as expressly modified herein, the terms and conditions of the Agreement remain unchanged. In the event of a conflict between the terms of this Amendment and those of the Agreement, Owner and Construction Manager at Risk agree that the terms of this Amendment shall prevail and control.

4.2 Paragraph 2.2.3 of the Agreement is amended to read "The cost of the Work shall be the cost for a "turnkey" project delivery and shall include the Construction Manager at Risk contingency, not to exceed 4%. Construction Manager has use of Contingency. The use of "Construction Manager's Contingency" shall be documented in writing through written correspondence (including email) with the Owner. Allocations shall be reflected monthly within a Construction Manager's Contingency Log."

4.3 The Order of precedence in section 9.2.2 is replaced with the following:

1. Change Orders
2. Exhibit "T" Guaranteed Maximum Price Amendment
3. Supplemental Conditions
4. General Terms and Conditions
5. The Agreement
6. The Specifications



Pinellas County Jail SEC Guaranteed Maximum Price

May 24, 2024 revised July 1, 2024



**Creative Contractors, Inc.
Pinellas County
Pinellas County SEC
GMP
Executive Project Summary
May 24, 2024 revised July 1, 2024**

Attn: Larry Dickie, AIA, CPC
Project Manager, Building Design and Construction
509 East Avenue South
Clearwater, FL 33756

RE: Guaranteed Maximum Price

Larry,

Creative Contractors, Inc is pleased to present the Guaranteed Maximum Price (GMP) for the Pinellas County SEC Project.

This project is a new one-story 10,653 SF control building and a new guard house and entry located on Pinellas County Jail Campus. This includes a multiphase site logistics strategy which must be completed before the construction of the Secure Entrance Center building and Guard House.

Phased construction is anticipated to take approximately 25 months.

The enclosed GMP is based on 100% Permit / GMP Documents and Specifications prepared by Williamson Design Associates dated 2/2/24. The attached GMP is inclusive of Addendum #1, #2, #3, and the attached project qualifications, clarifications, and assumptions.

Sincerely,

A handwritten signature in blue ink that reads "Jim Casini".

Chief Estimator



Pinellas County Jail SEC GMP

May 24, 2024 revised July 1, 2024

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- 10) Phasing Plans
- 11) Qualifications, Clarifications, and Assumptions
- 12) Drawing Log



Tab 1
Cost Summary



CREATIVE CONTRACTORS, INC.
Pinellas County Jail SEC
 May 24, 2024 revised July 1, 2024
PROJECT COST SUMMARY

DESCRIPTION	COST	SF	\$/SF
<u>CONSTRUCTION COST SUMMARY</u>		10,653	
Sitework / Hardscaping / Fencing / Landscaping	\$ 3,934,409		\$ 369.32
Pinellas County Jail SEC	\$ 13,826,733		\$ 1,297.92
Escalation Contingency	0.00% \$ -		
Permit Comments	0.75% \$ 133,209		
<u>SUBTOTAL CONSTRUCTION COSTS</u>			<u>\$ 1,679.75</u>
SDI Insurance	1.25% \$ 223,679		
General Conditions	\$ 1,542,146		
General Requirements	\$ 359,910		
Builders Risk Insurance	0.40% \$ 80,080	allowance	
Liability Insurance	0.65% \$ 130,651		
Professional / Pollution Liability	quote \$ 47,625		
Construction Managers Contingency	4.00% \$ 811,138		
Construction Management Fee	5.50% \$ 1,159,927		
Owner Contingency	5.00% \$ 894,718		
Payment & Performance Bond	0.72% \$ 166,638		
<u>SUBTOTAL GENERAL COSTS</u>			<u>\$ 5,416,512</u>
Total GMP	\$ 23,310,863		\$ 2,188.20
<u>Alternates</u>			
1 40% Silane Waterproofing	\$ 20,291		
Total w/ Alternates	\$ 23,331,153		



Tab 2
Cost Comparison



Pinellas County Jail SEC
 Cost Comparison
 May 24, 2024 revised July 1, 2024

Division	Description	DD Budget		50% CD Budget		GMP		Delta
		Costs 3/21/2023	\$/SF 10653	Costs 7/28/2023	\$/SF 10653	Costs 4/10/2024	\$/SF 10653	
2260	Sitework	\$ 2,127,843.90	199.74	\$ 2,360,488.60	\$ 221.58	\$ 2,796,338	\$ 262.49	\$ 435,848.90
3300	Demolition	\$ 561,062.50	52.67	\$ 223,000.00	\$ 20.93	\$ 205,230	\$ 19.26	\$ (17,770.00)
3300	Hardscaping	\$ 192,472.00	18.07	\$ 192,472.00	\$ 18.07	\$ 291,341	\$ 27.35	\$ 98,869.00
3300	Fencing / Vehicles	\$ 144,570.00	13.57	\$ 558,521.60	\$ 52.43	\$ 641,500	\$ 60.22	\$ 82,978.40
3300	Concrete / Masonry	\$ 1,296,101.90	121.67	\$ 1,551,887.50	\$ 145.68	\$ 1,808,905	\$ 169.80	\$ 257,017.50
5400	Structural & Misc. Steel	\$ 676,855.00	63.54	\$ 549,550.00	\$ 51.59	\$ 666,625	\$ 62.58	\$ 117,075.00
6100	Rough Carpentry	\$ 18,517.00	1.74	\$ 32,949.73	\$ 3.09	\$ 26,308	\$ 2.47	\$ (6,641.93)
06104	Finish Carpentry	\$ 70,200	6.59	\$ 136,897.00	\$ 12.85	\$ 94,773	\$ 8.90	\$ (42,124.00)
07500	Roofing	\$ 965,050	90.59	\$ 965,330.00	\$ 90.62	\$ 960,478	\$ 90.16	\$ (4,852.00)
07500	Firestopping & Joint Sealants	\$ 129,646	12.17	\$ 113,927.25	\$ 10.69	\$ 170,122	\$ 15.97	\$ 56,194.60
08111	Doors, Frames & Hdwre	\$ 91,650	8.60	\$ 130,650.00	\$ 12.26	\$ 112,948	\$ 10.60	\$ (17,702.00)
08800	Glass	\$ 792,727	74.41	\$ 1,063,565.00	\$ 99.84	\$ 875,449	\$ 82.18	\$ (188,116.00)
09100	Drywall & Metal Framing	\$ 136,540	12.82	\$ 132,000.00	\$ 12.39	\$ 265,912	\$ 24.96	\$ 133,911.50
09500	Acoustical Ceilings	\$ 350,650	32.92	\$ 203,826.00	\$ 19.13	\$ 186,150	\$ 17.47	\$ (17,676.00)
09600	Flooring	\$ 130,359	12.24	\$ 157,879.00	\$ 14.82	\$ 204,841	\$ 19.23	\$ 46,962.00
09900	Painting	\$ 90,262	8.47	\$ 124,618.00	\$ 11.70	\$ 63,005	\$ 5.91	\$ (61,613.00)



Pinellas County Jail SEC
 Cost Comparison
 May 24, 2024 revised July 1, 2024

Division	Description	DD Budget		50% CD Budget		GMP		Delta
		Costs	\$/SF	Costs	\$/SF	Costs	\$/SF	
10000	Specialties	\$ 111,046	10.42	\$ 161,384.00	\$ 15.15	\$ 228,095	\$ 21.41	\$ 66,711.00
12000	Furnishings	\$ 142,433	13.37	\$ 144,138.85	\$ 13.53	\$ 137,181	\$ 12.88	\$ (6,957.85)
13000	Detention	\$ 383,768	36.02	\$ 459,314.00	\$ 43.12	\$ 725,890	\$ 68.14	\$ 266,576.00
22000	Fire Protection	\$ 66,445	6.24	\$ 61,556.50	\$ 5.78	\$ 64,000	\$ 6.01	\$ 2,443.50
23000	Plumbing	\$ 408,027	38.30	\$ 468,500.00	\$ 43.98	\$ 380,000	\$ 35.67	\$ (88,500.00)
24000	HVAC	\$ 795,500	74.67	\$ 799,620.00	\$ 75.06	\$ 948,375	\$ 89.02	\$ 148,755.00
26000	Electrical	\$ 2,298,117	215.72	\$ 2,485,305.00	\$ 233.30	\$ 3,913,763	\$ 367.39	\$ 1,428,458.00
18500	Electronic Safety and Security	\$ 977,700	91.78	\$ 1,049,200.00	\$ 98.49	\$ 978,100	\$ 91.81	\$ (71,100.00)
18500	Surveying & Material Testing	\$ 15,000	1.41	\$ 25,000.00	\$ 2.35	\$ 105,000	\$ 9.86	\$ 80,000.00
18500	Permits & Insurance	\$ 155,870	14.63	\$ 155,870.00	\$ 14.63	\$ 155,870	\$ 14.63	\$ -
18500	Temporary Construction	\$ 297,912	27.97	\$ 433,360.00	\$ 40.68	\$ 315,333	\$ 29.60	\$ (118,026.60)
18500	Misc Project Costs	\$ 532,209	49.96	\$ 560,034.56	\$ 52.57	\$ 439,611	\$ 41.27	\$ (120,423.79)
18500	Design Evolution Contingency / Permit Comments	\$ 558,341	52.41	\$ 459,025.34	\$ 43.09	\$ 133,209	\$ 12.50	\$ (325,816.77)
00000	Escalation Contingency	\$ 488,549	45.86	\$ 229,512.67	\$ 21.54	\$ -	\$ -	\$ (229,512.67)
00000	SUBTOTAL CONSTRUCTION COSTS	\$ 15,005,422	1408.563	\$ 15,989,383	1408.563	\$ 17,894,350	1408.563	\$ 1,904,967.78
00000	SDI Insurance	\$ 187,568	17.61	\$ 199,867.28	\$ 18.76	\$ 223,679.38	\$ 21.00	\$ 23,812.10
00000	Total General Conditions	\$ 1,312,110	123.17	\$ 1,460,227.02	\$ 137.07	\$ 1,542,145.67	\$ 144.76	\$ 81,918.65
00000	Total General Requirements	\$ 256,411	24.07	\$ 271,540.71	\$ 25.49	\$ 359,910.25	\$ 33.78	\$ 88,369.54



Pinellas County Jail SEC
 Cost Comparison
 May 24, 2024 revised July 1, 2024

Division	Description	DD Budget		50% CD Budget		GMP		Delta
		Costs	\$/SF	Costs	\$/SF	Costs	\$/SF	
00000	Professional / Pollution Liability	\$ 32,575	3.06	\$ 22,575.00	\$ 2.12	\$ 47,625.00	\$ 4.47	\$ 25,050.00
00000	Builders Risk Insurance	\$ 67,046	6.29	\$ 71,684.07	\$ 6.73	\$ 80,080.34	\$ 7.52	\$ 8,396.27
00000	Liability Insurance	\$ 75,729	7.11	\$ 80,967.16	\$ 7.60	\$ 130,651.08	\$ 12.26	\$ 49,683.92
00000	Contingency	\$ 676,171	280.00	\$ 722,946.75	\$ 67.86	\$ 1,705,855.20	\$ 160.13	\$ 982,908.45
00000	Construction Management Fee	\$ 968,717	90.93	\$ 1,035,055.48	\$ 97.16	\$ 1,159,926.89	\$ 108.88	\$ 124,871.41
00000	Payment & Performance Bond	\$ 133,789	12.56	\$ 142,950.57	\$ 13.42	\$ 166,638.41	\$ 15.64	\$ 23,687.84
00000	<i>SUBTOTAL GENERAL COSTS</i>	\$ 3,710,115	\$ 348.27	\$ 4,007,814	\$ 376.21	\$ 5,416,512	\$ 508.45	\$ 1,408,698.18
Total Budget		\$ 18,715,537	\$ 1,756.83	\$ 19,997,197	\$ 1,877.14	\$ 23,310,863	\$ 2,188.20	\$ 3,313,665.96



Tab 3
Scope Increases



**Pinellas County Jail SEC
May 24, 2024 revised July 1, 2024**

Scope Increases

Item #	DESCRIPTION	AMOUNT	NOTES
1	Sitework - Additional Phases	\$ 375,433	Site logistics that has been further refined from the 50% CD budget. 1. Current site logistics plan has us clearing trees at the entrance to the temporary road. The previous one did not have this included. 2. The temporary road is larger. This will result in modifications that will need to make to our construction office, parking, and staging area that will make it smaller. 3. Tree clearing will be required for the temporary guardshack scope of work. This was not included previously. 4. Due to the fact that phasing is not formally shown on on the plans, it is CCI's belief that subcontractors have priced the phasing accordingly to mitigate risk due to a lack of design information. We received 3 bids with a close spread.
2	Concrete	\$ 102,015	Sheet S2.1 contains a footing schedule. Between the 50% CDs and the 100% CDs, the size of several of the strip and spread footings have increased.
3	Masonry	\$ 153,624	Inclusion of a fully grouted recessed ledge per 1 / S4.1. Additionally, sheets A2.4 and A2.5 provided more detail on the pattern required for the CMU veneer. This pattern is very labor intensive and resulted in increased costs. Due to this pattern, Masonry Builders, who previously budgeted the project, declined to bid the project
4	Light Pole Bases	\$ 91,000	Added CIP light pole bases in lieu of direct burial
5	Curtain Wall Support Steel	\$ 6,250	Curtain wall support steel will now be required
6	OH Door - Series 640 Rolling Fire Counter Doors	\$ 15,000	Added 2 overhead fire shutters
7	Black Stainless Steel Woven Cable Mesh	\$ 15,000	Added a woven cable mesh over the reception desk
8	Site Logistics Light Pole Demolition / Reinstallation	\$ 81,000	Demo of 12 light poles as a result of the new site logistics plan. These were not included in the previous site logistics plan.
9	DAS System - Cell Phone	\$ 50,000	Added a distributed antenna system for cellular service
10	Duke Energy Vault / Feeder Relocation	\$ 200,000	Duke Energy scope was by owner in previous budgets
11	Duke Energy Power Meter / Pull Box Removal	\$ 50,000	Duke Energy scope was by owner in previous budgets
12	Duke Energy Light Pole Removal / Relocation	\$ 60,000	Duke Energy scope was by owner in previous budgets
13	Tapered Monopole Tower w/ Foundations	\$ 200,000	Added a 45' tapered monopole tower
14	Installation of Owner Supplied Monopole Tower Equipment	\$ 45,000	Added installation of owner supplied equipment to the 45' tapered monopole tower
15	Materials Testing	\$ 75,000	Materials testing was previously by owner
16	BTS / PCSO IT Allowance	\$ 274,196	An allowance for BTS / PCSO IT was not carried in our 50% CD budget
17	Owner Contingency	\$ 894,718	Owner contingency was not included in our 50% CD budget

Total Scope Increases \$ **2,688,236**

w/ Overhead \$ **3,046,939**



Tab 4
Detailed Estimate

JOB TITLE: **Pinellas County Jail SEC**
 JOB LOCATION: **14400 49th St. N Clearwater, FL 33762**
 ESTIMATE TITLE: **GMP**

DATE:
 SQFT: **10,653**
 DURATION: **25.00 MONTHS**

		UNIT	TTL	UNIT	TTL	UNIT	TOTAL			
Sitework										
02550	Sitework Bid Package	1	lsum	-	-	-	-	\$0.00	0.0%	
02550	Mobilization / Layout / Site Features	1	lsum	-	-	92813	92,813	92,813	\$8.71	0.5%
02550	Earthwork	1	lsum	-	-	180790	180,790	180,790	\$16.97	1.0%
02550	Proof Rolling Building Pad	1259	cuyd	-	-	Included	-	-	\$0.00	0.0%
02550	Paving / Sidewalk / Building Subgrades	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Provide, Place, and Compact Fill Dirt	2130	cuyd	-	-	Included	-	-	\$0.00	0.0%
02550	Grading: Above Subgrades and Final	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Storm Drainage	1	lsum	-	-	328078	328,078	328,078	\$30.80	1.8%
02550	Refurbish Existing Grate Inlet for Reuse	2	each	-	-	Included	-	-	\$0.00	0.0%
02550	Connect to Existing Storm Pipe	2	each	-	-	Included	-	-	\$0.00	0.0%
02550	Convert Curb Inlet to Manhole	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	Type C Inlet	4	each	-	-	Included	-	-	\$0.00	0.0%
02550	Type 4 Curb Inlet	8	each	-	-	Included	-	-	\$0.00	0.0%
02550	Type "J,P" Storm Manhole	2	each	-	-	Included	-	-	\$0.00	0.0%
02550	8" SDR 35 PVC w/ Fittings	94	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	8" PVC Inline Cleanout	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	Class III RCP: 15"	221	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	Class III RCP: 18"	647	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	Class III RCP: 24"	190	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	Storm Pipe Bedding Stone	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Dewatering for Storm Sewer Installation (Well Points)	837	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	Sanitary Sewer	1	lsum	-	-	46816	46,816	46,816	\$4.39	0.3%
02550	Connection to Existing	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	4' Sanitary Manhole	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	Fitting	537	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	4" PVC Inline Cleanout	2	each	-	-	Included	-	-	\$0.00	0.0%
02550	Dewatering for Pipe Installation	537	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	Water Service	1	lsum	-	-	50958	50,958	50,958	\$4.78	0.3%
02550	6" x 4" Tapping Sleeve and Valve	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	4" Wet Tap	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	4" C900 DR-18 PVC Pipe Fittings and Restraining	269	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	Restrains	319	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	6" MJ Gate Valve	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	4" MJ Gate Valve	2	each	-	-	Included	-	-	\$0.00	0.0%
02550	Pressure Test and Chlorination	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Fire Service	1	lsum	-	-	82053	82,053	82,053	\$7.70	0.5%
02550	Connection to Existing	2	each	-	-	Included	-	-	\$0.00	0.0%
02550	8" C900 DR-14 PVC Pipe w/ Fittings	273	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	6" C900 DR-14 PVC Pipe w/ Fittings	120	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	4" FDC	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	Stainless Steel Riser: 6"	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	Stainless Steel Riser: 4"	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	Sampling Point	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	Temporary Blow Off Assembly	1	each	-	-	Included	-	-	\$0.00	0.0%
02550	Pressure Test and Chlorination	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Asphalt Paving	1	lsum	-	-	1358875	1,358,875	1,358,875	\$127.56	7.7%
02550	Crushed Concrete Base w/ 12" Subgrade	16342	sqyd	-	-	Included	-	-	\$0.00	0.0%
02550	Speed Bumps	288	sqft	-	-	Included	-	-	\$0.00	0.0%
02550	Striping and Signage	1	lsum	-	-	Included	-	-	\$0.00	0.0%
03000	Curbs	1	lsum	-	-	223550	223,550	223,550	\$20.98	1.3%
03000	3' Valley Curb	136	lnft	-	-	Included	-	-	\$0.00	0.0%
03000	Type "D" Curb	3272	lnft	-	-	Included	-	-	\$0.00	0.0%
03000	Type "F" Curb	2371	lnft	-	-	Included	-	-	\$0.00	0.0%
03000	Concrete Islands @ Guard Post	3771	sqft	-	-	Included	-	-	\$0.00	0.0%
02550	Concrete Wheel Stops	29	each	-	-	Included	-	-	\$0.00	0.0%
02550	Erosion Control	1	lsum	-	-	40242	40,242	40,242	\$3.78	0.2%
02550	Construction Entrance	4000	sqft	-	-	Included	-	-	\$0.00	0.0%
02550	Silt Fence	3122	lnft	-	-	Included	-	-	\$0.00	0.0%
02550	Entrance	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Dewatering	1	lsum	-	-	40000	40,000	40,000	\$3.75	0.2%
02550	Street Sweeping	23	months	-	-	1000	23,000	23,000	\$2.16	0.1%
02550	Refurbish Existing Pond	1	lsum	-	-	25000	25,000	25,000	\$2.35	0.1%
02550	Relocation of Fire Hydrant	1	allowance	-	-	7500	7,500	7,500	\$0.70	0.0%
02550	Temporary Road Sitework	1	allowance	-	-	178374	178,374	178,374	\$16.74	1.0%
02550	Clearing / Relocation of Existing Conditions	12928	sqyd	-	-	Included	-	-	\$0.00	0.0%
02550	Asphalt Paving - 1 1/2" "SP-9.5" on 6" Crushed Concrete Road Base on 12" Compacted Subgrade (98% Mod)	12928	sqyd	-	-	Included	-	-	\$0.00	0.0%
02550	Striping / Signage	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Demo Asphalt	12928	sqyd	-	-	Included	-	-	\$0.00	0.0%
02550	Restoration	12928	sqyd	-	-	Included	-	-	\$0.00	0.0%
02550	Curbs	1	lsum	-	-	N/A	-	-	\$0.00	0.0%
02550	Temporary Guardshack Sitework	1	allowance	-	-	118288.75	118,289	118,289	\$11.10	0.7%
02550	Widening of Road	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Curbs	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Relocation of Curb Inlet	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Striping / Signage	1	lsum	-	-	Included	-	-	\$0.00	0.0%
02550	Sidewalks	2000	sqft	-	-	Included	-	-	\$0.00	0.0%
Sitework Subtotal							2,796,338	\$262.49	15.7%	

JOB TITLE: **Pinellas County Jail SEC**
 JOB LOCATION: **14400 49th St. N Clearwater, FL 33762**
 ESTIMATE TITLE: **GMP**

DATE: **May 24, 2024 revised July 1, 2024**
 SQFT: **10,653**
 DURATION: **25.00 MONTHS**

		UNIT	TTL	UNIT	TTL	UNIT	TOTAL				
Demolition											
02550	Demolition Bid Package	1				193730	193,730	193,730	\$18.19	1.1%	
02550	Demolition of Existing Building Foundations	31943	sqft	-	-	Included	-	-	\$0.00	0.0%	
02550	Removal of Existing Utility Poles	4	each	-	-	Included	-	-	\$0.00	0.0%	
02550	Removal of Existing Concrete Piping	289	lnft	-	-	Included	-	-	\$0.00	0.0%	
02550	Removal of Existing PVC Piping	181	lnft	-	-	Included	-	-	\$0.00	0.0%	
02550	Removal of Existing PVC Conduit	740	lnft	-	-	Included	-	-	\$0.00	0.0%	
02550	Removal of Existing Asphalt	116343	sqft	-	-	Included	-	-	\$0.00	0.0%	
02550	Removal of Existing Concrete	4938	sqft	-	-	Included	-	-	\$0.00	0.0%	
02550	Removal of Existing Trees	8	each	-	-	Included	-	-	\$0.00	0.0%	
02000	Asbestos Abatement	1	lsum	-	-	N/A	-	-	\$0.00	0.0%	
02000	Mold Remediation	1	lsum	-	-	N/A	-	-	\$0.00	0.0%	
02000	Lead Abatement	1	lsum	-	-	N/A	-	-	\$0.00	0.0%	
02000	Misc. Demo	1	lsum	-	-		11500	11,500	\$1.08	0.1%	
Demolition Subtotal								205,230	\$19.26	1.2%	
Hardscaping / Landscaping											
03000	Concrete Sidewalks	11736	sqft	-	-	11.3	132,941	132,941	\$12.48	0.7%	
03000	Landscaping Bid Package	1	lsum	-	-		-	-	\$0.00	0.0%	
03000	Landscaping	1	lsum	-	-	34675	34,675	34,675	\$3.25	0.2%	
03000	Cabbage Palm	19	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Bismark Palm	2	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Christmas Palm	3	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Winged Elm	11	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Southern Magnolia	10	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Crape Myrtle	10	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Sandakawa Viburnum	74	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Fire Bush	56	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Muhly Grass	96	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Firecracker Plant	74	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Schillings Dwarf Hollu	218	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Emerald Goddess	98	each	-	-	Included	-	-	\$0.00	0.0%	
03000	White African Iris	141	each	-	-	Included	-	-	\$0.00	0.0%	
03000	Irrigation	1	lsum	-	-	68525	68,525	68,525	\$6.43	0.4%	
03000	Argentinian Bahia Sod	95300	sqft	-	-	0.42	40,200	40,200	\$3.77	0.2%	
03000	Maintenance for 30 Days @ Each Phase	4	phases	-	-	3750	15,000	15,000	\$1.41	0.1%	
Hardscaping / Landscaping Subtotal								291,341	\$27.35	1.6%	
Fencing / Vehicle Barriers											
32000	Fencing Bid Package	1	lsum	-	-	258000	258,000	258,000	\$24.22	1.5%	
32000	Fencing: 12" w/ Concertina Wire	1059	lnft	-	-	Included	-	-	\$0.00	0.0%	
32000	Secure Pedestrian Gate - Single	1	each	-	-	Included	-	-	\$0.00	0.0%	
32000	Secure Lockdown Rolling Gate	2	each	-	-	Included	-	-	\$0.00	0.0%	
32000	CLF: 6'	156	lnft	-	-	Included	-	-	\$0.00	0.0%	
32000	Pedestrian Gate - Single	1	each	-	-	Included	-	-	\$0.00	0.0%	
32000	Pedestrian Gate - Double	2	each	-	-	Included	-	-	\$0.00	0.0%	
32000	Fence Demo	1208	lnft	-	-	Included	-	-	\$0.00	0.0%	
32000	Hysecurity Security Bollards	17	each	-	-	6100	103,700	103,700	\$9.73	0.6%	
32000	Removable Bollards	4	each	-	675	2,700	600	2,400	5,100	\$0.48	0.0%
32000	Standard Bollards	14	each	-	450	6,300	600	8,400	14,700	\$1.38	0.1%
32000	Hydrawedge SM50 Vehicle Barriers: 3M	2	each	-	-	130000	260,000	260,000	\$24.41	1.5%	
Fencing / Vehicle Barriers Subtotal								641,500	\$60.22	3.6%	
Concrete / Masonry											
03300	Concrete Bid Package	1	lsum	-	-	749155	749,155	749,155	\$70.32	4.2%	
03300	Spread Footings	34.5	cuyd	-	-	Included	-	-	\$0.00	0.0%	
03300	Strip Footings	205.9	cuyd	-	-	Included	-	-	\$0.00	0.0%	
03300	Thickened Slabs	74.8	cuyd	-	-	Included	-	-	\$0.00	0.0%	
03300	SOG: 4"	11190	sqft	-	-	Included	-	-	\$0.00	0.0%	
03300	Concrete Columns	12	cuyd	-	-	Included	-	-	\$0.00	0.0%	
03300	CIP Walls: 8"	54.0	cuyd	-	-	Included	-	-	\$0.00	0.0%	
03300	CIP Beams	64	cuyd	-	-	Included	-	-	\$0.00	0.0%	
03300	Retaining Wall / Foundation	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
03300	Low Sloped Wall	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
03300	Embed Installation	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
03300	Monument Sign Base / Foundation	2	each	-	-	Included	-	-	\$0.00	0.0%	
03300	Termite Treatment	11190	sqft	-	0.4	4,476	-	4,476	\$0.42	0.0%	
03300	Flagpole Foundation	3	each	-	-	5500	16,500	16,500	\$1.55	0.1%	
03300	MEP Pads: 6"	250	sqft	-	-	40	10,000	10,000	\$0.94	0.1%	
03300	Reception Desk @ Lobby	1	lsum	-	-	6275	6,275	6,275	\$0.59	0.0%	
03300	Light Pole Bases	26	each	-	-	3500	91,000	91,000	\$8.54	0.5%	
03300	Temporary Guard Shack Slab / Foundation	225	lsum	-	-	35	7,875	7,875	\$0.74	0.0%	
03300	Misc. Concrete	1	lsum	-	-	7750	7,750	7,750	\$0.73	0.0%	
03300	Masonry Bid Package	1	lsum	-	-	908624	908,624	908,624	\$85.29	5.1%	
03300	8" CMU	22622	sqft	-	-	Included	-	-	\$0.00	0.0%	
03300	12" CMU	1571	sqft	-	-	Included	-	-	\$0.00	0.0%	
03300	4" CMU	777	sqft	-	-	Included	-	-	\$0.00	0.0%	
03300	CMU Veneer 4" Split Face	7401	sqft	-	-	Included	-	-	\$0.00	0.0%	
03300	6" Masonry	14	sqft	-	-	Included	-	-	\$0.00	0.0%	
03300	CIP Sills	72	lnft	-	-	Included	-	-	\$0.00	0.0%	
03300	CMU Veneer Mock Up	1	lsum	-	-	7250	7,250	7,250	\$0.68	0.0%	
Concrete / Masonry Subtotal								1,808,905	\$169.80	10.2%	

JOB TITLE:
 JOB LOCATION:
 ESTIMATE TITLE:

Pinellas County Jail SEC
 14400 49th St. N Clearwater, FL 33762
 GMP

DATE:
 SQFT:
 DURATION:

May 24, 2024 revised July 1, 2024

10,653
 25.00 MONTHS

		UNIT	TTL	UNIT	TTL	UNIT	TOTAL				
Structural & Misc. Steel											
05100	Structural Steel Bid Package	1	lsum	-	-	511700	511,700	511,700	\$48.03	2.9%	
05100	Structural Steel Framing	90.64	tons	-	-	Included	-	-	\$0.00	0.0%	
05100	Metal Deck: 1-1/2"	16853	sqft	-	-	Included	-	-	\$0.00	0.0%	
05100	Roof Ladders	3	each	-	-	Included	-	-	\$0.00	0.0%	
05100	Roof Hatch Railings	2	each	-	-	1250	2,500	2,500	\$0.23	0.0%	
05100	Attic Access Ladder w/ Overshoot	1	lsum	-	-	7275	7,275	7,275	\$0.68	0.0%	
05100	Curtain Wall Support Steel	1	lsum	-	-	6250	6,250	6,250	\$0.59	0.0%	
03300	CMU Wall Support @ Non Load Bearing Walls	52	each	-	-	450	23,400	23,400	\$2.20	0.1%	
05100	Structural EOR Allowances	1	allowance	-	-	108000	108,000	108,000	\$10.14	0.6%	
05100	Misc Metals	1	lsum	-	-	7500	7,500	7,500	\$0.70	0.0%	
Structural & Misc. Steel Subtotal								666,625	\$62.58	3.8%	
Rough Carpentry											
06101	Wood Nailers / Rough Carpentry	10653	sqft	-	0.35	3,729	1.00	10,653	14,382	\$1.35	0.1%
06101	Roof Blocking	1015	lnft	-	4.25	4,314	7.50	7,613	11,926	\$1.12	0.1%
Rough Carpentry Subtotal								26,308	\$2.47	0.1%	
Finish Carpentry											
06101	Finish Carpentry Bid Package	1	lsum	-	-	-	75,898	75,898	\$7.12	0.4%	
06101	Upper Cabinetry	10	lnft	-	-	Included	-	-	\$0.00	0.0%	
06101	Lower Cabinetry	10	lnft	-	-	Included	-	-	\$0.00	0.0%	
06101	SS01: Quartz Countertop	187	sqft	-	-	Included	-	-	\$0.00	0.0%	
06101	SS02: Solid Surface Countertop	18	sqft	-	-	Included	-	-	\$0.00	0.0%	
06101	SS02: Solid Surface Backsplash	15	sqft	-	-	Included	-	-	\$0.00	0.0%	
06101	Reception Desk	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
06101	Casework @ Copier	1	lsum	-	-	-	2,500	2,500	\$0.23	0.0%	
06101	Stainless Steel Transaction Tray @ Reception Desk	1	lsum	-	-	-	5,875	5,875	\$0.55	0.0%	
06101	Desk / Countertops @ Guardshack	1	allowance	-	-	10500	10,500	10,500	\$0.99	0.1%	
Finish Carpentry Subtotal								94,773	\$8.90	0.5%	
Roofing											
07500	Roofing Bid Package	1	lsum	-	-	494028	494,028	494,028	\$46.37	2.8%	
07500	Built Up Roof	16,594	sqft	-	-	Included	-	-	\$0.00	0.0%	
07500	Roof Hatch	2	each	-	-	Included	-	-	\$0.00	0.0%	
07500	Parapet Coping	1,015	lnft	-	-	Included	-	-	\$0.00	0.0%	
07500	Flashing	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
07500	Walkway Pads	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
07500	Metal Panel Bid Package	1	lsum	-	-	435340	435,340	435,340	\$40.87	2.5%	
07500	Composite Metal Wall Panels - Rainscreen	4,981	sqft	-	-	Included	-	-	\$0.00	0.0%	
07500	Composite Metal Soffit Panels - Rainscreen	5,645	sqft	-	-	Included	-	-	\$0.00	0.0%	
07500	Matching Parapet Coping	1	lsum	-	-	16110	16,110	16,110	\$1.51	0.1%	
07500	Metal Panels @ Support Steel	1	lsum	-	-	15000	15,000	15,000	\$1.41	0.1%	
07500	Composite Metal Panels @ Monument Sign	330	sqft	-	-	Included	-	-	\$0.00	0.0%	
Roofing Subtotal								960,478	\$90.16	5.4%	
Firestopping & Joint Sealants											
07900	Caulking & Sealants	10,653	sqft	-	0.45	4,794	1.00	10,653	15,447	\$1.45	0.1%
07900	Liquid Applied Class 1 Vapor Barrier	10,746	sqft	-	-	6.51	69,915	69,915	\$6.56	0.4%	
07900	Vapor Permeable Air Barrier	7,663	sqft	-	-	7.88	60,365	60,365	\$5.67	0.3%	
07900	Sheet Waterproofing @ Retaining Wall	1	lsum	-	-	4245	4,245	4,245	\$0.40	0.0%	
07900	Rubberized Asphalt Flashing	1	lsum	-	-	20150	20,150	20,150	\$1.89	0.1%	
07900	Bituminous Dampproofing @ CMU Veneer	1	lsum	-	-	N/A	-	-	\$0.00	0.0%	
07900	40% Silane Water Repellant @ CMU Veneer	7,401	sqft	-	-	Alternate	-	-	\$0.00	0.0%	
07900	Penetration Firestopping	1	lsum	-	-	In Trades	-	-	\$0.00	0.0%	
Firestopping & Joint Sealants Subtotal								170,122	\$15.97	1.0%	
Doors, Frames & Hardware											
08111	Doors, Frames, and Hardware Bid Package	1	lsum	-	-	28988	28,988	28,988	\$2.72	0.2%	
08111	HM Frames: Single	16	each	-	-	Included	-	-	\$0.00	0.0%	
08112	HM Doors	16	each	-	-	Included	-	-	\$0.00	0.0%	
08112	Hardware	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
08112	Electric Strikes per Qualification 8a	8	allowance	-	-	2500	20,000	20,000	\$1.88	0.1%	
08112	HM Frame Installation @ CMU Walls	16	each	-	-	200	3,200	3,200	\$0.30	0.0%	
08112	Door Installation	16	each	-	-	385	6,160	6,160	\$0.58	0.0%	
08112	Door Frame Grouting	16	each	-	-	250	4,000	4,000	\$0.38	0.0%	
08112	Bituminous Coating	16	each	50	800	75	1,200	2,000	\$0.19	0.0%	
08112	Overhead Door Bid Package	1	lsum	-	-	48600	48,600	48,600	\$4.56	0.3%	
08112	OH Door - Series 670 Upward Coiling Security	2	each	-	-	Included	-	-	\$0.00	0.0%	
08112	Grilles	2	each	-	-	Included	-	-	\$0.00	0.0%	
08112	OH Door - Series 640 Rolling Fire Counter Doors	2	each	-	-	Included	-	-	\$0.00	0.0%	
Doors, Frames & Hardware Subtotal								112,948	\$10.60	0.6%	
Glass											
08800	Glass and Glazing Bid Package	1	lsum	-	-	846884	846,884	846,884	\$79.50	4.8%	
08800	Curtainwall Type 1: Impact Rated	2123	sqft	-	-	Included	-	-	\$0.00	0.0%	
08800	Curtainwall Type 2: Ballistic / Impact Rated (Countryside Glass Custom Modification)	1548	sqft	-	-	Included	-	-	\$0.00	0.0%	
08800	Interior Storefront	167	sqft	-	-	Included	-	-	\$0.00	0.0%	
08800	Exterior Storefront	345	sqft	-	-	Included	-	-	\$0.00	0.0%	
08800	Aluminum Doors	14	each	-	-	Included	-	-	\$0.00	0.0%	

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		UNIT	TTL	UNIT	TTL	UNIT	TOTAL				
08800	Water Testing	2	days	-	-	9250	18,500	18,500	\$1.74	0.1%	
08800	Auto Operators	2	each	-	-	5032.5	10,065	10,065	\$0.94	0.1%	
Glass Subtotal								875,449	\$82.18	4.9%	
<u>Drywall & Metal Framing</u>											
09100	Drywall Package	1	lsum	-	-	260585	260,585	260,585	\$24.46	1.5%	
09100	Gyp. Board Ceilings	1280	sqft	-	-	Included	-	-	\$0.00	0.0%	
09100	Interior Gyp. Board Soffits	284	sqft	-	-	Included	-	-	\$0.00	0.0%	
09100	Exterior Framing @ Metal Panels	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
09100	Stucco Soffit	498	sqft	-	-	Included	-	-	\$0.00	0.0%	
09100	Access Panels	10653	sqft	0.15	1,598	0.35	3,729	-	5,327	\$0.50	0.0%
Drywall & Metal Framing Subtotal								265,912	\$24.96	1.5%	
<u>Acoustical Ceilings</u>											
09500	Acoustical Ceiling Tile Bid Package	1	lsum	-	-	-	-	-	\$0.00	0.0%	
09500	ACT-01: USG Orion 75 - White - 62150 on Donn 15/16 Grid	3522	sqft	-	-	6.90	24,290	24,290	\$2.28	0.1%	
09500	Turf Plaid Ceiling: Dark Walnut Acoustical Wall Panels: Guilford FR701 481	1	lsum	-	-	34640.00	34,640	34,640	\$3.25	0.2%	
09500	Pearl / 743 Fir	528	sqft	-	-	25.04	13,220	13,220	\$1.24	0.1%	
09500	ACT-02: Security Ceiling	2460	sqft	-	-	46.34	114,000	114,000	\$10.70	0.6%	
Acoustical Ceilings Subtotal								186,150	\$17.47	1.0%	
<u>Flooring</u>											
09651	Flooring Bid Package	1	lsum	-	-	141887	141,887	141,887	\$13.32	0.8%	
09651	CPT01: Carpet	60	sqyd	-	-	Included	-	-	\$0.00	0.0%	
09651	WOM1: Walk Off Carpet	82	sqyd	-	-	Included	-	-	\$0.00	0.0%	
09651	ESD01: Resilient Flooring (Static Control)	275	sqft	-	-	Included	-	-	\$0.00	0.0%	
09651	VCT01: Vinyl Flooring	1260	sqft	-	-	Included	-	-	\$0.00	0.0%	
09651	RT01 Resilient Flooring	550	sqft	-	-	Included	-	-	\$0.00	0.0%	
09651	RB01; Resilient Base	1800	lnft	-	-	Included	-	-	\$0.00	0.0%	
09651	PT01: Porcelain Tile	2290	sqft	-	-	Included	-	-	\$0.00	0.0%	
09651	PT02: Porcelain Tile	672	sqft	-	-	Included	-	-	\$0.00	0.0%	
09651	PT03: Porcelain Wall Tile	2480	sqft	-	-	Included	-	-	\$0.00	0.0%	
09651	PB01: Porcelain Base	340	lnft	-	-	Included	-	-	\$0.00	0.0%	
09651	EXY01: Stonhard Epoxy Flooring	2071	sqft	-	-	15	30,123	30,123	\$2.83	0.2%	
09651	Epoxy Base	764	lnft	-	-	6	4,584	4,584	\$0.43	0.0%	
09651	SC01: Sealed Concrete	2858	sqft	-	-	4	11,432	11,432	\$1.07	0.1%	
09651	Moisture Mitigation	3363	allowance	-	-	3.5	11,771	11,771	\$1.10	0.1%	
09651	Floor Protection	3363	sqft	-	-	1.5	5,045	5,045	\$0.47	0.0%	
Flooring Subtotal								204,841	\$19.23	1.2%	
<u>Painting</u>											
09900	Painting Bid Package	1	lsum	-	-	63005	63,005	63,005	\$5.91	0.4%	
09900	GWB Partitions and Ceilings	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
09900	CMU Walls	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
09900	Exposed Ceilings	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
09900	CIP Walls	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
09900	Paint H.M. Frames/Doors	1	lsum	-	-	Included	-	-	\$0.00	0.0%	
Painting Subtotal								63,005	\$5.91	0.4%	
<u>Specialties</u>											
10100	Specialties Bid Package	-	-	-	-	-	-	-	\$0.00	0.0%	
10520	Toilet Accessories	1	lsum	-	-	13790	13,790	13,790	\$1.29	0.1%	
10520	Grab Bars	14	each	-	-	Included	-	-	\$0.00	0.0%	
10520	Mirror: 36"	9	each	-	-	Included	-	-	\$0.00	0.0%	
10520	Sanitary Napkin Dispenser	6	each	-	-	Included	-	-	\$0.00	0.0%	
10520	Soap Dispenser (Install)	9	each	-	-	Included	-	-	\$0.00	0.0%	
10140	Paper Towel Dispenser / Waste Receptac	5	each	-	-	Included	-	-	\$0.00	0.0%	
10140	Toilet Paper Dispenser	7	each	-	-	Included	-	-	\$0.00	0.0%	
10140	Mop & Broom Holder	3	each	-	-	Included	-	-	\$0.00	0.0%	
10140	Baby Changing Station	2	each	-	-	Included	-	-	\$0.00	0.0%	
10140	Coat Hook	3	each	-	-	Included	-	-	\$0.00	0.0%	
10140	Shower Curtain w/ Breakaway Clips	55	lnft	-	-	87	4,772	4,772	\$0.45	0.0%	
10140	FEC w/ Extinguisher	4	each	-	-	915.75	3,663	3,663	\$0.34	0.0%	
10140	Metal Lockers: 4 Tier	12	each	-	-	787	9,447	9,447	\$0.89	0.1%	
10140	Flagpole	3	each	-	-	10222	30,665	30,665	\$2.88	0.2%	
10140	Toilet Partitions	3	each	-	-	4080	12,240	12,240	\$1.15	0.1%	
10140	Refrigerator	1	each	-	-	2000	2,000	2,000	\$0.19	0.0%	
10140	Wall Mounted Monitors	2	each	360	720	2500	5,000	-	5,720	\$0.54	0.0%
10140	Inmate Fund Kiosk	1	allowance	-	-	15000	15,000	15,000	\$1.41	0.1%	
10140	Vending Machine	1	each	-	-	Excluded	-	-	\$0.00	0.0%	
10140	X-Ray Baggage Scanner	1	each	-	-	27050	27,050	27,050	\$2.54	0.2%	
10140	Magnetometer	1	each	-	-	16185	16,185	16,185	\$1.52	0.1%	
10140	Relocation of 1 Magnetometer and 1 X-Ray Baggage Scanner	2	each	-	-	3575	7,150	7,150	\$0.67	0.0%	
10140	ATM	1	each	-	-	Excluded	-	-	\$0.00	0.0%	
10140	Safe	1	lsum	-	-	16902.00	16,902	16,902	\$1.59	0.1%	
10140	Wall Protection	1	lsum	-	-	N/A	-	-	\$0.00	0.0%	
10900	Signage Bid Package	-	-	-	-	-	-	-	\$0.00	0.0%	
10900	Interior Signage	1	allowance	-	-	10365	10,365	10,365	\$0.97	0.1%	
10900	Exterior Building Signage	1	lsum	-	-	6672	6,672	6,672	\$0.63	0.0%	
10900	Monumental Sign	1	lsum	-	-	7362	7,362	7,362	\$0.69	0.0%	

JOB TITLE: **Pinellas County Jail SEC**
 JOB LOCATION: **14400 49th St. N Clearwater, FL 33762**
 ESTIMATE TITLE: **GMP**

DATE: **May 24, 2024 revised July 1, 2024**
 SQFT: **10,653**
 DURATION: **25.00 MONTHS**

		UNIT	TTL	UNIT	TTL	UNIT	TOTAL			
10900	Directional Sign	1	Isum	-	-	4322	4,322	4,322	\$0.41	0.0%
10900	Cantilevered Aluminum Canopies (5)	175	sqft	-	-	183	32,090	32,090	\$3.01	0.2%
10900	Knox Box	2	each	-	-	1350	2,700	2,700	\$0.25	0.0%
		Specialties Subtotal						228,095	\$21.41	1.3%
<u>Furnishings</u>										
12241	Roller Window Shades	1	Isum	-	-	7424	7,424	7,424	\$0.70	0.0%
12241	Roller Window Shades @ Lobby	335	sqft	-	-	10	3,350	3,350	\$0.31	0.0%
12241	Furniture Bid Package	1	Isum	-	-	119907	119,907	119,907	\$11.26	0.7%
12241	SH-1: Safco Boltless Steel Shelf	40	each	-	-	Included	-	-	\$0.00	0.0%
12241	BN-1: Norix Nondo Nuevo 24" Bench	10	each	-	-	Included	-	-	\$0.00	0.0%
12241	BN-2: Norix - Nond Nuevo Cube	4	each	-	-	Included	-	-	\$0.00	0.0%
12241	CH-1: Norix - Hondo Nuevo Arm Chair	18	each	-	-	Included	-	-	\$0.00	0.0%
12241	CH-2: Hon - Cipher Task Chair	16	each	-	-	Included	-	-	\$0.00	0.0%
12241	BM-1: Norix Boulder Beam Seating - 4 Seat	3	each	-	-	Included	-	-	\$0.00	0.0%
12241	CH-5: Hon Ignition Stool	9	each	-	-	Included	-	-	\$0.00	0.0%
12241	EQ:19 Gun Lockers	2	each	-	-	Included	-	-	\$0.00	0.0%
12241	WL-1: Rifle Storage Cabinet	1	each	-	-	Included	-	-	\$0.00	0.0%
12241	WL-2: Pistol Storage Cabinet	1	each	-	-	Included	-	-	\$0.00	0.0%
12241	WK-2: Allsteel - Workstation 1	8	each	-	-	Included	-	-	\$0.00	0.0%
12241	CH-3: Hon - Cipher Guest Chair	3	each	-	-	Included	-	-	\$0.00	0.0%
12241	BM-2: Norix - Boulder Beam Seating - 3 Seat	1	each	-	-	Included	-	-	\$0.00	0.0%
12241	CH-4: Sit on It - Lumin 4 Leg	8	each	-	-	Included	-	-	\$0.00	0.0%
12241	TB-1: Alsteel - Structure	2	each	-	-	Included	-	-	\$0.00	0.0%
12241	Secure Corridor Desk	1	allowance	-	-	6500	6,500	6,500	\$0.61	0.0%
		Furnishing Subtotal						137,181	\$12.88	0.8%
<u>Detention</u>										
13000	Detention Equipment Bid Package	1	Isum	-	-	-	-	-	\$0.00	0.0%
13000	Detention Doors / Frames	1	Isum	-	-	451500	451,500	451,500	\$42.38	2.5%
13000	Detention Frames	36	each	-	-	Included	-	-	\$0.00	0.0%
13000	Detention Doors	36	each	-	-	Included	-	-	\$0.00	0.0%
13000	Detention Hardware	1	Isum	-	-	Included	-	-	\$0.00	0.0%
13000	Detention Door / Frame Installation	36	each	-	-	Included	-	-	\$0.00	0.0%
13000	Detention Window Frames Glazing / Steel Countertops	1	Isum	-	-	241390	241,390	241,390	\$22.66	1.4%
13000	Window Frame / Glazing - SF5	2	each	-	-	Included	-	-	\$0.00	0.0%
13000	Window Frame / Glazing - SF7	1	each	-	-	Included	-	-	\$0.00	0.0%
13000	Window Frame / Glazing - SF8	1	each	-	-	Included	-	-	\$0.00	0.0%
13000	Window Frame / Glazing - SF12	1	each	-	-	Included	-	-	\$0.00	0.0%
13000	Window Frame / Glazing - SF13	1	each	-	-	Included	-	-	\$0.00	0.0%
13000	Reception Window Framing / Glass	1	each	-	-	Included	-	-	\$0.00	0.0%
13000	Stainless Steel Shelves	205	sqft	-	-	Included	-	-	\$0.00	0.0%
13000	Transaction Window @ Property	1	each	-	-	Included	-	-	\$0.00	0.0%
13000	Detention Accessories	1	Isum	-	-	10000	10,000	10,000	\$0.94	0.1%
13000	Stainless Steel Benches	2	each	-	-	Included	-	-	\$0.00	0.0%
13000	36" Anti Ligature Grab Bar	1	each	-	-	Included	-	-	\$0.00	0.0%
13000	16" Anti Ligature Grab Bar	1	each	-	-	Included	-	-	\$0.00	0.0%
13000	Detention Gun Lockers	1	Isum	-	-	In Furniture	-	-	\$0.00	0.0%
13000	Pistol Lockers	3	each	-	-	Included	-	-	\$0.00	0.0%
13000	Rifle Lockers	1	each	-	-	Included	-	-	\$0.00	0.0%
06101	Black Stainless Steel Woven Cable Mesh	1	Isum	-	-	15000	15,000	15,000	\$1.41	0.1%
06101	Detention Fire Extinguisher Cabinets	4	each	-	-	Included	-	-	\$0.00	0.0%
06101	MTL02: Metal Paneling @ Reception Desk	32	each	-	-	250	8,000	8,000	\$0.75	0.0%
		Detention Subtotal						725,890	\$68.14	4.1%
<u>Fire Protection</u>										
22000	Fire Protection Bid Package	1	Isum	-	-	64000.00	64,000	64,000	\$6.01	0.4%
22000	Sprinkler Heads	1	Isum	-	-	Included	-	-	\$0.00	0.0%
22000	Wet Pipe Riser	1	Isum	-	-	Included	-	-	\$0.00	0.0%
22000	Piping	1	Isum	-	-	Included	-	-	\$0.00	0.0%
		Fire Protection Subtotal						64,000	\$6.01	0.4%
<u>Plumbing</u>										
23000	Plumbing Bid Package	1	Isum	-	-	380000	380,000	380,000	\$35.67	2.1%
23000	Sanitary Piping	1	Isum	-	-	Included	-	-	\$0.00	0.0%
23000	Domestic Water Piping	1	Isum	-	-	Included	-	-	\$0.00	0.0%
23000	Storm Piping	1	Isum	-	-	Included	-	-	\$0.00	0.0%
23000	Piping Insulation	1	Isum	-	-	Included	-	-	\$0.00	0.0%
23000	Plumbing Fixtures	1	Isum	-	-	Included	-	-	\$0.00	0.0%
		Plumbing Subtotal						380,000	\$35.67	2.1%
<u>HVAC</u>										
24000	HVAC Bid Package	1	Isum	-	-	903200	903,200	903,200	\$84.78	5.1%
24000	Chilled Water Air Handling Unit	1	each	-	-	Included	-	-	\$0.00	0.0%
24000	Roof Mounted Exhaust Fans	5	each	-	-	Included	-	-	\$0.00	0.0%
24000	Fan Coil Unit	2	each	-	-	Included	-	-	\$0.00	0.0%
24000	VAV Boxes	10	each	-	-	Included	-	-	\$0.00	0.0%
24000	Louvers	5	each	-	-	Included	-	-	\$0.00	0.0%
24000	Dampers	1	each	-	-	Included	-	-	\$0.00	0.0%
24000	Chilled Water Piping	1	Isum	-	-	Included	-	-	\$0.00	0.0%
24000	Condensate Piping	1	Isum	-	-	Included	-	-	\$0.00	0.0%
24000	Ductwork	1	Isum	-	-	Included	-	-	\$0.00	0.0%
24000	Air Devices	1	Isum	-	-	Included	-	-	\$0.00	0.0%

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 SQFT: **10,653**
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			UNIT	TTL	UNIT	TTL	UNIT	TOTAL			
24000	VFDs	4	each	-	-	-	Included	-	-	\$0.00	0.0%
24000	Test and Balance	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
24000	DDC Controls	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
24000	Commissioning	1	lsum	-	-	19775	-	19,775	19,775	\$1.86	0.1%
24000	GPR Utility Location	4	days	-	-	1850	-	7,400	7,400	\$0.69	0.0%
24000	Commissioning Assistance	10	days	-	-	1800	-	18,000	18,000	\$1.69	0.1%
			HVAC Subtotal						948,375	\$89.02	5.3%
<u>Electrical</u>											
26000	Electrical Bid Package	1	lsum	-	-	1970511	-	1,970,511	1,970,511	\$184.97	11.1%
26000	Electrical Gear	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
26000	Automatic Transfer Switches	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
26000	Generator	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
26000	Fixtures and Lighting Controls	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
26000	Receptacles and Connections	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
26000	Wiring	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
26000	Disconnects	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
26000	Low Voltage Rough In for Fire Alarm	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
26000	Lightning Protection	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
26000	BDA Survey	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
26000	Structured Cabling	1	lsum	-	-	656427	-	656,427	656,427	\$61.62	3.7%
26000	Structured Cabling Tie In to FA	1	lsum	-	-	15785	-	15,785	15,785	\$1.48	0.1%
26000	Restoration @ Structured Cabling Run to ASB	1035	lnft	-	-	80	-	82,800	82,800	\$7.77	0.5%
26000	Fire Alarm	1	lsum	-	-	108044	-	108,044	108,044	\$10.14	0.6%
26000	BTS / PCSO IT Allowance	1	allowance	-	-	274196	-	274,196	274,196	\$25.74	1.5%
26000	Site Logistics Light Pole Demolition / Reinstallation	12	allowance	-	-	6750	-	81,000	81,000	\$7.60	0.5%
26000	Gate Demolition / Relocation - Electrical	1	allowance	-	-	15000	-	15,000	15,000	\$1.41	0.1%
26000	New Data / Power @ Temporary Guardshack	1	allowance	-	-	30000	-	30,000	30,000	\$2.82	0.2%
26000	DAS System - Cell Phone	1	allowance	-	-	50000	-	50,000	50,000	\$4.69	0.3%
26000	DAS System - Life Safety	1	allowance	-	-	75000	-	75,000	75,000	\$7.04	0.4%
26000	Duke Energy Vault / Feeder Relocation	1	allowance	-	-	200000	-	200,000	200,000	\$18.77	1.1%
26000	Duke Energy Power Meter / Pull Box Removal	1	allowance	-	-	50000	-	50,000	50,000	\$4.69	0.3%
26000	Duke Energy Light Pole Removal / Relocation	6	allowance	-	-	10000	-	60,000	60,000	\$5.63	0.3%
26000	Tapered Monopole Tower w/ Foundations	1	allowance	-	-	200000	-	200,000	200,000	\$18.77	1.1%
26000	Installation of Owner Supplied Monopole Tower Equipment	1	allowance	-	-	45000	-	45,000	45,000	\$4.22	0.3%
			Electrical Subtotal						3,913,763	\$367.39	22.0%
<u>Electronic Safety and Security</u>											
28000	Electronic Safety and Security Bid Package	1	lsum	-	-	943100	-	943,100	943,100	\$88.53	5.3%
28000	Access Control System	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
28000	IP Video Communication System	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
28000	Touchscreen Control Station & Section	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
28000	Event Recording System	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
28000	PLC Electronic Detention Monitoring and Control System	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
28000	Intercom System	1	lsum	-	-	-	Included	-	-	\$0.00	0.0%
28000	Security Systems @ Relocated Gate (Accurate Controls Scope)	1	allowance	-	-	20000	-	20,000	20,000	\$1.88	0.1%
28000	CCTV @ Temporary Guardshack	1	allowance	-	-	15000	-	15,000	15,000	\$1.41	0.1%
			Electrical Subtotal						978,100	\$91.81	5.5%
<u>Surveying & Material Testing</u>											
18500	Surveying	1	lsum	-	-	30000	-	30,000	30,000	\$2.82	0.2%
18500	Material Testing	1	allowance	-	-	75000	-	75,000	75,000	\$7.04	0.4%
			Surveying & Material Testing Subtotal						105,000	\$9.86	0.6%
<u>Permits & Insurance</u>											
18500	Plans Exam Fees	1	allowance	-	-	155870	-	155,870	155,870	\$14.63	0.9%
18500	Certificate of Occupancy	0	lsum	-	-	-	By Owner	-	-	\$0.00	0.0%
18500	Impact Fees	0	lsum	-	-	-	By Owner	-	-	\$0.00	0.0%
			Permits & Insurance Subtotal						155,870	\$14.63	0.9%
<u>Temporary Construction</u>											
18500	Temporary Fencing	1	allowance	-	-	209408.4	-	209,408	209,408	\$19.66	1.2%
18500	Utilization of Existing Temporary Security Fencing	1163	lnft	-	-	-	Included	-	-	\$0.00	0.0%
18500	6' Temp Fencing Post Driven w/ Top Rail	3562	lnft	-	-	-	Included	-	-	\$0.00	0.0%
18500	4' Temp Fencing Post Driven w/ Top Rail	401	lnft	-	-	-	Included	-	-	\$0.00	0.0%
18500	Demo of Existing Security Fencing	290	lnft	-	-	-	Included	-	-	\$0.00	0.0%
18500	New 12' Security Fencing w/ Concertina Wire	1153	lnft	-	-	-	Included	-	-	\$0.00	0.0%
18500	Relocation of Existing Temporary Fencing	170	lnft	-	-	-	Included	-	-	\$0.00	0.0%
18500	Portalet @ Temporary Guardshack	16	mnths	-	565	9,040	-	-	9,040	\$0.85	0.1%
18500	Delivery and Freight for Guardshack - In & Out	1	lsum	-	-	9500	-	9,500	9,500	\$0.89	0.1%
18500	BIG Enterprises 8 x 10 Temporary Guardshack	1	lsum	-	64885	64,885	10000	10,000	74,885	\$7.03	0.4%
18500	Temporary Protection	1	lsum	-	12500	12,500	-	-	12,500	\$1.17	0.1%
			Temporary Construction Subtotal						315,333	\$29.60	1.8%
<u>Misc. Project Costs Subtotal</u>											
18500	Small Tools & Equipment	25	mnth	-	802.5	20,063	-	-	20,063	\$1.88	0.1%
18500	Lull /Forklift /Large Tools & Equipment	0	mnth	-	1605	-	-	-	-	\$0.00	0.0%
18500	Trash Hauling	120	pull	-	481.5	57,780	-	-	57,780	\$5.42	0.3%



Tab 5
General Requirements

JOB TITLE:
JOB LOCATION:

Pinellas County Jail SEC
Clearwater
General Requirements

DATE: May 24, 2024 revised July 1, 2024
SQFT: 10,653 10,653
DURATION: 25 MONTHS

DESCRIPTION	QUAN	UNT	UNIT LAB	TTL LAB	UNIT MAT'L	TTL MAT'L	UNIT SUB	TOTAL SUB	TOTAL	TOTAL \$/SF
<u>Misc. Project Costs</u>										
18500 Lull / Forklift	16	mnth	-	-	1337.5	21,400	-	-	21,400	\$2.01
18500 Large Tools & Equip.	25	mnth	-	-	535	13,375	-	-	13,375	\$1.26
18500 Moving Boxes	0	lsum	-	-	-	-	-	-	-	\$0.00
18500 Misc. Equipment / Fuel	25	mnth	-	-	535	13,375	-	-	13,375	\$1.26
18500 Field Toilets	25	mnth	-	-	481.5	12,038	-	-	12,038	\$1.13
18500 Temporary Water Set Up (Field/Trailer)	1	lsum	-	-	2675	2,675	-	-	2,675	\$0.25
18500 Temporary Electric Trailer	25	mnth	-	-	535	13,375	-	-	13,375	\$1.26
18500 Field Phone / Install	1	lsum	-	-	2675	2,675	-	-	2,675	\$0.25
18500 Field Phone	25	mnth	-	-	481.5	12,038	-	-	12,038	\$1.13
18500 Relocate Utilities (Not Including Duke)	1	allowance	-	-	25000	25,000	-	-	25,000	\$2.35
18500 Internet	25	mnth	-	-	374.5	9,363	-	-	9,363	\$0.88
18500 Field Trailer	25	mnth	-	-	3370.5	84,263	-	-	84,263	\$7.91
18500 Field Trailer Set-up / Take-Down	1	each	-	-	10486	10,486	-	-	10,486	\$0.98
18500 Procure	25	months	-	-	1258.32	31,458	-	-	31,458	\$2.95
18500 Stairs / Deck	1	sets	-	-	1605	1,605	-	-	1,605	\$0.15
18500 Holding Tank	25	mnth	-	-	642	16,050	-	-	16,050	\$1.51
18500 Temporary Water Meter	1	each	-	-	500	500	-	-	500	\$0.05
18500 Temporary Water Consumption	25	mnth	-	-	250	6,250	-	-	6,250	\$0.59
18500 Temporary Electric Service	2	each	-	-	3500	7,000	-	-	7,000	\$0.66
18500 Temporary Electric Consumption	25	mnth	-	-	1500	37,500	-	-	37,500	\$3.52
18500 Copier Rental	25	mnth	-	-	550	13,750	-	-	13,750	\$1.29
18500 Rental Tools	10	mnth	-	-	-	-	-	-	-	\$0.00
18500 Aerial Photography	3	months	-	-	-	-	-	-	-	\$0.00
18500 Contract Cleaning	1	sqft	-	-	incl in est	-	-	-	-	\$0.00
18500 Window Cleaning		sqft	-	-	incl in est	-	-	-	-	\$0.00
18500 Safety Rails	0	lnft	-	-	-	-	-	-	-	\$0.00
18500 Construction Signage	25	months	-	-	197.95	4,949	-	-	4,949	\$0.46
18500 Trash Hauling	0	pulls	-	-	481.5	-	-	-	-	\$0.00
18500 Casual Labor	0	weeks	-	-	0	-	-	-	-	\$0.00
18500 Drinking Water	0	mnth	-	-	80.25	-	-	-	-	\$0.00
18500 Dust Control	0	months	-	-	214	-	-	-	-	\$0.00
18500 Safety	0	mnth	-	-	133.75	-	-	-	-	\$0.00
18500 Security	3	mnth	-	-	-	-	n/a	-	-	\$0.00
18500 Postage	3	mnth	-	-	-	-	-	-	-	\$0.00
18500 Office Supplies	25	mnth	-	-	481.5	12,038	-	-	12,038	\$1.13
18500 Computers	1	lsum	-	-	-	-	-	-	-	\$0.00
18500 Admin. Computer	1	lsum	-	-	-	-	-	-	-	\$0.00
18500 Legal Advertising	0	months	-	-	214	-	-	-	-	\$0.00
18500 Project Sign	1	each	-	-	-	-	-	-	-	\$0.00
18500 CPM Schedule	25	mnth	-	-	-	-	350	8,750	8,750	\$0.82
18500 CPM Setup	1	lsum	-	-	-	-	0	-	-	\$0.00
18500 As-Built / CAD	1	allowance	-	-	-	-	-	-	-	\$0.00
<u>Misc. Project Costs Subtotal</u>									359,910	\$33.78

SUB TOTAL:										
						351,160		8,750	359,910	\$33.78
						351,160		8,750	359,910	\$33.78



COST CHECK:		359,910	\$33.78
Gen Req		\$ 359,910	\$33.78



Tab 6
General Conditions



Tab 7
Schedule of Allowances



Pinellas County Jail SEC
May 24, 2024 revised July 1, 2024

ALLOWANCES

Item #	DESCRIPTION	AMOUNT	STATUS			Notes
1	Builders Risk Insurance	\$ 80,080				
2	Relocation of Fire Hydrant	\$ 7,500				
3	Temporary Road Sitework	\$ 178,374				
4	Temporary Guardshack Sitework	\$ 118,289				
5	Desk / Countertops @ Guardshack	\$ 10,500				
6	Structural EOR Allowances	\$ 108,000				
7	Moisture Mitigation	\$ 11,771				
8	Inmate Fund Kiosk	\$ 15,000				
9	Interior Signage	\$ 10,365				
10	Secure Corridor Desk	\$ 6,500				
11	Site Logistics Light Pole Demolition / Reinstallation	\$ 81,000				
12	Gate Demolition / Relocation - Electrical	\$ 15,000				
13	New Data / Power @ Temporary Guardshack	\$ 30,000				
14	DAS System - Cell Phone	\$ 50,000				
15	DAS System - Life Safety	\$ 75,000				
16	Duke Energy Vault / Feeder Relocation	\$ 200,000				
17	Duke Energy Power Meter / Pull Box Removal	\$ 50,000				
18	Duke Energy Light Pole Removal / Relocation	\$ 60,000				
19	Tapered Monopole Tower w/ Foundations	\$ 200,000				
20	Installation of Owner Supplied Monopole Tower Equipment	\$ 45,000				
21	Security Systems @ Relocated Gate (Accurate Controls Scope)	\$ 20,000				
22	CCTV @ Temporary Guardshack	\$ 15,000				
23	Temporary Fencing	\$ 209,408				
24	Plans Exam Fees	\$ 155,870				
25	Material Testing	\$ 75,000				
26	Sheriff Escorts	\$ 100,000				
27	Relocate Utilities (Not Including Duke)	\$ 25,000				
28	BTS / PCSO IT Allowance	\$ 274,196				
29	Electric Strikes per Qualification 8a	\$ 20,000				

Total Allowances \$ **2,246,853**



Tab 8
RFI Log

REQUEST FOR INFORMATION LOG

Pinellas County Jail SEC - GMP Clearwater, FL

4/24/2024 10:25

Responses

Red = Architect
Blue = Owner
Green = Contractor



RFI Question No.	RFI Date	Bid Package	RFI Question	Response from A/E / Owner	RFI Response Date	Status	BD&C Acknowledgement
1	2/13/2024	Detention	Previous iterations of the design featured detention drawings (DT0.1, DT1.1, and DT1.2). However, it appears they are no longer in the project. 1) Please confirm they have been removed from the project 2) Please confirm that all relevant information previously contained in them has been incorporated into the architectural	The sheets have been removed and the data folded into the rest of the set	3/7/2024	Closed	03/07/24
2	2/14/2024	Firestopping	The MEPF specifications make several mentions of a division 07 "Penetration Firestopping" specification section. Please confirm that this specification is not included in the specification book.	There are fire rated walls, so firestopping will be required - specification section to be added at addendum.	2/19/2024	Closed	02/20/24
3	2/14/2024	Firestopping	Please confirm that a single source penetration firestopping subcontractor is not required.	All fire rated walls will require fire stopping of all penetrations. Owner is not concerned with each sub seeing penetrations or single responsibility. Owner requirement is every penetration must have identification sticker, with UL designation, firm and person sealing the penetration, date, etc. - Larry Dickie	2/19/2024	Closed	02/22/24
4	2/14/2024	General	There is a specification section 01 81 13.13 "Sustainable Design Requirements - LEED for New Construction and Major Renovations #2200-05". Please confirm that this project has no LEED requirements.	Actually obtaining a LEED certification is not required; however, we need verification the Project meets at a minimum all requirements for a "certified" rating. - Larry Dickie	2/19/2024	Closed	02/22/24
5	2/14/2024	General	Note: A2.4, A2.5, A3.4, and A4.1 are missing from the drawing index.	Updated index to be delivered with the first addendum	2/19/2024	Closed	02/20/24
6	2/14/2024	HVAC	Civil sheet C-401 shows the chilled water piping being run to the north further east than on sheet M1.0. Please confirm that sheet M1.0 shows the correct route.	Line adjusted in civil drawings - M1.0 to control	--	Closed	03/07/24
7	2/14/2024	Landscaping	The accepted temporary guard shack plan showed us removing all trees on the south side of the site in order to build a sidewalk. Sheet LA-1 shows tree barricades around these trees. Please confirm that it is still acceptable to remove these trees.	We have not seen a final, accepted plan and have not issued any drawings for one, so the current design documents do not reflect any of the potential temp work. Once we have an approved plan, we can work on any documentation required. Site bidders include removal of all trees - KP	2/19/2024	Closed	02/20/24
8	2/14/2024	Waterproofing	Please confirm that the fluid applied membrane air barrier described in specification section 07 27 26 Fluid Applied Membrane Air Barriers are only required for the metal wall and soffit and not the CMU veneer.	The fluid applied membrane is behind the CMU veneer on the 8" block wall face in the cavity.	2/19/2024	Closed	02/20/24
9	2/14/2024	Waterproofing	Please confirm if any damproofing is required in this project.	Damproofing is not required - we have the fluid applied membrane as our air barrier and water proofing membrane everywhere. There will be a waterproofing membrane required at the bermed earth wall - this area needs additional details and will be added in the addendum Dampproofing to be excluded - KP 4.24.24	2/19/2024	Closed	
10	2/14/2024	Waterproofing	Specification section 09 90 00 Painting and Coatings is calling for a 40% silane water repellent on the outside of the CMU veneer. Please confirm that this is required.	Silane Waterproofing to be priced as an alternate - Larry Dickie	2/19/2024	Closed	02/20/24

REQUEST FOR INFORMATION LOG

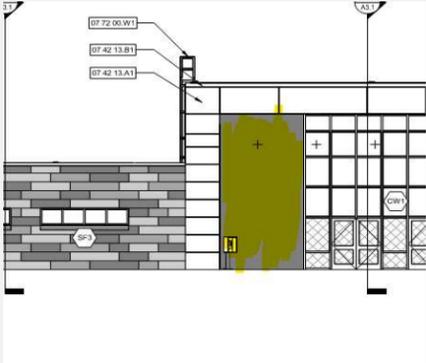
Pinellas County Jail SEC - GMP Clearwater, FL

4/24/2024 10:25

Responses

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RFI Question No.	RFI Date	Bid Package	RFI Question	Response from A/E / Owner	RFI Response Date	Status	BD&C Acknowledgement
11	2/14/2024	Masonry	<p>The floor plan on A1.1 appears to show the wall on the east entrance highlighted below as CMU veneer. However, the exterior elevation details on A2.4 do not show a pattern in this area. Please provide clarification on this wall.</p> 	<p>It is CMU veneer, all one color. That color also intends into the interior block on the west wall of the restrooms. Will clarify in the addendum drawings.</p>	2/19/2024	Closed	02/20/24
12	2/14/2024	Masonry	<p>Sheet S2.1 has a "ballistic wall" and a "high security wall" called for on the wall key with a note calling to "coordinate w/ arch. drawings". Please clarify where on the architectural drawings these wall types need to be coordinated and if the locations are any different than what is shown on S2.1.</p>	<p>The wall types shown are as detailed in the structural drawings - there is nothing to coordinate in the architectural drawings other than any openings show in those walls, which should be covered in the security drawings and detention opening information.</p>	2/19/2024	Closed	02/20/24
13	2/14/2024	Canopy	<p>Is there a specification for the cantilevered aluminum canopy called out as 10 73 00.W1 on A1.4?</p>	<p>Will add 10 73 00 specification for aluminum canopies - it's a basic cantilevered aluminum canopy from a walkway manufacturer, like Peachtree.</p>	2/19/2024	Closed	02/20/24
14	2/20/2024	Glass	<p>Please provide a frame elevation / glass elevation for CW9 frame found on the west elevation</p>	<p>Added to drawings</p>		Closed	03/07/24
15	2/20/2024	Glass	<p>The glass tint for glass types GL1 and GL2 do not match the tint for SG3A. Is this correct? Or, should they match tint?</p>	<p>SG3A to match attached cutsheet. Note: Detention glass will still appear darker, even without a tint due to the overall thickness.</p>	3/7/2024	Closed	03/07/24
16	2/20/2024	Glass	<p>Door #7.03 is an aluminum door with aluminum frame but also as a "DF" and detention frame. None of the other aluminum door are so indicated. Is this an aluminum door/fr or a detention door/fr? What hardware group does this door belong to</p>	<p>This is not a detention door</p>	3/7/2024	Closed	03/12/24

REQUEST FOR INFORMATION LOG

Pinellas County Jail SEC - GMP Clearwater, FL

4/24/2024 10:25

Responses

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RFI Question No.	RFI Date	Bid Package	RFI Question	Response from A/E / Owner	RFI Response Date	Status	BD&C Acknowledgement
19	2/20/2024	Acoustical Wall Panels	<p>The drawings are calling for an AWP-01 and AWP-02. Please confirm that AWP-02 is the second item specified below in section 09 84 00.</p> <div style="border: 1px solid black; padding: 5px; margin: 10px 0;"> <p>1. AWP- 01: thick Acoustic Wall Panels: AVL Systems, 5540 Southwest 6th Place, Ocala, Florida 34474. Tel: 1-800-228-7842, www.avlonline.com. Other acceptable manufacturers</p> <ol style="list-style-type: none"> Wenger Kinetics Acoustical Resources Conwed WhisperWall <p>2. Pyramidal Sound Diffusing Wall and Ceiling Panels: AVL Systems, 5540 Southwest 6th Place, Ocala, Florida 34474. Tel: 1-800-228-7842 Other acceptable manufacturers</p> <ol style="list-style-type: none"> Wenger Kinetics Acoustical Resources Conwed </div>	The two AWP designations are for color - see I5.4. The pyramidal panel is not used.	3/7/2024	Closed	03/07/24
20	2/20/2024	Electrical	Note 6 on sheet T1.1 calls for a round tapered 45' monopole tower. Is there any additional information on this tower and what it is going to be used for?	<p>There is no further information - it will be a delegated design by the tower manufacturer/installer. This is a radio tower for the owner to mount antennas. Antenna mounts, antennas, and cables for other radios not indicated in contract documents will be by owner.</p> <p>Additional information provided by WDA on 4/24/24 - KP</p>	3/7/2024	Closed	See email Larry to Jonathan, CC to Ken 03/12/24 @ 1:54pm
21	2/20/2024	Electrical	On sheet T0.2, all new technology conduits get inner duct in them. On sheet T0.3, all conduits are shown to be existing and will get new cabling/fiber in them. Do these conduits already have innerduct in them, or if not, will it be required (not called out to be added)?	Add a 3 cell maxcell outdoor innerduct to existing raceways for running new cables		Closed	03/07/24
22	2/22/2024	Glass	<p>See RFI received from a glass bidder:</p> <p>Although the makeup for each type of glass is listed, they were unable to find references to performance such as "level 3" or other performance such as test to be preformed etc.</p> <p>Please have the Design Professional provide the following additional information:</p> <p>#1 – ballistic threat level to be meet #2 – UL testing requirements #3 – Where the listed composition came from i.e. Kuraray, a security glass fabricator, or some other source.</p>	The glazing called out is a proprietary make-up that matches the glazing provided at the entry pavilion for the CJC fabricated by Smartguard - see updated sheet with designation	3/7/2024	Closed	03/12/24
23	2/22/2024	Civil	Please provide which "WM" are domestic / porable and which are fire water mains	WMs have been labeled on C-401	3/7/2024	Closed	03/07/24

REQUEST FOR INFORMATION LOG

Pinellas County Jail SEC - GMP Clearwater, FL

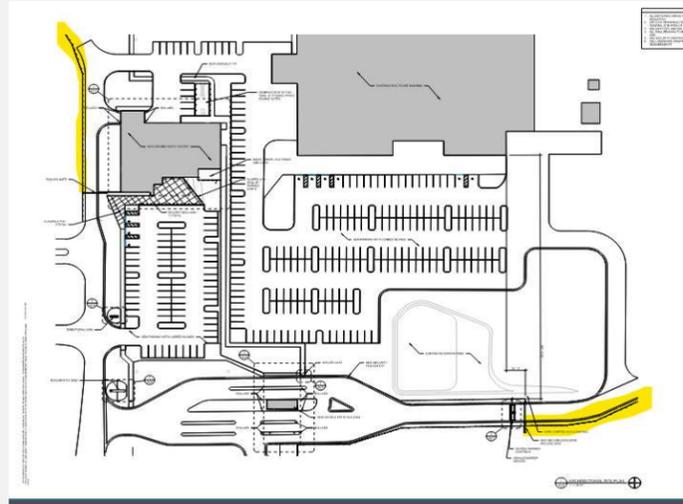
4/24/2024 10:25

Responses

Red = Architect
Blue = Owner
Green = Contractor



RFI Question No.	RFI Date	Bid Package	RFI Question	Response from A/E / Owner	RFI Response Date	Status	BD&C Acknowledgement
24	2/22/2024	Civil	The 8" that is getting relocated on site is not called out as Fire line but the plans call to tee off 6" fire line for the new building. Should the 8" reroute be DR 14 or DR 18 ?	All Fire Lines shall be DR 14, including the 8" reroute	3/7/2024	Closed	03/07/24
25	2/22/2024	Fencing	Is there any additional information on the secure lockdown rolling gate?	Basis of design is Tymetal Fortress Cantilevered Gate - detail added to drawings	3/7/2024	Closed	03/07/24
26	2/22/2024	Furniture	How many duplex receptacles will be needed per workstation?	Provide 2 per station	3/7/2024		03/14/24
27	2/22/2024	Furniture	The specs only call out the Secure Waiting Room having back-to-back seating. Do you need the single 4 pack in release waiting and the 3 pack in the other small waiting room?	The schedule on I1.3 shows the furniture required in each space	3/7/2024	Closed	03/07/24
28	2/26/2024	Fencing	Please confirm that the highlighted areas are existing security fencing and are not new security fencing.	See updated architectural site plan for clarification - the fence to the south is a new fence, specifically a replacement fence for an existing fence that will be relocated/removed as part of the phased work in that area. If the fence is serviceable, it can be re-used. The fence to the north is existing to remain.	3/7/2024	Closed	03/07/24



REQUEST FOR INFORMATION LOG

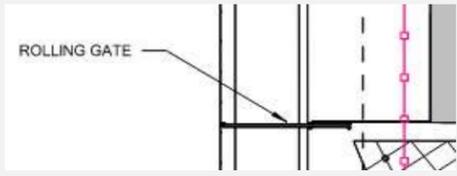
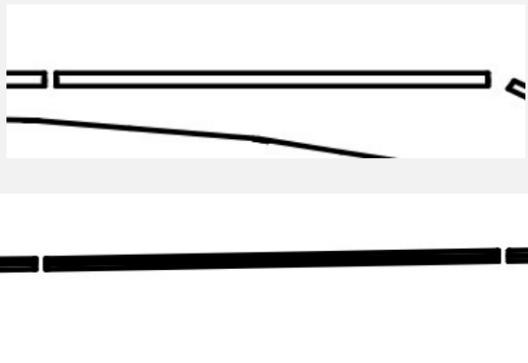
Pinellas County Jail SEC - GMP Clearwater, FL

4/24/2024 10:25

Responses

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Blue = Owner
Green = Contractor



RFI Question No.	RFI Date	Bid Package	RFI Question	Response from A/E / Owner	RFI Response Date	Status	BD&C Acknowledgement
29	2/26/2024	Fencing	<p>Is there any further information on the rolling gate adjacent to the building shown on A0.6?</p> 	Basis of design is Tymetal Fortress Cantilevered Gate - detail added to drawings	3/7/2024	Closed	03/07/24
30	2/26/2024	Fencing	<p>On sheet A0.6 there are two different types of fence lines drawn for the security fencing. Please confirm whether or not there are any differences between the two.</p> 	The graphics have been updated on the architectural site plan in an attempt to provide clarity.	3/7/2024	Closed	03/07/24
31	2/26/2024	Furniture	<p>Please see attached furniture substitution request for Allsteel furniture</p> 	HON is not an approved equal to Allsteel	3/7/2024		03/12/24

REQUEST FOR INFORMATION LOG

Pinellas County Jail SEC - GMP Clearwater, FL

4/24/2024 10:25

Responses

Red = Architect
Blue = Owner
Green = Contractor



RFI Question No.	RFI Date	Bid Package	RFI Question	Response from A/E / Owner	RFI Response Date	Status	BD&C Acknowledgement
32	2/26/2024	Finishes	<p>The vehicle entry building is not shown on the finish plans / schedule. Please confirm the following:</p> <p>1) What are these walls made of and what is the finish on them?</p>  <p>2) The wall finish is painted CIP concrete on the remainder of the walls 2) The floor finish is sealed concrete 3) Are the toilet accessories are to match staff toilet 08.337 for the restroom</p>	<p>1 - framed furring wall - liquid applied vapor barrier on the concrete, 3-5/8" studs with batt insulation, and 5/8" gyp board with tile in the restroom, and paint everywhere else.</p> <p>2 - All restroom walls are tile full height - all others are painted exposed CIP</p> <p>3 - The floor finish in the restroom is tile - all others are sealed concrete</p> <p>4 - The toilets accessories do match</p>	3/7/2024	Closed	03/07/24
33	2/26/2024	Glass	Sheet I2.1 shows the reception desk to receive GL-01, which is not ballistic rated. However 6 / I3.1 shows it to receive a level 3 ballistic glazing. Please provide clarification on the glazing the reception / security desk receives	The glazing at the front desk in the lobby should be SG3BR glazing that is documented in spec section 08 88 53 - drawing updated	3/7/2024	Closed	03/07/24
34	2/26/2024	Glass	6 / I3.1 shows a "framing system" at the reception desk. Is the intent for this to be a detention glazing system or a normal commercial system?	Similar to TSS framing system used at CJC - must be level III ballistic rated.	3/7/2024	Closed	03/07/24
35	2/26/2024	Detention	6 / I3.1 shows a "black stainless steel woven cable mesh" over the reception desk. Is there any additional information regarding anchoring and material specifications?	The note calls out the material specifications - anchoring to be continuous stainless steel tension bar fastened to top of the ballistic framing at 8" OC	3/7/2024	Closed	03/07/24
36	2/27/2024	Detention	Detention doors 8.329, 8.339, and 8.340 have door type "DJ" listed. However, this is not shown under detention door types. Please advise what type of door this is.	Type DJ added	3/7/2024	Closed	03/07/24



Tab 9
Project Schedule

PINELLAS COUNTY JAIL SECURITY AND ENTRY PROJECT - TEMP RD OPTION

Activity ID	Activity Name	Orig Dur	Cal	Start	Finish	2024												2025												2026																								
						F				M				A				M				F				M				A				M				J				J												
SECURITY AND ENTRY PROJECT - TEMP RD OPTION																																																						
DESIGN & PRECONSTRUCTION PHASE																																																						
DESIGN																																																						
19	Permit Set / GMP Documents to CCI	1	CAL1	04-Apr-24*	04-Apr-24																																					I	Permit Set/ GMP Documents to CCI											
PERMITTING																																																						
20	Building Permit Process	46	CAL1	05-Apr-24	10-Jun-24																																						Building Permit Process											
GUARANTEED MAXIMUM PRICE																																																						
21	CCI GMP Process and Approval	48	CAL1	07-Feb-24*	12-Apr-24																																						CCI GMP Process and Approval											
22	GMP Board Approval Process	41	CAL1	15-Apr-24	11-Jun-24																																						GMP Board Approval Process											
EARLY RELEASE PROCUREMENT																																																						
AWARD & RELEASE SHOP DWGS																																																						
24A	Award Early Release Items	1	CAL1	06-May-24*	06-May-24																																					I	Award Early Release Items											
PREPARE, ISSUE & APPROVE EARLY RELEASE SHOP DWGS																																																						
24B	Submit & Approve Storm Structures	30	CAL1	06-May-24	17-Jun-24																																						Submit & Approve Storm Structures											
25B	Submit & Approve Security Fencing & Gate	30	CAL1	06-May-24	17-Jun-24																																						Submit & Approve Security Fencing & Gate											
26B	Submit & Approve Site Elec Poles & Fixts	20	CAL1	06-May-24	03-Jun-24																																						Submit & Approve Site Elec Poles & Fixts											
27B	Submit & Approve Chilled Water Piping	15	CAL1	06-May-24	24-May-24																																						Submit & Approve Chilled Water Piping											
30	Submit & Approve Temporary Guardhouse	40	CAL1	07-May-24	02-Jul-24																																						Submit & Approve Temporary Guardhouse											
EARLY RELEASE FABRICATION & DELIVERIES																																																						
24C	Fab & Del Storm Structures	60	CAL1	18-Jun-24	11-Sep-24																																						Fab & Del Storm Structures											
25C	Fab & Del Security Fencing & Gate	40	CAL1	18-Jun-24	13-Aug-24																																						Fab & Del Security Fencing & Gate											
26C	Fab & Del Site Elec Poles & Fixts	60	CAL1	04-Jun-24	27-Aug-24																																						Fab & Del Site Elec Poles & Fixts											
27C	Fab & Del Storm Chilled Water Piping	20	CAL1	28-May-24	24-Jun-24																																						Fab & Del Storm Chilled Water Piping											
33	Fab & Del Temporary Guardhouse	80	CAL1	03-Jul-24	24-Oct-24																																						Fab & Del Temporary Guardhouse											
LONG LEAD PROCUREMENT PHASE																																																						
AWARD LONG LEAD																																																						
24	Award Long Lead Items	10	CAL1	12-Jun-24	25-Jun-24																																						Award Long Lead Items											

Data Date: 06-Feb-24
 Start Date: 07-Feb-24
 Finish Date: 14-Jul-26
 Project ID: PCJSENTRP5

█ Actual Level of Effort
 █ Critical Re...
█ Actual Work
█ Remaining Work

"PRELIMINARY" - FOR IN HOUSE REVIEW AND COMMENT
 INCORP R. JOHNSON 2ND 4/9/24 E-MAIL AND 4/10/24 CONF CALL DISCUSSIO
 CAL 1 = 5 WORK DAYS/WK WITH TYPICAL HOLIDAYS
 TREATED AS NON-WORK DAYS





Tab 10
Phasing Plans

PHASE 1 - N/E PARKING LOT

Fencing Key:

Dark Blue - Utilize Existing Temp Security Fencing

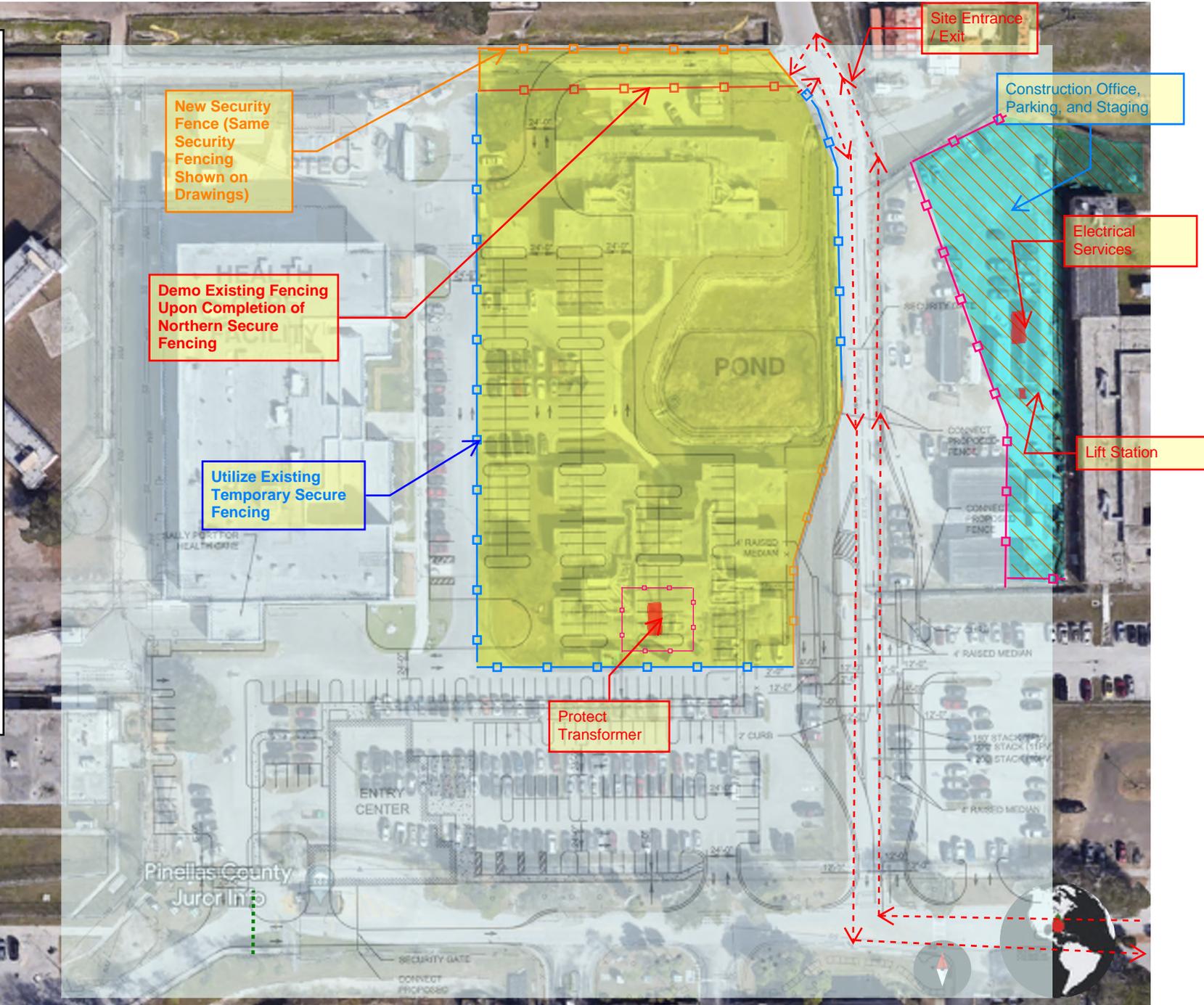
Purple - 6' Temp Fencing Post Driven w/ Top Rail

Red - Demo Existing Security Fence

Orange - New Security Fencing (Same as Specified on Plans)

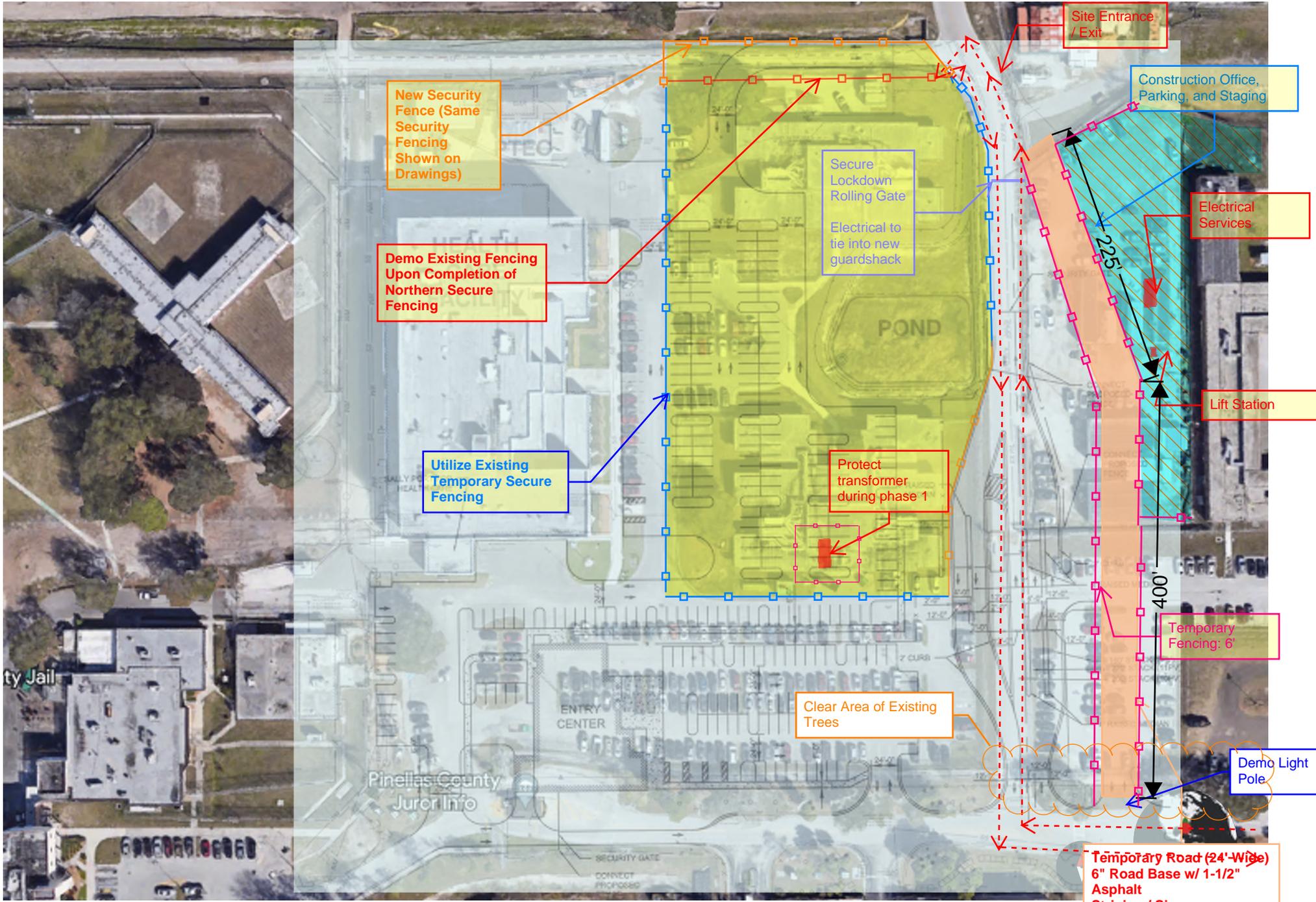
Light Blue - 4' Temp Fencing Post Driven w/ Top Rail

Green - Relocate Existing Temp Fencing South



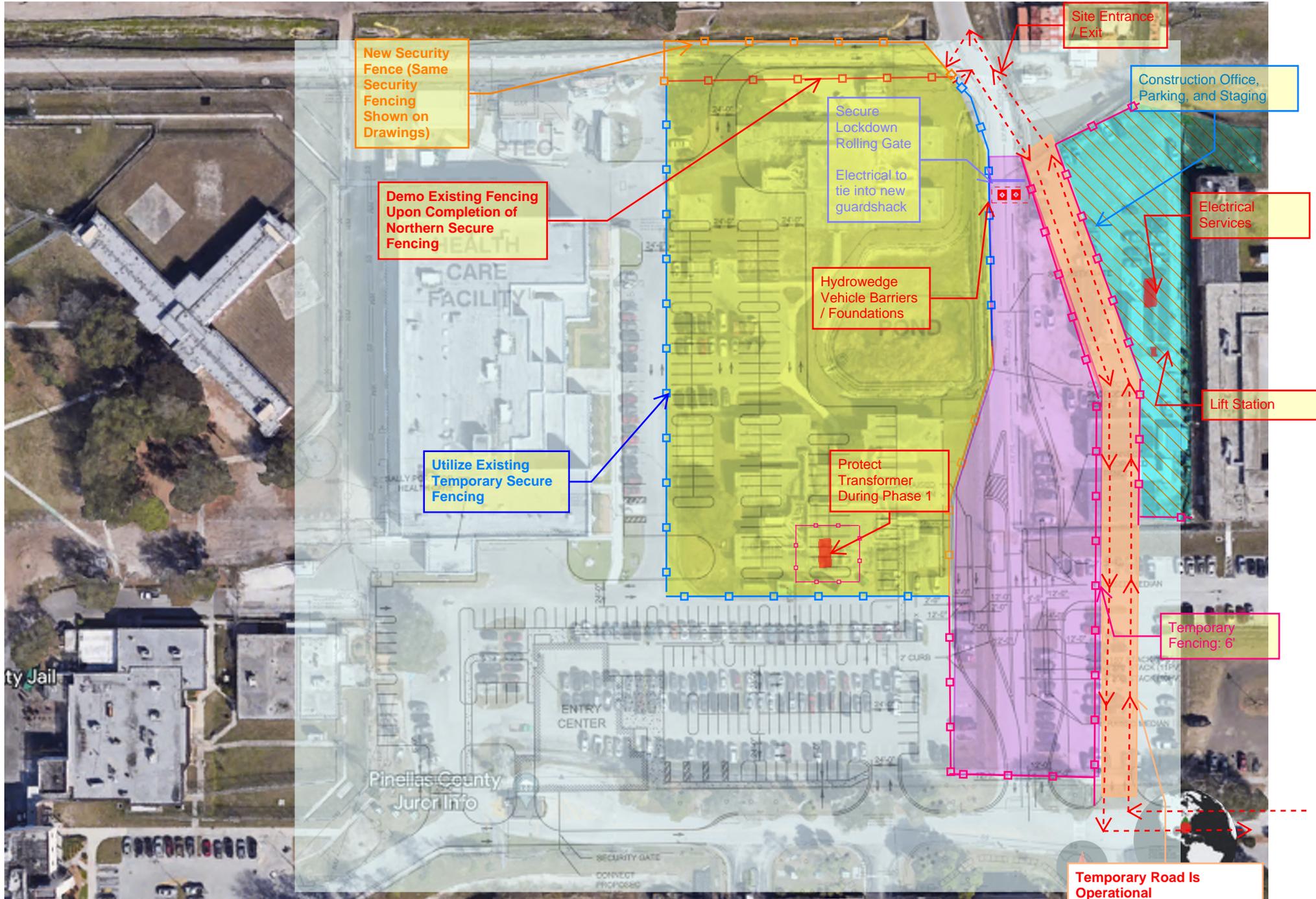
NOT TO SCALE

PHASE 1.5 - TEMPORARY ROAD



NOT TO SCALE

PHASE 2 - CONSTRUCT NEW GUARD STATION & DRIVE



NOT TO SCALE

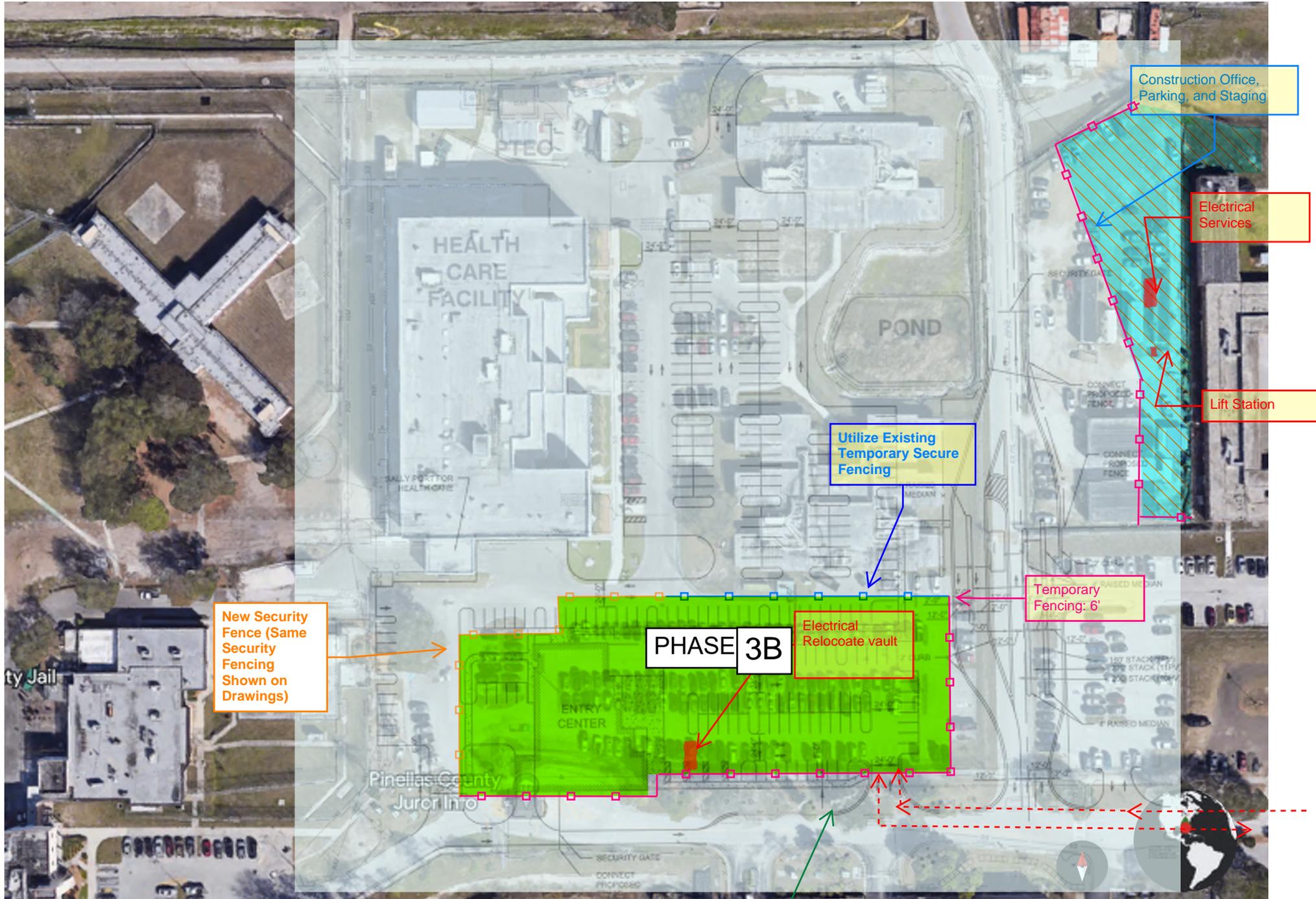
PHASE 3A - TEMPORARY GUARD HOUSE



PHASE 4 - REMOVE TEMPORARY GUARDSHACK

NOT TO SCALE

PHASE 3B - NEW SEC



NOT TO SCALE

Site Entrance / Exit - Phase 2
Sitework install new entry



Tab 11
Qualifications, Clarifications, and Assumptions



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The following qualifications are submitted as an attachment to the Guaranteed Maximum Price (GMP) proposal and shall be incorporated into any agreement between the Owner and Creative Contractors, Inc. Where conflicts exist between language in this qualifications, assumptions and clarifications document, the Agreement (and Addendums), and the Contract Documents, this qualifications, assumptions, and clarifications document shall govern.

Section 01 – General Qualifications

1-1. Basis of GMP

- a) *Plans* prepared by Williamson Design Associates dated 2/2/2024 and titled “PINELLAS COUNTY JAIL SEC”.
- b) *Specifications* prepared by Williamson Design Associates dated 2/2/2024 and titled “Pinellas County Sheriff’s Office Jail Secure Entry Center”.
- c) A Drawings, specifications, and documents List is included in this GMP Report. This drawing and specifications log is a record of the latest issued revision and its corresponding date only.
- d) Currently, we have received 37 out of 37 RFI responses to Preconstruction RFIs and these are included in the GMP.
- e) We have received 3 addenda and these are included in the GMP. Addendum #1 is dated 3/11/24, Addendum #2 is dated 3/18/2024, and Addendum #3 is dated 5/8/24.
- f) Substitutions have been included in pricing this scope of work and are further detailed by these qualifications. The following list includes, but is not limited to, all of the pure substitutions detailed in these qualifications. Some qualifications include items that are the result of the drawings and specifications conflicting. These items are not included on this list.
 - i. Curtainwall / storefront / glass / aluminum doors
 - ii. Fluid applied waterproofing
- g) The Owner and Architect shall provide electronic files to the CM upon request and execution of the proper release at no additional cost to the CM.
- h) The CM will provide red-line As-Builts for Final Record Documents to the Owner/Architect in .pdf format. We do not include any electronic, CAD, or Revit As-Builts as part of our work scope.
- i) Total retainage may be reduced from 5% to 2.5% when construction has reached 50% completion as long as the project is on schedule and has no issues.
- j) Buy out shall be complete within 120 calendar days from the NTP.
- k) As indicated in the contract, unspent allowances are returned to the owner.

1-2. GMP Amount

- a) It is understood and agreed that the Construction Manager will buyout and award all subcontracts within 120 calendar days from the Notice to Proceed. However, due to the current volatility in materials and labor pricing and escalation, Construction Manager reserves the right to review and adjust pricing provided by bidding subcontractors and material suppliers. If the



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cost of the work increases, or there are pricing increases between the date of the GMP submittal and the date materials are released to the job site, the cost increases shall be funded by the Construction Manager's Contingency until it is depleted, then funded from the Owner's Contingency or unused Allowances.

1-3. Insurance and Bonds

- a) A Performance and Payment bond has been included.
- b) All Risk or Builder's Risk shall be by Contractor. An allowance has been provided for this on the summary page of the GMP.
 - i. **All deductibles to be paid by the Construction Manager's Contingency.**
- c) General Liability, Excess General Liability, Workmen's Compensation and Automobile Liability Insurance is included in the GMP.
- d) Professional liability and pollution liability insurance is included.
- e) In Lieu of Subcontractor Payment and Performance Bonds, Construction Subcontractor Default Insurance (SDI) Program will be provided at a cost of 1.25% of the Cost of the Work. Construction Manager is solely responsible to pay, or otherwise satisfy, the deductibles applicable to the SDI Policy. This rate charged is a negotiated amount, in accordance with Construction Manager's accepted proposal, and is not subject to audit.

1-4. Building Permit Application and fees:

- a) Application and review fees are by Contractor. An allowance of \$155,870 has been included for this.
- b) Permit fees are by Contractor. These will be funded by the previous allowance.
- c) Stormwater Plan (SWFWMD) Permit and fees by Owner.
- d) Utility Deposits and meter/connection fees are by Owner.
- e) Inspection fees are by Owner.
- f) Threshold Inspections are by Owner.
- g) Any other fees required by the local and/or state health department, or any other regulatory agency or AHJ are by Owner.

1-5. Project Schedule

- a) The project includes 758 calendar days for a construction duration from a Notice to Proceed and receipt of required permits. **The included schedule is to be amended upon receipt of building permit.**
 - i. The Owner shall execute a Notice to Proceed for early Procurement separately from the NTP for construction. The construction start date, and not the start of procurement operations, shall be the basis of the project "start". In any case, construction shall not commence any earlier than receipt of all required permits, executed contract



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amendment, and Owner's written Notice to Proceed for construction. Once these are all received then construction will be 758 calendar days.

- ii. Our scheduled duration is based on a continuous, uninterrupted performance of the work, unless noted in our schedule for procurement of material and equipment.
 - iii. CCI's estimated total exposure for the procurement of submittals on early procurement items (site electric light poles, precast storm structures, and security fencing) is estimated to be \$15,000. We will require a PO from Pinellas County before beginning procurement of any submittals.
- b) Working hours are scheduled as Monday through Friday, 7:00 a.m. to 3:30 p.m. Saturdays may be used for make-up days due to weather.
 - c) We do not include a cost-loaded schedule or cost correlation timeline.
 - d) We have included (10) working days total processing time for most submittals needing review by either architect, architect's consultant, or both, or owner.
 - e) 2 weeks have been included for owner move in once substantial completion has been achieved.
- 1-6. Hazardous Materials:
- a) Removal of any hazardous materials encountered during work and/or not identified by the Contract Documents is specifically excluded from this GMP.
- 1-7. Existing Utilities and Location Confirmation:
- a) We include uncovering and documenting locations of existing utilities only as required to install our new work. We do not include utility confirmation, record drawings, or as-builts of all existing to remain utilities on the site.
- 1-8. Testing, Inspection, and Monitoring:
- a) We do not include any Pinellas County, municipality, or third-party inspection service fees, to include any associated overtime, premium time, or weekend inspection fees. These fees shall be paid directly by the Owner.
 - b) All materials testing shall be by the Contractor. An allowance of \$75,000 has been included for this.
 - c) All Threshold inspection services shall be by the Owner.
- 1-9. Costs for changes to the work, if necessary, associated with Permit Review, Owner, or other Authorities Having Jurisdiction (AHJ) comments and/or changes shall be funded by owner contingency or via change order to the contract.
- 1-10. Delegated Design:
- a) This GMP assumes all work depicted in the Contract Documents complies with all codes, ordinances, and regulations per all Authorities Having Jurisdiction (AHJ) and does not include



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any provisions for corrective work to the Contract Documents. Any corrective work required as a result of non-compliant design will result in an appropriate change in the contract amount and time of the Contract.

- b) Where delegated design is noted in the Contract Documents, it is assumed the Owner's Design Professional(s) have performed and incorporated any necessary design into the Contract Documents.

- 1-11. Domestic Manufacture:
 - a) All materials shall be procured from sources common to their specific trade. Where materials are specified by acceptable manufacturer, source of materials shall be as commonly provided by that manufacturer and/or supplier. We do not include domestic origin for all products, materials, and/or assemblies. These materials will all be subject to project specifications, submittals, and approvals by architect and engineer.

- 1-12. We acknowledge the Owner's desire to participate in a Direct Order Purchase (DPO) program to realize sales tax savings due to the Owner's tax-exempt status. DPO's will be processed on single vendor material amounts \$5,000.00 and greater only. Note: Not all vendors participate in DPO programs, specifically, but not limited to site contractor's earthwork and paving materials), elevators, joists manufacturers (steel and concrete), casework or custom wood fabricators, etc. **At this time, we are unable to provide a list and value of the total amount of DPOs**

- 1-13. Mitigation Measures: We are not in receipt of any specific mitigation measures or environmental surveys or assessments outside of the subject project and have not included costs for such mitigation in this GMP.

- 1-14. Where references to allowances are made, please refer to the Schedule of Allowances for dollar amounts included.

Section 02 – Work Scope Clarifications

- 2-1. General
 - a. An owners contingency of 5% of the cost of work has been included in addition to the 4% construction / design contingency.
 - b. An allowance of \$100,000 has been included for sheriff escorts.
 - c. A project phasing plan has been included as part of this GMP. All work shown on this plan has been included as part of the GMP. Any additional work not shown on the project documents, or this phasing plan is excluded.
 - d. An allowance of \$25,000 has been included for utility relocation. This is for utilities other than Duke.



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- e. Background checks of all employees and workers are per the following received from Larry Dickie on 4/11/24:

Creative Contractors (CCI), this is consistent with our previous discussions, with all large work areas are phased and are not inside security fenced areas; as such, regular construction works, delivery drivers, etc., can come and go, as on any normal CCI construction project, following rules established by the Contractor. As discussed before; please remember anytime, anyone needs to go behind the Security Fence/Gate or into a Building on the Jail; they will be required to have passed a security clearance, received training, been issued a security badge, and escorted by PCSO off duty Sheriff Deputies.

2-2. Selective Demolition:

- a. The existing foundations to be demolished are assumed to have standard shallow strip and spread footings. Any demolition of deep foundations are excluded.

2-3. Site Work:

- a. On the northern side of our project site there is a fire hydrant not shown on the project documents. This fire hydrant is located where our new road is going. An allowance of \$7,500 has been included for this.
- b. An allowance of \$178,374 has been included for the temporary road shown on the phasing plan. The following is and is not included in this allowance:
 - i. Clearing required for 12,928 square yards of road is included.
 - ii. 12,928 square yards of asphalt paving is included. Paving to consist of 1 ½" "SP-9.5" on 6" crushed concrete road base on 12" compacted subgrade (98% mod)
 - iii. Any required striping and signage is included.
 - iv. Demolition of 12,928 square yards of road is included.
 - v. Restoration of existing conditions is included.
 - vi. Storm drainage is not included.
 - vii. Curbs are not included.
- c. An allowance of \$118,289 has been included for any sitework included with the temporary guard shack shown on the phasing plan. The following is included.
 - i. 100 square yards of paving to widen the road. Paving to consist of 1 ½" "SP-9.5" on 6" crushed concrete road base on 12" compacted subgrade (98% mod)
 - ii. 115' of new type D curbs
 - iii. 2,000 square feet of 4" thick unreinforced sidewalks.
 - iv. New crosswalks per the temporary phasing plan.
 - v. Relocation / modification of 1 curb inlet.
- d. Sheets C-101 and C-102 provide the locations of several construction entrances. These entrances are excluded. All construction entrances will be per the site phasing plan included as part of this GMP.



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- 2-4. Landscaping & Irrigation:
- a. The owner remains responsible for maintenance of landscaping until CCI takes possession of each phase. Maintenance is included for 30 days post-substantial completion of phase 1, 1.5, 2, and 3B. Maintenance is per specification section 32 92 50 Plants. Any maintenance beyond this is excluded.
 - b. All landscaping is per the plant schedule on sheet LA-2.
 - c. Sheet LA-1 has a section describing exotic pest plant removal. Any work relating to the section below and exotic pest plant removal in general is excluded.

EXOTIC PEST PLANT REMOVAL

ALL TIER I EXOTICS REQUIRE REMOVAL PRIOR TO CO. ALL INVASIVE EXOTIC SPECIES SUCH AS BRAZILIAN PEPPER, CHINESE TALLOW, AND FUNK TREES, MUST BE REMOVED FROM THE SITE. EXOTIC TREES AND SHRUBS SHALL BE CUT FLUSH WITH FINISH GRADE. RESULTING STUMPS SHALL BE TREATED WITH AN APPROVED HERBICIDE. CONTRACTOR SHALL TREAT CUT STUMPS WITH GARLON 3A, TROOPER, OR RODEO HERBICIDE TO THE GAMBIUM LAYER, AS PER MANUFACTURER'S INSTRUCTIONS, AT THE RECOMMENDED STRENGTH TO PREVENT RE-GROWTH. APPLY HERBICIDE IMMEDIATELY AFTER TRUNKS ARE CUT TO PREVENT SAP FROM SEALING WOUNDS. REMOVE ALL WASTE MATERIALS PRODUCED BY THIS WORK FROM THE SITE AND DISPOSE OF THEM IN A LEGAL MANNER.

- 2-5. Fencing:
- a. The phasing plan included with the GMP indicates the extent of the temporary fencing for this project. An allowance of \$209,408 has been included for this.
 - b. The southernmost fence shown on A0.6 states: "new fence to match existing adjacent fence". This fence is assumed to be 12' security fencing.
 - c. Detail 5 on sheet A0.8 details the Ty metal Heavy Duty Cantilever Slide Gate. However, no height is given for it. We have included 12' tall gates.

- 3-1. Concrete / Masonry:
- a. Standard 1 color grout is included for all CMU.
 - b. Specification section 03 35 13 calls for an Iso-Flex 628 concrete sealer. The finish schedule on sheet I5.4 calls for a Sherwin Williams Armor Seal concrete sealer. Specification section 09 90 00 Paintings and Coatings 21L call for an H&C Solvent Based Concrete Stain. We have included the Sherwin Williams Armor Seal concrete sealer.

- 5-1. Structural & Miscellaneous Steel / Railings:
- a. Curtainwall support steel has been included at the front entrance of the building per Addendum #3.
 - b. Sheet S4.2 calls for a galvanized roof access ladder. Sheet A2,1 keynote 07 72 00W.1 calls for an aluminum ladder at the same location. All roof ladders are included as aluminum.
 - c. No additional support steel that is not already shown on the drawings has been included for the high security ceiling.
 - d. General note 8 on sheet S1.1 details 3 structural allowances for this project. We have included an allowance of \$108,000 for these items.



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- i. \$60,500 of this allowance is for 50 yards of \$4,000 PSI structural concrete
- ii. \$10,500 of this allowance is for 5 tons of reinforced steel
- iii. \$37,500 of this allowance of for 5 tons of structural steel framing

6-1. Casework and Finish Carpentry:

- a. An allowance of \$10,500 has been included for the desk shown on 3 / A1.6.
- b. General note 11 on sheet I1.1 mentions science lab counters. Any science lab casework and counters are excluded.
- c. Sheet I2.2 is calling for SS-02 solid surface for the countertops in Control Room 08.321. However, Sheet I2.2 elevation 7 and 8 is calling for SS-01 quartz. SS-01 quartz has been included.
- d. Sheet I1.2 is calling for SS-01 quartz for the countertop at the reception counter. Sheet I3.1 calls for a solid surface. SS-01 quartz has been included.

7-1. Roofing:

- a. Parapet coping is per Addendum #3.

7-2. Metal Panels:

- a. The finish on metal panels is per Addendum #3.

7-3. Waterproofing / Fireproofing:

- b. Sheet A3.3 and A3.4 mention a liquid applied class 1 vapor retarder (07 27 26A.1). Specification section 07 27 26 Fluid Applied Membrane Air Barriers calls for either a Perm-A-Barrier or an Enershield. However, we have included a Carlisle Barritech NP weather barrier. It will be installed on all CMU veneer walls.
- c. Sheet A3.3 and A3.4 mention vapor permeable waterproofing (07 27 26.A2) Per specification section 07 27 10 Air / vapor Barrier. a Carlisle CCW-705 Weather Barrier has been included. It will be installed under all metal panels.
- d. None of the above fluid applied waterproofing above has been included at the stucco soffits.
- e. Detail 5 on sheet A4.1 calls for heavy duty planter waterproofing at 5/A4.1. However, no specification has been provided for this item. Therefore, a Carlisle MiraSeal system with a Carlisle MiraDrain Mat has been included for this system.
- f. Sheet A4.1 calls for rubberized asphalt flashing. However, no specification was provided. Therefore, Carlisle 860 has been included for this product.
- g. Bituminous Dampproofing is excluded.

8-1. Doors/Frames/Hardware:



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- a. Door openings 6.05, 7.03, 7.13A, 7.13B, 7.01A, 7.01B, 7.01C, and 7.01D are shown to be electronic on SE1.1 with REX and RDR. However, the hardware schedule on A5.3 does not list any electronic hardware for these openings. Per Addendum 3, we are including an allowance of \$20,000 for electric strikes at these doors.
- b. Door openings 7.01, 7.01B, 7.01C, and 7.01D do not show a card reader for entrance into the building on the drawings. Therefore, card readers are not included.

8-2. Overhead Coiling Doors:

- a. Sheet A2.2 elevations 1 and 2 show security grilles for the overhead door at the sallyport. However, specification section 08 33 23 Overhead Coiling Doors mentions Raynor, DuraCoil as the basis-of-design. This overhead coiling door does not contain grilles and is insulated. Overhead Doors Series 670 is what is used elsewhere at the facility for the sallyports. Therefore, that is what we have included in the GMP for the two sallyport overhead doors.

The above sized 670 series rolling door(s) as manufactured by the Overhead Door Corporation. Door standard features to include the following: Curtain will be fabricated of horizontal 5/16" diameter aluminum rods spaced vertically 2" center maximum and a network of vertically interlocking links spaced horizontally 9" on center. Bottom bar will be an extruded aluminum tubular shape. Guides will be extruded aluminum shapes with continuous silicon treated wool-pile strips or PVC inserts. Brackets will be minimum 3/16" thick steel plate to support the barrel and counterbalance. Counterbalance will be helical torsion springs housed in a steel pipe with a deflection limited to .03" per foot of span (width) and adjustable means of an external tension wheel.

- b. Elevation 23 on sheet I2.2 mentions coiling fire shutters. However, no specification is provided for the specific ones required in the drawings or in specification section 08 33 23 Overhead Coiling Doors. Therefore, Overhead Doors series 640 rolling fire doors have been included.

The above sized 640 series rolling fire counter door(s) as manufactured by the Overhead Door Corporation. Door standard features to include the following: Curtain slats will be galvanized painted steel. Endlocks will be attached to the slats to maintain curtain alignment. Guides will be roll-formed shapes of painted steel. Brackets will be steel plate to support the curtain, counterbalance and hood. Counterbalance will be helical torsion springs housed in a steel pipe barrel with a deflection limited to .03" per foot of span (width). Hood will be galvanized painted steel with thermally controlled internal flame baffle. Curtain and hood will be galvanized steel per ASTM A 525 standards and will receive a rust inhibitive, roll-coating process including bonderizing baked on prime paint to be .2 mils thick, and baked on polyester top coat to be .6 mils thick. Automatic close will be thermally controlled by means of fusible links at 165 degrees. Rolling fire counter doors will bear 3 hour label for location, as listed and will be manufactured in strict accordance with the requirements of UL listed procedure or FM approved procedures and will bear their label.

8-3. Storefront, Glass, Glazing:



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- a. SF-1, SF-2, and SF-6 were shown on sheet A5.1 to receive glass type SG3A. Glass type SG3A is a detention glass which cannot go in an aluminum storefront frame. Therefore, SF-1, SF-2, and SF-3 were included as a curtainwall system with GL-2.
- b. The exterior curtain wall was included as follows. It will match the custom system made by Countryside glass used at the Pinellas County Courts project with the exception of it being 10 year clear anodized in lieu of painted. **Therefore, the 10-year anodized finish is included.**
 - i. USAD 1000 level 3 clear anodized 77" X 87" doors and frames glazed with Lev-3 AG 1.56 LS at 7.01A and 7.01B. USBP hardware included: Rockwood BF-15B pull handle satin ss US32D-630 finish; DH-78000015 416 AL Closer with drop plate; V.D. QEL 98 NL-OP panic devices Satin US 32D or 630; ABH A270 Hinges; USBP PT R01 power transfer standard; Arrow 16RCR27 rim cylinder US26D Satin Chrome cylinder with core for master keying by others; USBP threshold; all other hardware provided by others. Installed in CW 1 300 OG level E wall with custom wall adaption for Level 3 Ballistic infill at noted on sheet A5.1 dated 2-10-23.
 - ii. USAD 1000 level 3 clear anodized 41" X 96" doors and frames glazed with Lev 3 GCP-1250 at 7.13A and 7.13B. USBP hardware included: Rockwood BF-15B pull handle satin ss US32D-630 finish; DH-78000015 416 AL Closer with drop plate; V.D. QEL 98 NL-OP panic devices Satin US 32D or 630; ABH A270 Hinges; USBP PT R01 power transfer standard; Arrow 16RCR27 rim cylinder US26D Satin Chrome cylinder with core for master keying by others; USBP threshold; all other hardware provided by others. Installed in CW 5 and 7 300 OG level E wall with custom wall adaption for Level 3 Ballistic infill at noted on sheet A5.1 dated 2-10-23.
- c. The interior curtain wall system was included as follows. It will match the system used by Countryside Glass at the Pinellas County Courts project with the exception of it being clear 10 year anodized in lieu of painted. **Therefore, the 10-year anodized finish is included.**
 - i. YKK-AP 50D 6070 / 3070 non-impact doors and YHS 45 FI non-impact framing glazed with GL1-clear tempered insulated glass. Clear finish YKK-AP impact hardware included: three butts per door leaf; ms deadbolt lock per door leaf with exterior construction cylinder for master keying and cores provided by others; LCN series 4000 overhead surface mounted closers; 10" ADA compliant bottom door rail; and air resistant threshold.

9-1. Interior and Exterior Framing, Sheathing, and Finishing / Stucco:

a. N/A

9-2. Flooring:

- a. An allowance of \$11,771 has been included for moisture mitigation. This will be applied at all soft flooring products. The product we are proposing is Divergent Adhesives DS-100 Universal Primer and Moisture Control.



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- b. Stonhard Stonshield SLT 3MM Flagstone M has been included for the Epoxy Flooring EXY-01

- 9-3. Painting:
 - a. N/A

- 9-4. Ceilings:
 - a. The security ceiling that will be included will be a Gordan Standard Acoustical Exposed Cel Line Plank Ceiling System. This system will have 18” panels as shown in specification section 09 57 53 2.2A2 in lieu of the 24” panels shown on the finish schedule for SCS-01.
 - b. No plenum rated ceilings are included.
 - c. The ACT specified in 09 51 10 Acoustical Panel Ceilings is a Rockfon Koral SL 1100. The ACT specified in the finish schedule on sheet I5.4 is a USG Orion 75. The USG Orion 75 has been included for the ACT.

- 10-1. Specialties:
 - a. An allowance of \$15,000 has been included for the supply and installation of the inmate fund kiosk
 - b. EQ-18 – Vending Machine is excluded
 - c. CCI will be supplying and installing 1 x-ray baggage scanners and 1 magnetometers. The x-ray baggage scanners we have included are Autoclear Model #6040DVS and the magnetometers are CEIA USA SMD600 Plus Magnetometers
 - d. CCI has included the relocation of 1 x-ray baggage scanner and 1 magnetometer. It is assumed that these are already located on the same campus.
 - e. Item EQ-14 ATM is shown on sheet I3.3 as CF/CI. It is excluded.
 - f. The safe is per Addendum 3. No alarm options have been included for it.
 - g. Addendum 3 provided us with a signage schedule. However, we were informed by Environmental Graphics that it did not comply with ADA code. Therefore, at this time we will continue to carry an allowance of \$10,365.
 - h. Specification section 10 14 00 Signs 2.1A calls for both Environmental Graphics and Stewart Signs as the preferred vendor. Environmental Graphics was included as the qualified low bidder in the GMP.
 - i. Specification section 10 14 00 Signs 2.1C calls for an integrated LED programmable exterior sign assembly. Since this is not reflected anywhere else in the drawings, and is different from the monument signs shown. The integrated LED programmable exterior sign assembly is excluded.

- 12-1. Furnishings:
 - a. Sheet I1.3 shows a desk in secure corridor 08.335. This desk is not included in the furniture schedule, so an allowance of \$6,500 has been included for it.



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- b. Walk Off Mats per specification section 12 48 10 are excluded. Walk off carpet will be per WOM-01 on sheet I5.4
- c. Final fabrics and finishes have not been chosen yet for the furniture package. Standard grade fabrics and finishes are included. Custom fabrics and finishes are excluded.

13-1. Detention:

- a. Gun lockers are per Addendum #3.
- b. Sheet I3.1 detail 6 is calling for a "black stainless steel woven cable mesh stretched over reception desk with a 1/16" diameter wire rope, 2" aperture."

15-1. Fire Protection:

- a. Sheet FP0.0 Design Criteria details BIM requirements. These BIM requirements and any BIM requirements are excluded.

BIM REQUIREMENTS:

CONTRACTOR TO PRODUCE DESIGN IN REVIT BIM SOFTWARE. SCOPE INCLUDES MODEL COLLABORATION/COORDINATION WITH ARCHITECTURE AND MEP THROUGHOUT CONSTRUCTION DOCUMENT PRODUCTION.

15-2. Plumbing:

- a. N/A

15-3. HVAC:

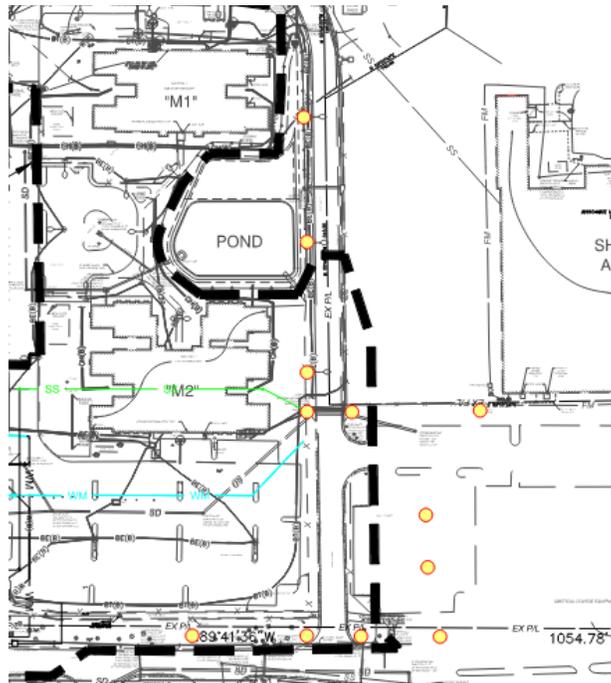
- a. Commissioning is by Contractor.

16-1. Electrical & Low Voltage:

- a. As part of the phasing plan, we will need to remove the existing gate to the loop road. An allowance of \$15,000 has been included for any electrical / data requirements involved in this.
- b. Sheet E0.2 is calling for the removal or relocation of electrical items associated with the building footprint. It is assumed that all of these items are shown on the civil demolition plans C-103 and C-104. Any work not shown on these drawings is excluded.
- c. An allowance of \$30,000 has been included to run new data and power to the temporary guard shack.
- d. Sheet T4.1 and T5.1 call for a distributed antenna system for cell phones and GPS. An allowance of \$50,000 has been included for this system.
- e. Sheet T4.1 and T5.1 call for a distributed antenna system for life safety. An allowance of \$75,000 has been included for this system.
- f. An allowance of \$81,000 has been included for the removal / replacement of light poles as part of the site logistics plan. These light poles have been preliminarily identified in these locations.



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- g. Sheet E0.2 is calling for several Duke Energy items to be by others. However, per the owner's request, we are including these items as allowances. The following items shown on sheets C-103 and C-104 are included. **Note that there is a strong possibility that Duke Energy will not contract directly with CCI.**
- i. An allowance of \$200,000 has been included for the Duke Energy Vault / Feeder relocation shown on note 17 sheet C-104.
 - ii. Note 8 on sheet C-104 calls for the existing meter and pull box to be removed. An allowance of \$50,000 has been included for this.
 - iii. Note 9 on sheet C-104 calls for "existing light poles to be removed, coordinate with utility company". An allowance of \$60,000 has been included for this.



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- h. Note 6 on sheet T1.1 is calling for a "round tapered 45' monopole tower". An allowance of \$200,000 has been included for this. Foundations are included in this value.
 - i. An allowance of \$45,000 has been included for the installation of owner supplied monopole tower equipment.
 - j. An allowance of \$274,196 has been included for BTS / PCSO IT equipment
- 16-2. Electronic Safety and Security:
- a. Complete raceway systems are only included in the secure areas.
 - b. An allowance of \$20,000 has been included for any necessary security system requirements at the relocated gate.
 - c. An allowance of \$15,000 has been included for CCTV at the temporary guardshack



Tab 12
Drawing Log

DRAWING INDEX

SHEET NUM	SHEET NAME	REV NUM	ISSUE/REV	ISSUE/REV DATE
<u>A0 - GENERAL INFORMATION</u>				
A0.1	COVER	5	ISSUE: PERMIT/GMP	2/2/2024
A0.2	NOTES/ ABBREVIATIONS	5	ISSUE: PERMIT/GMP	2/2/2024
A0.3	SHEET INDEX	8	ADDENDUM 3	5/2/2024
A0.4	SEC LIFE SAFETY PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
A0.6	ARCHITECTURAL SITE PLAN	6	ADDENDUM 1	3/11/2024
A0.7	SITE DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
A0.8	SITE DETAILS	6	ADDENDUM 1	3/11/2024
<u>C- CIVIL</u>				
C-001	COVER	5	ISSUE: PERMIT/GMP	2/2/2024
C-002	GENERAL NOTES	5	ISSUE: PERMIT/GMP	2/2/2024
C-100	EXISTING CONDITIONS PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
C-101	STORMWATER POLLUTION PREVENTION PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
C-102	STORMWATER POLLUTION PREVENTION PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
C-103	DEMOLITION PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
C-104	DEMOLITION PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
C-201	SITE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
C-202	SITE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
C-301	PAVING GRADING & DRAINAGE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
C-302	PAVING GRADING & DRAINAGE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
C-401	UTILITY PLAN	6	ADDENDUM 1	3/11/2024
C-501	SITE DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
C-502	GRADING DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
C-503	UTILITY DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
C-504	STORMWATER POLLUTION PREVENTION NOTES	5	ISSUE: PERMIT/GMP	2/2/2024
C-505	STORMWATER POLLUTION PREVENTION DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>L - LANDSCAPE</u>				
LA-1	TREE REMOVAL/ PRESERVATION PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
LA-2	LANDSCAPE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
LA-3	LANDSCAPE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
LA-4	IRRIGATION PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
LA-5	IRRIGATION PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
<u>A1 - ARCHITECTURAL PLANS</u>				
A1.1	SEC FLOOR PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
A1.2	SEC DIMENSION PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
A1.3	SEC REFLECTED CEILING PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
A1.4	SEC ROOF PLAN - LOWER	5	ISSUE: PERMIT/GMP	2/2/2024
A1.5	SEC ROOF PLAN - UPPER	5	ISSUE: PERMIT/GMP	2/2/2024
A1.6	VEHICLE ENTRY PLANS	6	ADDENDUM 1	3/11/2024
A1.7	TAPERED ROOF INSULATION PLAN & DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>A2 - ARCHITECTURAL ELEVATIONS</u>				
A2.1	SEC EXTERIOR ELEVATIONS	6	ADDENDUM 1	3/11/2024
A2.2	SEC EXTERIOR ELEVATIONS	6	ADDENDUM 1	3/11/2024

A2.3	VEHICLE ENTRY EXTERIOR ELEVATIONS	5	ISSUE: PERMIT/GMP	2/2/2024
A2.4	EXTERIOR ELEVATION DETAILS	6	ADDENDUM 1	3/11/2024
A2.5	EXTERIOR ELEVATION DETAILS	6	ADDENDUM 1	3/11/2024
<u>A3 - ARCHITECTURAL SECTIONS AND DETAILS</u>				
A3.1	BUILDING SECTIONS	5	ISSUE: PERMIT/GMP	2/2/2024
A3.3	WALL SECTIONS	6	ADDENDUM 1	3/11/2024
A3.4	WALL SECTIONS	6	ADDENDUM 1	3/11/2024
<u>A4 - DETAILS</u>				
A4.1	DETAILS	6	ADDENDUM 1	3/11/2024
A4.4	ROOF DETAILS	6	ADDENDUM 1	3/11/2024
A4.5	ROOF DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>A5 - SCHEDULES</u>				
A5.1	EXTERIOR DOOR AND WINDOW TYPES	6	ADDENDUM 1	3/11/2024
A5.2	INTERIOR DOOR AND WINDOW TYPES	6	ADDENDUM 1	3/11/2024
A5.3	DOOR AND FRAME SCHEDULES	6	ADDENDUM 1	3/11/2024
<u>A9 - OPENINGS</u>				
A9.2	DOOR DETAILS	6	ADDENDUM 1	3/11/2024
A9.3	WINDOW DETAILS	6	ADDENDUM 1	3/11/2024
<u>I1 - INTERIOR PLANS</u>				
I1.1	INTERIOR FLOOR PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
I1.2	FINISH FLOOR PLAN	8	ADDENDUM 3	5/2/2024
I1.3	FURNITURE AND EQUIPMENT PLAN	8	ADDENDUM 3	5/2/2024
<u>I2 - INTERIOR ELEVATIONS</u>				
I2.1	INTERIOR ELEVATIONS	6	ADDENDUM 1	3/11/2024
I2.2	INTERIOR ELEVATIONS	5	ISSUE: PERMIT/GMP	2/2/2024
I2.3	INTERIOR ELEVATIONS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>I3 - INTERIOR DETAILS</u>				
I3.1	INTERIOR DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>I4 - INTERIOR ENLARGED PLANS</u>				
I4.1	ENLARGED PLANS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>I5 - INTERIOR SCHEDULES</u>				
I5.4	FINISH SCHEDULE	6	ADDENDUM 1	3/11/2024
<u>I6 - SIGNAGE</u>				
I6.1	SIGNAGE SPECIFICATIONS	8	ADDENDUM 3	5/2/2024
I6.2	SIGNAGE PLAN	8	ADDENDUM 3	5/2/2024
I6.3	SIGNAGE TYPES	8	ADDENDUM 3	5/2/2024
<u>S1 - STRUCTURAL GENERAL INFORMATION</u>				
S1.1	GENERAL STRUCTURAL NOTES	5	ISSUE: PERMIT/GMP	2/2/2024
S1.2	WIND DESIGN DATA AND LOAD SCHEDULE	5	ISSUE: PERMIT/GMP	2/2/2024

S2 - STRUCTURAL PLANS

S2.1	FOUNDATION PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
S2.2	SLAB ON GRADE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
S2.3	ROOF FRAMING PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
S2.4	HIGH ROOF FRAMING PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
S2.5	PLANS - VEHICLE ENTRY GATE	5	ISSUE: PERMIT/GMP	2/2/2024

S3 - STRUCTURAL TYPICAL DETAILS

S3.1	TYPICAL DETAILS - CONCRETE	5	ISSUE: PERMIT/GMP	2/2/2024
S3.2	TYPICAL DETAILS - CONCRETE	5	ISSUE: PERMIT/GMP	2/2/2024
S3.3	TYPICAL DETAILS - CONCRETE	5	ISSUE: PERMIT/GMP	2/2/2024
S3.4	TYPICAL DETAILS - MASONRY	5	ISSUE: PERMIT/GMP	2/2/2024
S3.5	TYPICAL DETAILS - MASONRY	5	ISSUE: PERMIT/GMP	2/2/2024
S3.6	TYPICAL DETAILS - STEEL	5	ISSUE: PERMIT/GMP	2/2/2024
S3.7	TYPICAL DETAILS - STEEL	5	ISSUE: PERMIT/GMP	2/2/2024

S4 - STRUCTURAL SECTIONS

S4.1	SECTIONS AND DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
S4.2	SECTIONS AND DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
S4.3	SECTIONS AND DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
S4.4	SECTIONS AND DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
S4.5	SECTIONS AND DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
S4.6	SECTIONS AND DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
S4.7	SECTIONS AND DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
S4.8	SECTIONS AND DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024

S5 - STRUCTURAL ELEVATIONS

S5.1	WALL ELEVATIONS	5	ISSUE: PERMIT/GMP	2/2/2024
S5.2	WALL ELEVATIONS	5	ISSUE: PERMIT/GMP	2/2/2024
S5.3	WALL ELEVATIONS	5	ISSUE: PERMIT/GMP	2/2/2024
S5.4	WALL ELEVATIONS	5	ISSUE: PERMIT/GMP	2/2/2024
S5.5	WALL ELEVATIONS	5	ISSUE: PERMIT/GMP	2/2/2024
S5.6	ELEVATIONS - VEHICLE ENTRY GATE	5	ISSUE: PERMIT/GMP	2/2/2024

S6 - STRUCTURAL SCHEDULES

S6.1	SCHEDULES	5	ISSUE: PERMIT/GMP	2/2/2024
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P0 - PLUMBING GENERAL INFORMATION

P0.0	PLUMBING SYMBOLS LEGEND NOTES AND INDEX	5	ISSUE: PERMIT/GMP	2/2/2024
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P1 - PLUMBING PLANS

P1.0	PLUMBING SITE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
P1.1	PLUMBING FLOOR PLAN - SEC BUILDING	5	ISSUE: PERMIT/GMP	2/2/2024
P1.2	PLUMBING FLOOR PLAN - SEC BUILDING	5	ISSUE: PERMIT/GMP	2/2/2024
P1.3	PLUMBING FLOOR PLAN - SEC BUILDING	5	ISSUE: PERMIT/GMP	2/2/2024
P1.4	PLUMBING ROOF PLAN - SEC BUILDING	5	ISSUE: PERMIT/GMP	2/2/2024
P1.5	PLUMBING FLOOR PLAN - VE BUILDING	5	ISSUE: PERMIT/GMP	2/2/2024
P1.6	PLUMBING FLOOR PLAN - VE BUILDING	5	ISSUE: PERMIT/GMP	2/2/2024
P1.7	PLUMBING ROOF PLAN - VE BUILDING	5	ISSUE: PERMIT/GMP	2/2/2024
P1.8	PLUMBING ENLARGED VIEWS	5	ISSUE: PERMIT/GMP	2/2/2024
P1.9	PLUMBING ENLARGED VIEWS	5	ISSUE: PERMIT/GMP	2/2/2024

P1.10	PLUMBING ENLARGED VIEWS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>P2 - PLUMBING RISER DIAGRAMS</u>				
P2.1	PLUMBING RISER DIAGRAM	5	ISSUE: PERMIT/GMP	2/2/2024
P2.2	PLUMBING RISER DIAGRAM	5	ISSUE: PERMIT/GMP	2/2/2024
P2.3	PLUMBING RISER DIAGRAM	5	ISSUE: PERMIT/GMP	2/2/2024
P2.4	PLUMBING RISER DIAGRAM	5	ISSUE: PERMIT/GMP	2/2/2024
<u>P5 - PLUMBING DETAILS</u>				
P5.1	PLUMBING DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
P5.2	PLUMBING DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>FP - FIRE PROTECTION</u>				
FP0.0	FIRE PROTECTION SYMBOLS AND NOTES	5	ISSUE: PERMIT/GMP	2/2/2024
<u>FP - FIRE PROTECTION</u>				
FP1.1	FIRE PROTECTION DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>M0 - MECHANICAL GENERAL INFORMATION</u>				
M0.0	MECHANICAL SYMBOLS LEGEND NOTES AND INDEX	5	ISSUE: PERMIT/GMP	2/2/2024
<u>M1 - MECHANICAL PLANS</u>				
M1.0	MECHANICAL SITE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
M1.1	MECHANICAL FLOOR PLAN - SEC BUILDING	5	ISSUE: PERMIT/GMP	2/2/2024
M1.2	MECHANICAL FLOOR PLAN - VE BUILDING	5	ISSUE: PERMIT/GMP	2/2/2024
M1.3	MECHANICAL ENLARGED VIEWS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>M5 - MECHANICAL DETAILS</u>				
M5.1	MECHANICAL SCHEDULES	5	ISSUE: PERMIT/GMP	2/2/2024
M5.2	MECHANICAL CONTROLS	5	ISSUE: PERMIT/GMP	2/2/2024
M5.3	MECHANICAL DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
M5.4	MECHANICAL DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
M5.5	MECHANICAL DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>E0 - ELECTRICAL GENERAL INFORMATION</u>				
E0	ELECTRICAL SYMBOLS LEGEND NOTES AND INDEX	6	ADDENDUM 1	3/11/2024
E0.1	ELECTRICAL NOTES	5	ISSUE: PERMIT/GMP	2/2/2024
E0.2	ELECTRICAL SITE DEMOLITION PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
E0.3	ELECTRICAL NEW CONSTRUCTION SITE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
E0.4	ELECTRICAL SITE PHOTOMETRICS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>E1 - ELECTRICAL PLANS</u>				
E1.1	SEC LIGHTING FLOOR PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
E1.1A	SEC LIGHTING CONTROL FLOOR PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
E1.1B	SEC LIGHTING ZONE CONTROL WIRING DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
E1.2	SEC POWER FLOOR PLAN	6	ADDENDUM 1	3/11/2024
E1.3	SEC FIRE ALARM FLOOR PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
E1.4	SEC ROOF POWER PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
E2.1	VE ENLARGED ELECTRICAL PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
E2.2	SEC ELECTRICAL ENLARGED PLANS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>E4 - ELECTRICAL DETAILS</u>				

E4.1	ELECTRICAL DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
E4.2	ELECTRICAL DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>E5 - ELECTRICAL RISER</u>				
E5.1	ELECTRICAL RISER DIAGRAM	5	ISSUE: PERMIT/GMP	2/2/2024
E5.2	ELECTRICAL FIRE ALARM DIAGRAM	5	ISSUE: PERMIT/GMP	2/2/2024
<u>E6 - ELECTRICAL SCHEDULE</u>				
E6.1	ELECTRICAL PANEL SCHEDULES	6	ADDENDUM 1	3/11/2024
E6.2	ELECTRICAL SCHEDULES	5	ISSUE: PERMIT/GMP	2/2/2024
<u>T0 - TECHNOLOGY GENERAL INFORMATION</u>				
T0	TECHNOLOGY SYMBOLS LEGEND NOTES AND INDEX	5	ISSUE: PERMIT/GMP	2/2/2024
T0.1	TECHNOLOGY RESPONSIBILITY MATRIX	5	ISSUE: PERMIT/GMP	2/2/2024
T0.2	TECHNOLOGY SITE PLAN - PHASE 1A NEW CONSTRUCTION - AREA A	6	ADDENDUM 1	3/11/2024
T0.3	TECHNOLOGY SITE PLAN - PHASE 1A NEW CONSTRUCTION - AREA B	6	ADDENDUM 1	3/11/2024
<u>T1 - TECHNOLOGY PLANS</u>				
T1.1	TECHNOLOGY VOICE/DATA PLAN - PHASE 1A NEW CONSTRUCTION	6	ADDENDUM 1	3/11/2024
T4.1	ENLARGED PLANS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>T5 - TECHNOLOGY DETAILS</u>				
T5.1	TECHNOLOGY RISERS	6	ADDENDUM 1	3/11/2024
T6.1	IDF 7.11 - ENTRY FACILITY CABINET AND RACKS	6	ADDENDUM 1	3/11/2024
T6.2	IDF 7.11 - TOWER RACKS IDF 7.17	6	ADDENDUM 1	3/11/2024
T7.1	TECHNOLOGY DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
T7.2	TECHNOLOGY DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
<u>SE - SECURITY</u>				
SE0.1	SECURITY ELECTRONICS LEGEND	6	ADDENDUM 2	3/18/2024
SE1.0	SECURITY ELECTRONICS CAMERA SITE PLAN	5	ISSUE: PERMIT/GMP	2/2/2024
SE1.1	SECURITY ELECTRONICS MAIN BUILDING	5	ISSUE: PERMIT/GMP	2/2/2024
SE1.2	SECURITY ELECTRONICS GATE HOUSE	5	ISSUE: PERMIT/GMP	2/2/2024
SE2.1	SECURITY ELECTRONICS TCS DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
SE2.2	SECURITY ELECTRONICS EQUIPMENT ROOM DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
SE3.1	SECURITY ELECTRONICS FIBER & PLC RISER	5	ISSUE: PERMIT/GMP	2/2/2024
SE3.2	SEC. ELEC. CAMERA AND CARD ACCESS RISER	5	ISSUE: PERMIT/GMP	2/2/2024
SE3.3	SECURITY ELECTRONICS INTERCOM RISER	5	ISSUE: PERMIT/GMP	2/2/2024
SE5.0	SEC. ELEC. CAMERA SCHEDULE AND VIEWS INDEX	5	ISSUE: PERMIT/GMP	2/2/2024
SE5.1	SECURITY ELECTRONICS CAMERA VIEWS	5	ISSUE: PERMIT/GMP	2/2/2024
SE5.2	SECURITY ELECTRONICS CAMERA VIEWS	5	ISSUE: PERMIT/GMP	2/2/2024
SE5.3	SECURITY ELECTRONICS CAMERA VIEWS	5	ISSUE: PERMIT/GMP	2/2/2024
SE5.4	SECURITY ELECTRONICS CAMERA VIEWS	5	ISSUE: PERMIT/GMP	2/2/2024
SE5.5	SECURITY ELECTRONICS CAMERA VIEWS	5	ISSUE: PERMIT/GMP	2/2/2024
SE5.6	SECURITY ELECTRONICS CAMERA VIEWS	5	ISSUE: PERMIT/GMP	2/2/2024
SE6.1	SECURITY ELECTRONICS CONDUIT DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
SE6.2	SECURITY ELECTRONICS CAMERA DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024
SE6.3	SECURITY ELECTRONICS INTERCOM DETAILS	5	ISSUE: PERMIT/GMP	2/2/2024



Creative Contractors, Inc.

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Job #: 202120 Pinellas County Jail Security & Entry Center
 14250 49th Street North
 Clearwater, Florida 33762

Current Specifications

Number	Description	Revision	Issued Date	Received Date	Set
00 - Procurement and Contracting Requirements					
00 01 10	Table of Contents	0	02/02/24	02/02/24	Permit / GMP
01 - General Requirements					
01 10 00	SUMMARY OF THE WORK	0	02/02/24	02/02/24	Permit / GMP
01 12 00	APPLICATION FOR PAYMENT	0	02/02/24	02/02/24	Permit / GMP
01 15 00	MODIFICATION PROCEDURES	0	02/02/24	02/02/24	Permit / GMP
01 16 00	COORDINATION	0	02/02/24	02/02/24	Permit / GMP
01 17 00	CUTTING AND PATCHING	0	02/02/24	02/02/24	Permit / GMP
01 18 00	FIELD ENGINEERING	0	02/02/24	02/02/24	Permit / GMP
01 20 00	CONSTRUCTION PROJECT MEETINGS	0	02/02/24	02/02/24	Permit / GMP
01 21 00	PROCEDURES AND PERFORMANCES	0	02/02/24	02/02/24	Permit / GMP
01 32 00	CONSTRUCTION SCHEDULES AND PROGRESS REPORTS	0	02/02/24	02/02/24	Permit / GMP
01 33 00	SUBMITTALS	0	02/02/24	02/02/24	Permit / GMP
01 34 00	SUBMITTALS TRANSMITTAL FORM	0	02/02/24	02/02/24	Permit / GMP
01 35 00	HAZARDOUS MATERIALS	0	02/02/24	02/02/24	Permit / GMP
01 35 13.16	SPECIAL PROJECT PROCEDURES FOR DETENTION FACILITIES	0	02/02/24	02/02/24	Permit / GMP
01 35 53	Security Procedures	0	03/18/24	03/18/24	Addendum 02
01 37 00	SCHEDULE OF VALUES	0	02/02/24	02/02/24	Permit / GMP
01 38 00	CONSTRUCTION PHOTOGRAPHY AND VIDEO	0	02/02/24	02/02/24	Permit / GMP
01 40 00	QUALITY REQUIREMENTS	0	02/02/24	02/02/24	Permit / GMP
01 41 00	TESTING LABORATORY SERVICES	0	02/02/24	02/02/24	Permit / GMP
01 42 00	DEFINITIONS AND STANDARDS	0	02/02/24	02/02/24	Permit / GMP
01 50 00	TEMPORARY FACILITIES AND CONTROLS	0	02/02/24	02/02/24	Permit / GMP
01 54 50	CONTRACTORS USE OF THE PREMISES	0	02/02/24	02/02/24	Permit / GMP
01 61 00	MATERIAL AND EQUIPMENT	0	02/02/24	02/02/24	Permit / GMP
01 63 00	PRODUCT OPTIONS AND SUBSTITUTIONS	0	02/02/24	02/02/24	Permit / GMP
01 67 00	SYSTEMS DEMONSTRATIONS	0	02/02/24	02/02/24	Permit / GMP
01 71 00	FINAL CLEANING	0	02/02/24	02/02/24	Permit / GMP
01 74 00	WARRANTIES AND BONDS	0	02/02/24	02/02/24	Permit / GMP
01 75 00	SPARE PARTS AND MAINTENANCE MATERIALS	0	02/02/24	02/02/24	Permit / GMP
01 77 00	EXECUTION & CLOSEOUT REQUIREMENTS	0	02/02/24	02/02/24	Permit / GMP
01 78 20	OPERATION AND MAINTENANCE DATA	0	02/02/24	02/02/24	Permit / GMP
01 81 13.13	SUSTAINABLE DESIGN REQUIREMENTS - LEED	0	02/02/24	02/02/24	Permit / GMP



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Printed on Mon Apr 15, 2024 at 09:43 am EDT

Job #: 202120 Pinellas County Jail Security & Entry Center
 14250 49th Street North
 Clearwater, Florida 33762

Number	Description	Revision	Issued Date	Received Date	Set
01 91 13	GENERAL COMMISSIONING REQUIREMENTS	0	02/02/24	02/02/24	Permit / GMP
02 - Existing Conditions					
02 32 00	GEOTECHNICAL INVESTIGATION	0	02/02/24	02/02/24	Permit / GMP
02 41 10	SELECTIVE DEMOLITION	0	02/02/24	02/02/24	Permit / GMP
02 41 16	STRUCTURE DEMOLITION	0	02/02/24	02/02/24	Permit / GMP
03 - Concrete					
03 29 00	UNDERSLAB VAPOR BARRIER-RETARDER	0	02/02/24	02/02/24	Permit / GMP
03 30 00	CAST-IN-PLACE CONCRETE	0	02/02/24	02/02/24	Permit / GMP
03 33 00	ARCHITECTURAL CONCRETE	0	02/02/24	02/02/24	Permit / GMP
03 35 13	PENETRATING CONCRETE SEALER	0	02/02/24	02/02/24	Permit / GMP
03 52 00	PRECAST CONCRETE COPINGS AND SILLS	0	02/02/24	02/02/24	Permit / GMP
04 - Masonry					
04 20 00	UNIT MASONRY	0	02/02/24	02/02/24	Permit / GMP
04 22 00	REINFORCED UNIT MASONRY	0	02/02/24	02/02/24	Permit / GMP
05 - Metals					
05 12 00	STRUCTURAL STEEL FRAMING	0	02/02/24	02/02/24	Permit / GMP
05 30 00	METAL DECKING	0	02/02/24	02/02/24	Permit / GMP
05 41 00	STRUCTURAL METAL STUD FRAMING	0	02/02/24	02/02/24	Permit / GMP
05 50 00	METAL FABRICATIONS	0	02/02/24	02/02/24	Permit / GMP
06 - Wood, Plastics, and Composites					
06 10 53	MISCELLANEOUS CARPENTRY	0	02/02/24	02/02/24	Permit / GMP
06 16 56	AIR AND WATER-RESISTIVE SHEATHING BOARD	0	02/02/24	02/02/24	Permit / GMP
06 41 16	PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS	0	02/02/24	02/02/24	Permit / GMP
07 - Thermal and Moisture Protection					
07 21 00	THERMAL INSULATION	0	02/02/24	02/02/24	Permit / GMP
07 27 10	AIR/VAPOR BARRIER	0	02/02/24	02/02/24	Permit / GMP
07 27 26	FLUID-APPLIED MEMBRANE AIR BARRIERS	0	02/02/24	02/02/24	Permit / GMP
07 42 13	METAL COMPOSITE MATERIAL WALL PANELS	0	02/02/24	02/02/24	Permit / GMP
07 55 52	MODIFIED BITUMEN ROOF SYSTEM	0	02/02/24	02/02/24	Permit / GMP
07 62 00	SHEET METAL FLASHING AND TRIM	0	02/02/24	02/02/24	Permit / GMP
07 72 00	ROOF ACCESSORIES	0	02/02/24	02/02/24	Permit / GMP
07 92 00	JOINT SEALANTS	0	02/02/24	02/02/24	Permit / GMP
08 - Openings					
08 11 10	STEEL DOORS AND FRAMES	0	02/02/24	02/02/24	Permit / GMP
08 21 10	FLUSH WOOD DOORS	0	02/02/24	02/02/24	Permit / GMP
08 31 10	ACCESS DOORS AND FRAMES	0	02/02/24	02/02/24	Permit / GMP
08 33 23	OVERHEAD COILING DOORS	0	02/02/24	02/02/24	Permit / GMP



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Number	Description	Revision	Issued Date	Received Date	Set
08 34 63	DETENTION DOORS AND FRAMES	0	02/02/24	02/02/24	Permit / GMP
08 41 10	INTERIOR ALUMINUM ENTRANCES AND STOREFRONTS	0	02/02/24	02/02/24	Permit / GMP
08 44 00	EXTERIOR ALUMINUM ENTRANCE AND STOREFRONTS	0	02/02/24	02/02/24	Permit / GMP
08 44 13	EXTERIOR ALUMINUM CURTAIN WALL	0	02/02/24	02/02/24	Permit / GMP
08 71 00	DOOR HARDWARE	0	02/02/24	02/02/24	Permit / GMP
08 71 63	DETENTION DOOR HARDWARE	0	02/02/24	02/02/24	Permit / GMP
08 80 00	GLAZING	0	02/02/24	02/02/24	Permit / GMP
08 88 53	SECURITY GLAZING	0	02/02/24	02/02/24	Permit / GMP
09 - Finishes					
09 24 00	PORTLAND CEMENT PLASTER	0	02/02/24	02/02/24	Permit / GMP
09 29 00	GYPSUM BOARD ASSEMBLIES	0	02/02/24	02/02/24	Permit / GMP
09 30 13	PORCELAIN TILE	0	02/02/24	02/02/24	Permit / GMP
09 51 10	ACOUSTICAL PANEL CEILING	0	02/02/24	02/02/24	Permit / GMP
09 57 53	SECURITY CEILING ASSEMBLIES	0	02/02/24	02/02/24	Permit / GMP
09 65 13	RESILIENT BASE AND ACCESSORIES	0	02/02/24	02/02/24	Permit / GMP
09 65 50	RESILIENT TILE FLOORING	0	02/02/24	02/02/24	Permit / GMP
09 68 10	CARPETING	0	02/02/24	02/02/24	Permit / GMP
09 84 00	ACOUSTICAL WALL FABRIC PANEL	0	02/02/24	02/02/24	Permit / GMP
09 90 00	PAINTING AND COATINGS	0	02/02/24	02/02/24	Permit / GMP
10 - Specialties					
10 14 00	SIGNS	0	02/02/24	02/02/24	Permit / GMP
10 15 50	TOILET COMPARTMENTS	0	02/02/24	02/02/24	Permit / GMP
10 28 00	TOILET ACCESSORIES	0	02/02/24	02/02/24	Permit / GMP
10 28 13	DETENTION TOILET ACCESSORIES	0	02/02/24	02/02/24	Permit / GMP
10 44 00	FIRE EXTINGUISHERS, CABINETS AND ACCESSORIES	0	02/02/24	02/02/24	Permit / GMP
10 51 00	METAL LOCKERS	0	02/02/24	02/02/24	Permit / GMP
10 73 00	ALUMINUM WALL HUNG CANOPY	0	03/11/24	03/11/24	Addendum 01
10 75 00	FLAGPOLES	0	02/02/24	02/02/24	Permit / GMP
11 - Equipment					
11 19 16	DETENTION GUN LOCKERS	0	02/02/24	02/02/24	Permit / GMP
12 - Furnishings					
12 48 10	WALK OFF MATS	0	02/02/24	02/02/24	Permit / GMP
12 49 40	ROLLER SHADES	0	02/02/24	02/02/24	Permit / GMP
12 50 00	APPENDIX 1 - FURNITURE CUT SHEETS	0	02/02/24	02/02/24	Permit / GMP
21 - Fire Suppression					
21 05 17	SLEEVES AND SLEEVE SEALS FOR FIRE-SUPPRESSION PIPING	0	02/02/24	02/02/24	Permit / GMP
21 05 18	ESCUTCHEONS FOR FIRE-SUPPRESSION PIPING	0	02/02/24	02/02/24	Permit / GMP



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21 05 48	VIBRATION AND SEISMIC CONTROLS FOR FIRE-SUPPRESSION PIPING AND EQUIPMENT	0	02/02/24	02/02/24	Permit / GMP
21 05 53	IDENTIFICATION FOR FIRE-SUPPRESSION PIPING AND EQUIPMENT	0	02/02/24	02/02/24	Permit / GMP
21 12 00	FIRE-SUPPRESSION STANDPIPES	0	02/02/24	02/02/24	Permit / GMP
21 13 13	WET-PIPE SPRINKLER SYSTEMS	0	02/02/24	02/02/24	Permit / GMP
22 - Plumbing					
22 05 00	COMMON WORK RESULTS FOR PLUMBING	0	02/02/24	02/02/24	Permit / GMP
22 05 17	SLEEVES AND SLEEVE SEALS FOR PLUMBING PIPING	0	02/02/24	02/02/24	Permit / GMP
22 05 18	ESCUTCHEONS FOR PLUMBING PIPING	0	02/02/24	02/02/24	Permit / GMP
22 05 19	METERS AND GAGES FOR PLUMBING PIPING	0	02/02/24	02/02/24	Permit / GMP
22 05 23	GENERAL-DUTY VALVES FOR PLUMBING PIPING	0	02/02/24	02/02/24	Permit / GMP
22 05 29	HANGERS AND SUPPORTS FOR PLUMBING AND EQUIPMENT	0	02/02/24	02/02/24	Permit / GMP
22 05 48	VIBRATION AND SEISMIC CONTROLS FOR PLUMBING PIPING AND EQUIPMENT	0	02/02/24	02/02/24	Permit / GMP
22 05 53	IDENTIFICATION FOR PLUMBING PIPING AND EQUIPMENT	0	02/02/24	02/02/24	Permit / GMP
22 07 19	PLUMBING PIPING INSULATION	0	02/02/24	02/02/24	Permit / GMP
22 11 16	DOMESTIC WATER PIPING	0	02/02/24	02/02/24	Permit / GMP
22 11 19	DOMESTIC WATER PIPING SPECIALTIES	0	02/02/24	02/02/24	Permit / GMP
22 13 16	SANITARY WASTE AND VENT PIPING	0	02/02/24	02/02/24	Permit / GMP
22 13 19	SANITARY WASTE PIPING SPECIALTIES	0	02/02/24	02/02/24	Permit / GMP
22 14 13	FACILITY STORM DRAINAGE PIPING	0	02/02/24	02/02/24	Permit / GMP
22 14 23	STORM DRAINAGE PIPING SPECIALTIES	0	02/02/24	02/02/24	Permit / GMP
22 33 00	ELECTRIC, DOMESTIC-WATER HEATERS	0	02/02/24	02/02/24	Permit / GMP
22 47 16	PRESSURE WATER COOLERS	0	02/02/24	02/02/24	Permit / GMP
23 - Heating, Ventilating, and Air Conditioning (HVAC)					
23 00 10	BASIC MECHANICAL REQUIREMENTS	0	02/02/24	02/02/24	Permit / GMP
23 05 00	COMMON WORK RESULTS FOR HVAC	0	02/02/24	02/02/24	Permit / GMP
23 05 16	EXPANSION FITTINGS AND LOOPS FOR HVAC PIPING	0	02/02/24	02/02/24	Permit / GMP
23 05 17	SLEEVES AND SLEEVE SEALS FOR HVAC PIPING	0	02/02/24	02/02/24	Permit / GMP
23 05 18	ESCUTCHEONS FOR HVAC PIPING	0	02/02/24	02/02/24	Permit / GMP
23 05 19	METERS AND GAGES FOR HVAC PIPING	0	02/02/24	02/02/24	Permit / GMP
23 05 23	GENERAL-DUTY VALVES FOR HVAC PIPING	0	02/02/24	02/02/24	Permit / GMP
23 05 29	HANGERS AND SUPPORTS FOR HVAC PIPING AND EQUIPMENT	0	02/02/24	02/02/24	Permit / GMP
23 05 48	VIBRATION CONTROLS FOR HVAC	0	02/02/24	02/02/24	Permit / GMP
23 05 53	IDENTIFICATION FOR HVAC PIPING AND EQUIPMENT	0	02/02/24	02/02/24	Permit / GMP
23 05 93	TEST AND BALANCE FOR HVAC	0	02/02/24	02/02/24	Permit / GMP
23 07 13	DUCT INSULATION	0	02/02/24	02/02/24	Permit / GMP
23 07 19	HVAC PIPING INSULATION	0	02/02/24	02/02/24	Permit / GMP
23 08 00	COMMISSIONING OF HVAC	0	02/02/24	02/02/24	Permit / GMP



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23 09 00	INSTRUMENTATION AND CONTROL FOR HVAC	0	02/02/24	02/02/24	Permit / GMP
23 21 13.13	UNDERGROUND HYDRONIC PIPING	0	02/02/24	02/02/24	Permit / GMP
23 21 16	HYDRONIC PIPING SPECIALTIES	0	02/02/24	02/02/24	Permit / GMP
23 31 13	METAL DUCTS	0	02/02/24	02/02/24	Permit / GMP
23 33 00	AIR DUCT ACCESSORIES	0	02/02/24	02/02/24	Permit / GMP
23 33 46	FLEXIBLE DUCTS	0	02/02/24	02/02/24	Permit / GMP
23 34 00	HVAC FANS	0	02/02/24	02/02/24	Permit / GMP
23 36 00	AIR TERMINAL UNITS	0	02/02/24	02/02/24	Permit / GMP
23 37 13.13	AIR DIFFUSERS	0	02/02/24	02/02/24	Permit / GMP
23 37 13.23	REGISTERS AND GRILLES	0	02/02/24	02/02/24	Permit / GMP
23 73 13	INDOOR CENTRAL STATION AIR-HANDLING UNITS	0	02/02/24	02/02/24	Permit / GMP
23 82 19	FAN COIL UNITS	0	02/02/24	02/02/24	Permit / GMP
26 - Electrical					
26 00 10	BASIC ELECTRICAL REQUIREMENTS	0	02/02/24	02/02/24	Permit / GMP
26 05 19	LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES	0	02/02/24	02/02/24	Permit / GMP
26 05 26	GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS	0	02/02/24	02/02/24	Permit / GMP
26 05 29	HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS	0	02/02/24	02/02/24	Permit / GMP
26 05 33	RACEWAYS AND BOXES FOR ELECTRICAL SYSTEMS	0	02/02/24	02/02/24	Permit / GMP
26 05 53	ELECTRICAL IDENTIFICATION	0	02/02/24	02/02/24	Permit / GMP
26 24 16	PANELBOARDS	0	02/02/24	02/02/24	Permit / GMP
26 24 20	SAFETY SWITCHES	0	02/02/24	02/02/24	Permit / GMP
26 27 26	WIRING DEVICES	0	02/02/24	02/02/24	Permit / GMP
26 28 13	FUSES	0	02/02/24	02/02/24	Permit / GMP
26 28 16	ENCLOSED SWITCHES AND CURCUIT BREAKERS	0	02/02/24	02/02/24	Permit / GMP
26 32 13	EXTERIOR ENGINE GENERATORS	0	02/02/24	02/02/24	Permit / GMP
26 36 00	AUTOMATIC TRANSFER SWITCHES	0	02/02/24	02/02/24	Permit / GMP
26 41 13	LIGHTNING PROTECTION FOR STRUCTURES	0	02/02/24	02/02/24	Permit / GMP
26 43 13	TRANSIENT-VOLTAGE SUPPRESSION FOR LOW-VOLTAGE ELECTRICAL POWER CIRCUITS	0	02/02/24	02/02/24	Permit / GMP
26 51 00	INTERIOR LIGHTING	0	02/02/24	02/02/24	Permit / GMP
26 56 00	EXTERIOR LIGHTING	0	02/02/24	02/02/24	Permit / GMP
27 - Communications					
27 00 10	TECHNOLOGY GENERAL PROVISIONS	0	02/02/24	02/02/24	Permit / GMP
27 05 26	GROUNDING AND BONDING FOR TELECOMMUNICATIONS SYSTEMS	0	02/02/24	02/02/24	Permit / GMP
27 05 28	RACEWAYS FOR TECHNOLOGY	0	02/02/24	02/02/24	Permit / GMP
27 10 00	STRUCTURED CABLING SYSTEM	0	02/02/24	02/02/24	Permit / GMP
27 20 00	VOICE/DATA COMMUNICATIONS EQUIPMENT	0	02/02/24	02/02/24	Permit / GMP
27 41 34	BROADBAND DISTRIBUTION SYSTEMS	0	02/02/24	02/02/24	Permit / GMP



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27 53 19	CELLULAR DISTRIBUTED ANTENNA SYSTEM	0	02/02/24	02/02/24	Permit / GMP
27 99 99	APPENDICES FOR DIV. 27 - BTS STANDARDS	0	02/02/24	02/02/24	Permit / GMP
28 - Electronic Safety and Security					
28 05 00	COMMON WORK RESULTS FOR ELECTRONIC SAFETY AND SECURITY	0	02/02/24	02/02/24	Permit / GMP
28 05 37	SECURITY VOICE COMMUNICATIONS - DISTRIBUTED ANTENNA SYSTEM	0	02/02/24	02/02/24	Permit / GMP
28 13 00	ACCESS CONTROL SYSTEM	0	02/02/24	02/02/24	Permit / GMP
28 23 00	IP VIDEO SURVEILLANCE	0	02/02/24	02/02/24	Permit / GMP
28 31 11	DIGITAL, ADDRESSABLE FIRE-ALARM SYSTEM	0	02/02/24	02/02/24	Permit / GMP
28 46 00	SECURITY ELECTRONICS CONTROL MATRIX	0	02/02/24	02/02/24	Permit / GMP
28 46 19	PLC ELECTRONIC DETENTION MONITORING AND CONTROL SYSTEM	0	02/02/24	02/02/24	Permit / GMP
28 51 23	DETENTION INTERCOM SYSTEM	0	02/02/24	02/02/24	Permit / GMP
31 - Earthwork					
31 10 00	SITE CLEARING	0	02/02/24	02/02/24	Permit / GMP
31 20 00	EARTHWORK	0	02/02/24	02/02/24	Permit / GMP
31 22 13	ROUGH GRADING	0	02/02/24	02/02/24	Permit / GMP
31 23 16	EXCAVATION	0	02/02/24	02/02/24	Permit / GMP
31 23 19	DEWATERING AND BEDDING	0	02/02/24	02/02/24	Permit / GMP
31 23 23	BACKFILLING	0	02/02/24	02/02/24	Permit / GMP
31 23 33	TRENCHING	0	02/02/24	02/02/24	Permit / GMP
31 25 00	EROSION AND SEDIMENTATION CONTROL	0	02/02/24	02/02/24	Permit / GMP
31 40 00	SHORING BRACING AND UNDERPINNING	0	02/02/24	02/02/24	Permit / GMP
32 - Exterior Improvements					
32 00 00	PAVING	0	02/02/24	02/02/24	Permit / GMP
32 01 17	FLEXIBLE ASPHALT PAVING REPAIR	0	02/02/24	02/02/24	Permit / GMP
32 11 00	BASE COURSES	0	02/02/24	02/02/24	Permit / GMP
32 11 13	SUBGRADE MODIFICATIONS	0	02/02/24	02/02/24	Permit / GMP
32 12 26	COAL TAR EMULSION SEALER	0	02/02/24	02/02/24	Permit / GMP
32 13 10	CONCRETE SITE WORK	0	02/02/24	02/02/24	Permit / GMP
32 13 13	CONCRETE PAVING	0	02/02/24	02/02/24	Permit / GMP
32 13 16	ASPHALTIC CONCRETE PAVING	0	02/02/24	02/02/24	Permit / GMP
32 16 13	CONCRETE CURBS AND GUTTERS	0	02/02/24	02/02/24	Permit / GMP
32 17 23	PAVEMENT MARKINGS	0	02/02/24	02/02/24	Permit / GMP
32 31 13	CHAIN LINK FENCES AND GATES	0	02/02/24	02/02/24	Permit / GMP
32 84 00	UNDERGROUND SPRINKLER	0	02/02/24	02/02/24	Permit / GMP
32 92 00	TURF AND GRASSES	0	02/02/24	02/02/24	Permit / GMP
32 92 50	PLANTS	0	02/02/24	02/02/24	Permit / GMP
33 - Utilities					



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33 11 13	WATER DISTRIBUTION SYSTEM	0	02/02/24	02/02/24	Permit / GMP
33 30 00	SANITARY SEWERAGE SYSTEM	0	02/02/24	02/02/24	Permit / GMP
33 40 01	STORM SEWERAGE SYSTEMS	0	02/02/24	02/02/24	Permit / GMP